

217 WEST 57TH STREET
NEW YORK, NY

DEVELOPER:

EXTELL DEVELOPMENT COMPANY
805 Third Avenue, 7th Floor
New York, NY 10022 USA
TEL: 212 712 6000
FAX: 212 712 6100

ARCHITECT OF RECORD:

AAI ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500
FAX: 416 967 7150

DESIGN ARCHITECT:

Adrian Smith + Gordon Gill Architecture
111 West Monroe Street Suite 2300
Chicago IL 60603 USA
TEL: 312 920 1888
FAX: 312 920 1775

INTERIOR DESIGNER:

Rottet Architecture and Design Stuido, PLLC
298 Fifth Ave, 7th Floor
New York, NY 10001 USA
TEL: 646 998 7000

STRUCTURAL ENGINEERS:

WSP CANTOR SEINUK
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 687 9888
FAX: 646 487 5501

MEP ENGINEERS:

AKF GROUP
1501 Broadway
New York, NY 10036 USA
TEL: 212 354 5656
FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:

Langan Engineering & Environmental Services
21 Penn Plaza - 360 West 31st Street, 8th Floor
New York, NY 10001-2727 USA
TEL: 212 479 5400
FAX: 212 479 5444

CODE CONSULTANT:

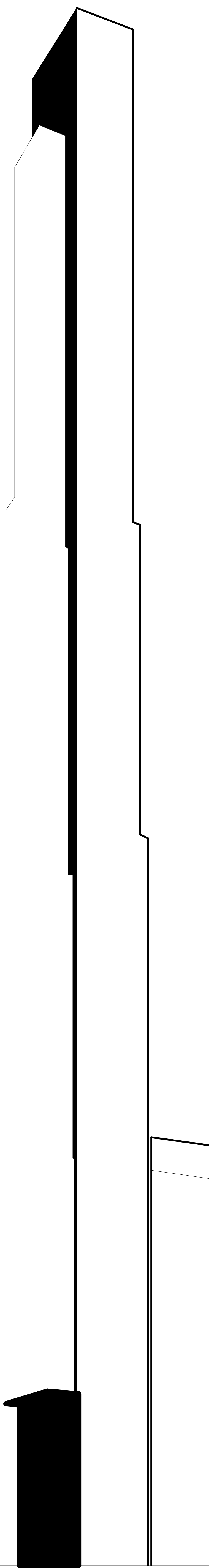
Construction Consulting Associates
100 Church Street
New York, NY 10007 USA
TEL: 212 385 1818
FAX: 212 385 1911

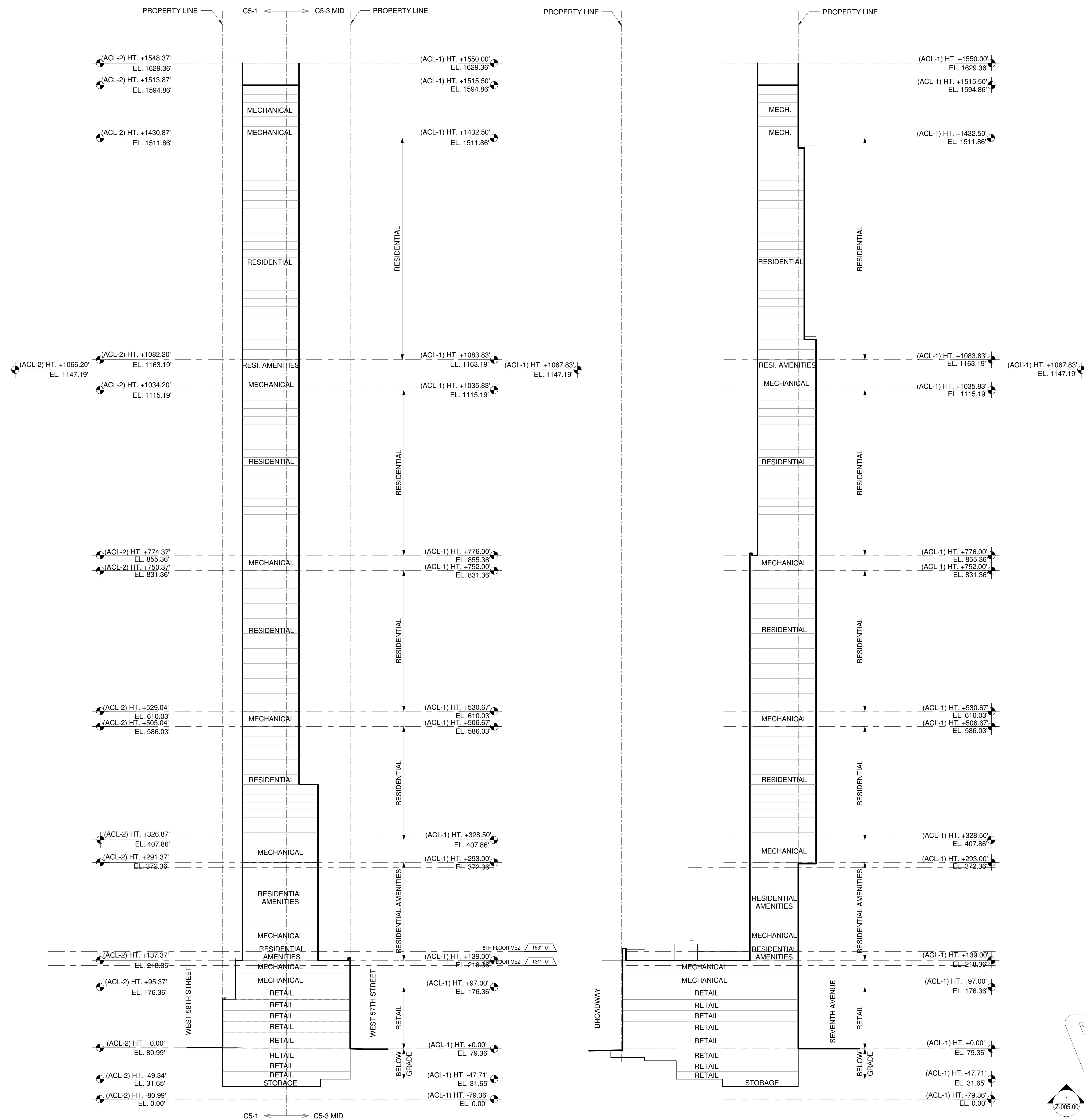
CURTAIN WALL CONSULTANT:

AJLP Consulting
40 Worth Street Suite 826
New York, NY 10013 USA
TEL: 212 757 5659
FAX: 212 219 8508

LANDMARK/PRESERVATION CONSULTANT:

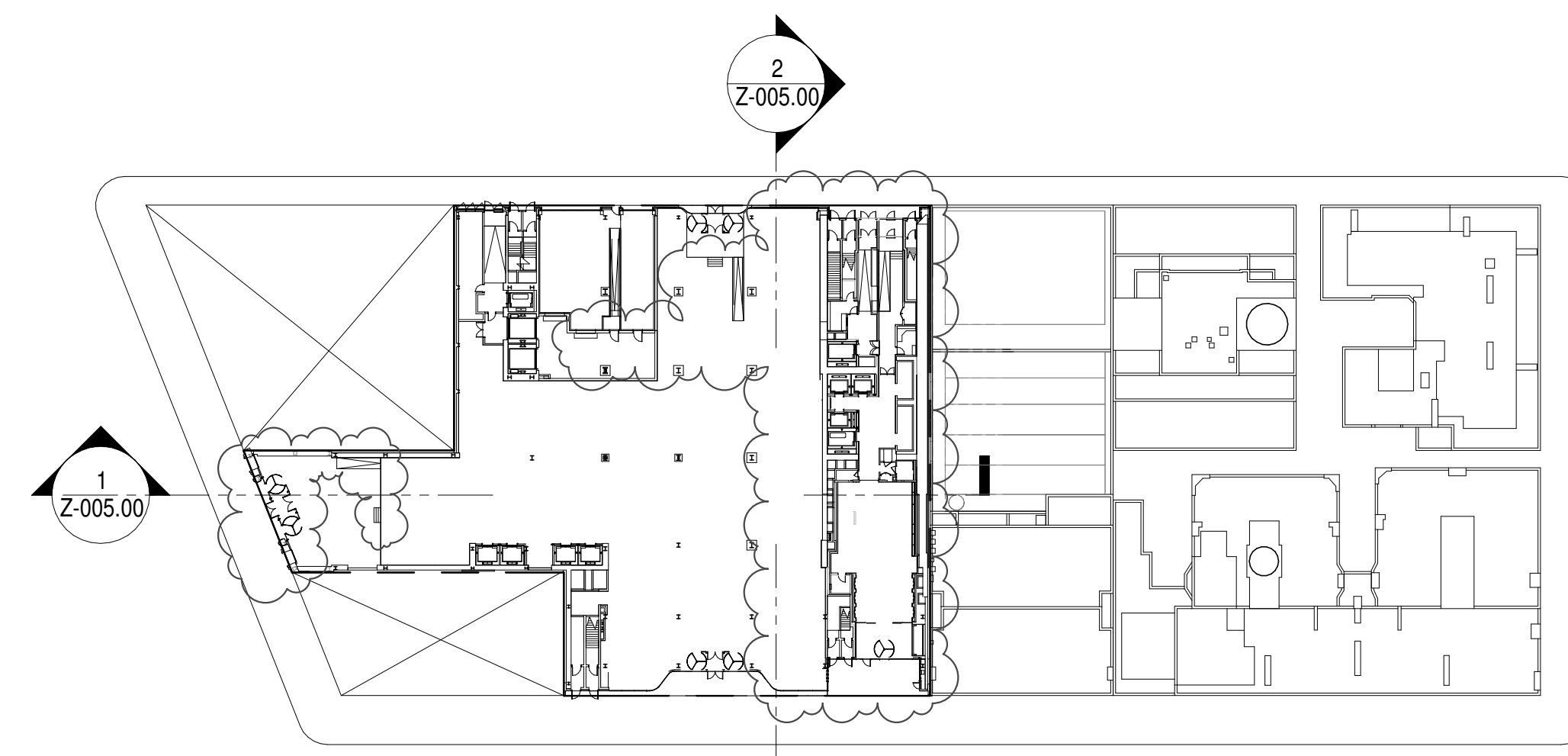
Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462
FAX: 212 759 6540



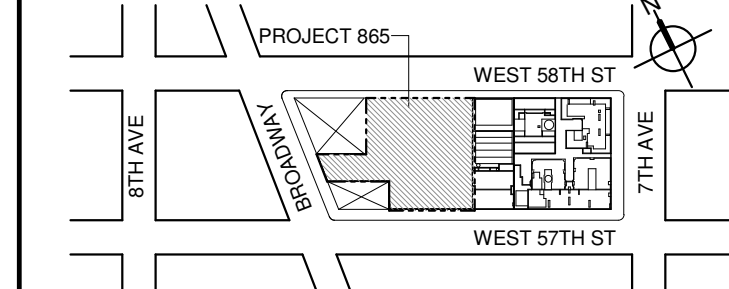


2 NORTH-SOUTH BUILDING SECTION
1/64" = 1'-0"

1 EAST-WEST BUILDING SECTION
1/64" = 1'-0"

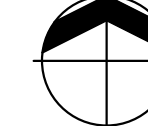


KEY PLAN:



PROJECT NORTH

TRUE NORTH



DEVELOPER:

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

ARCHITECT OF RECORD: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 867 1500 FAX: 416 867 7150

STRUCTURAL ENGINEERS:
WSP CANTOR SEINUK
228 EAST 46th Street
New York, NY 10017 USA
TEL: 212 687 9888 FAX: 646 487 5501

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1501 Broadway
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TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 360 West 31st Street, 8th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1816 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 828
New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Higgins Quasebath & Partners LLC
11 Hanover Square, 16th Floor
New York, NY 10005
TEL: 212 274 9468 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
59 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION:	DATE:
1	D.O.B. SUBMISSION	05 DEC 14
2	D.O.B. SUBMISSION	18 FEB 15
	D.O.B. SUBMISSION	27 APR 14
	D.O.B. AMENDMENT 2	21 SEP 15
	D.O.B. AMENDMENT 3	03 OCT 16

0 16'-0" 32'-0" 64'-0"

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:



PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

BUILDING SECTIONS

SEAL & SIGNATURE: DATE: 05 DEC 14

PROJECT No: 1216-00

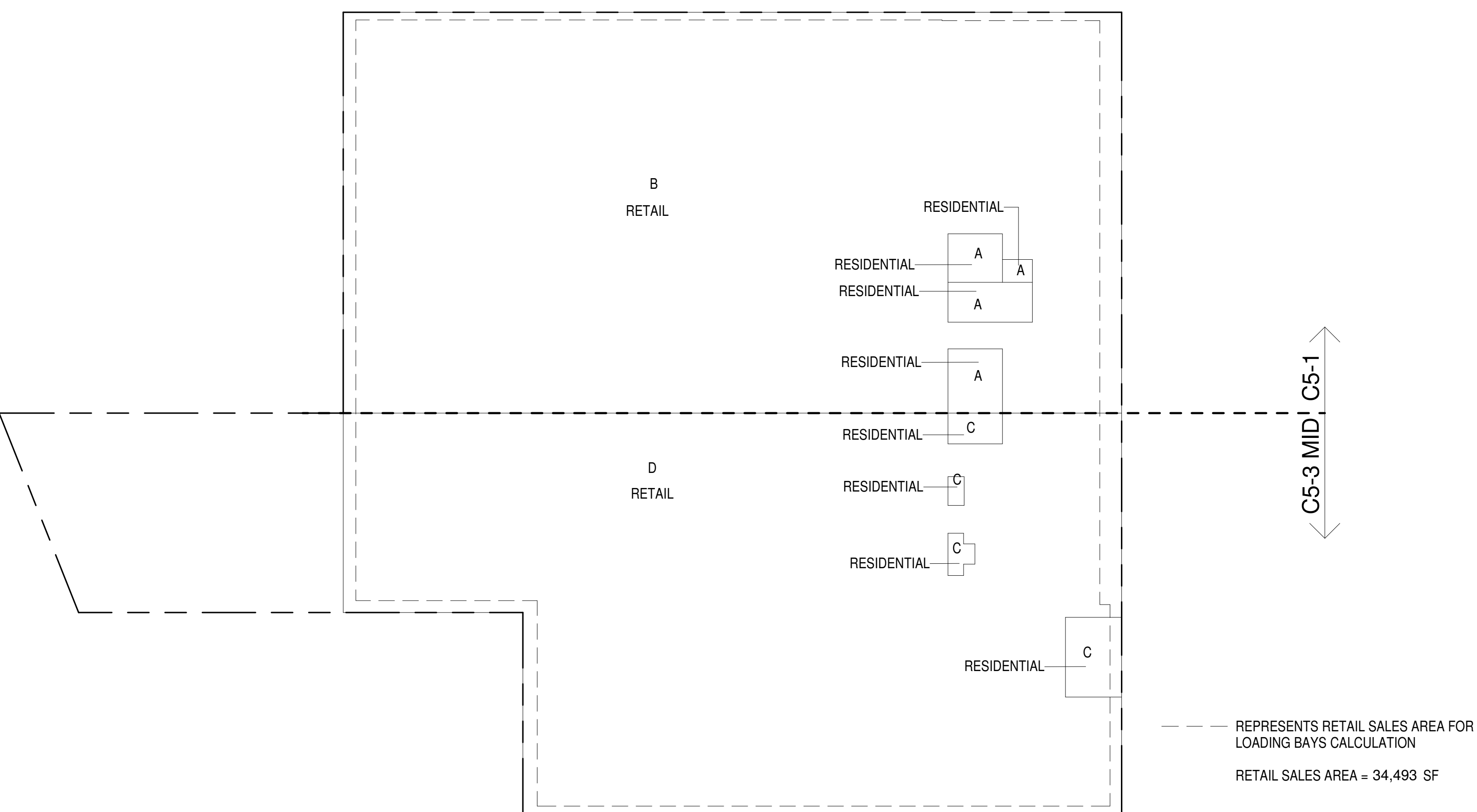
DRAWN: Author REV: 2

SCALE: As indicated

DWG No: Z-005.02

DOB PAGE No: 4 of 454

DOB EMPLOYEE STAMP: DOB B-SCAN:

**3 SUB CELLAR 1 (MFD:SUB CELLAR 1) GROSS FLOOR AREA PLAN AND DEDUCTIONS**
3/64" = 1'-0"

SUB CELLAR 1 AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	A	639	639	0
RETAIL	B	18,942	18,942	0
TOTAL		19,581	19,581	0

SUB CELLAR 1 AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	C	471	471	0
RETAIL	D	16,841	16,841	0
TOTAL		17,313	17,313	0

SUB CELLAR 1 AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	A	1,111	1,111	0
RETAIL	B	35,783	35,783	0
TOTAL		36,894	36,894	0

SUB CELLAR 1 FLOOR DEDUCTIONS				
ZONE C5-1				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	BG	A		
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GROUND FLOOR AREA CALCULATIONS				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		3,900	106	3,854
RETAIL		15,622	2,985	12,636
TOTAL		19,581	3,091	16,490

GROUND FLOOR AREA CALCULATIONS				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		4,244	168	4,076
RETAIL		16,866	532	16,334
TOTAL		21,110	700	20,410

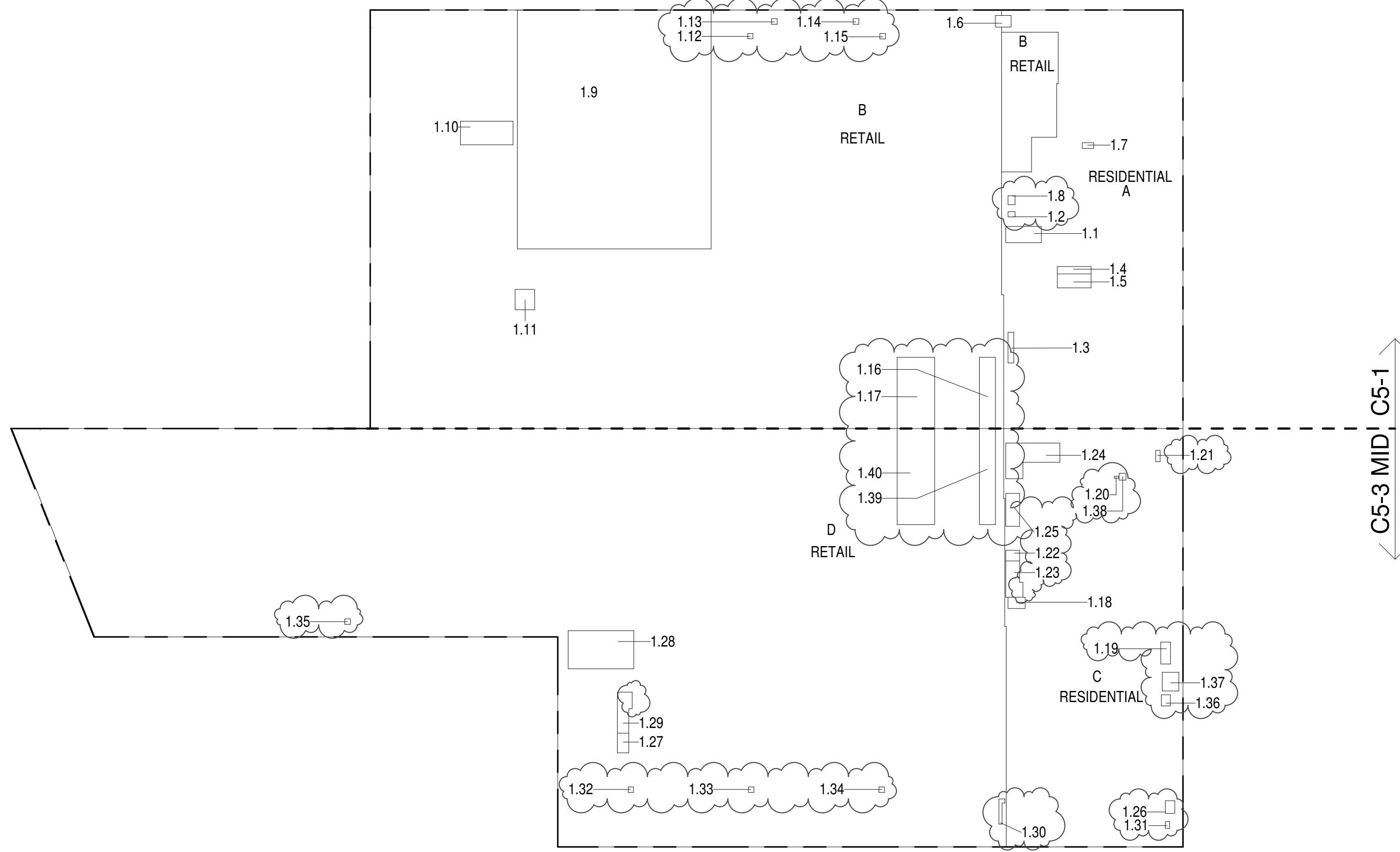
GROUND FLOOR AREA CALCULATIONS				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		8,204	274	7,930
RETAIL		32,488	3,517	28,971
TOTAL		40,692	3,791	36,900

GROUND FLOOR DEDUCTIONS				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	M	1.1	3'-11"	8'-8"
RESIDENTIAL	P	1.2	1'-3"	1'-8"
RESIDENTIAL	P	1.3	1'-5"	7'-4"
RESIDENTIAL	P	1.4	1'-9"	8'-2"
RESIDENTIAL	M	1.5	3'-4"	8'-2"
RESIDENTIAL	P	1.6	2'-9"	3'-9"
RESIDENTIAL	P	1.7	1'-4"	2'-9"
RESIDENTIAL	P	1.8	1'-8"	2'-2"
SUBTOTAL				
RETAIL	M	1.19	46'-5"	57'-4"
RETAIL	M	1.10	5'-8"	12'-8"
RETAIL	P	1.11	4'-8"	4'-11"
RETAIL	P	1.12	1'-3"	1'-3"
RETAIL	P	1.13	1'-4"	1'-4"
RETAIL	P	1.14	1'-4"	1'-4"
RETAIL	P	1.15	1'-4"	1'-4"
RETAIL	O	1.16	3'-10"	17'-1"
RETAIL	O	1.17	9'-0"	17'-1"
SUBTOTAL				

* PERMITTED FLOOR AREA DEDUCTION FOR REQUIRED LOADING BERTHS: 200% OF 12 X 37 X 3 NOS. = 2,664 SF

GROUND FLOOR DEDUCTIONS				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	M	1.18	2'-8"	4'-2"
RESIDENTIAL	P	1.19	2'-4"	8'-3"
RESIDENTIAL	M	1.20	0'-6"	1'-0"
RESIDENTIAL	P	1.21	1'-0"	2'-9"
RESIDENTIAL	P	1.22	2'-7"	3'-3"
RESIDENTIAL	E	1.23	3'-4"	9'-6"
RESIDENTIAL	M	1.24	4'-5"	17'-1"
RESIDENTIAL	M	1.25	3'-3"	7'-11"
SUBTOTAL				
RETAIL	M	1.26	2'-3"	3'-0"
RETAIL	M	1.27	2'-9"	4'-9"
RETAIL	M	1.28	9'-2"	15'-9"
RETAIL	E	1.29	2'-10"	10'-7"
RETAIL	P	1.30	0'-9"	6'-9"
RETAIL	M	1.31	1'-1"	1'-8"
RETAIL	P	1.32	1'-3"	1'-4"
RETAIL	P	1.33	1'-4"	1'-4"
RETAIL	P	1.34	1'-4"	1'-4"
RETAIL	P	1.35	1'-4"	1'-4"
RETAIL	M	1.36	2'-2"	2'-8"
RETAIL	P	1.37	4'-0"	4'-6"
RETAIL	P	1.38	1'-8"	1'-8"
RETAIL	O	1.39	3'-10"	23'-1"
RETAIL	O	1.40	9'-0"	23'-1"
SUBTOTAL				

GROUND FLOOR DEDUCTIONS				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	M	1.18	2'-8"	4'-2"
RESIDENTIAL	P	1.19	2'-4"	8'-3"
RESIDENTIAL	M	1.20	0'-6"	1'-0"
RESIDENTIAL	P	1.21	1'-0"	2'-9"
RESIDENTIAL	P	1.22	2'-7"	3'-3"
RESIDENTIAL	E	1.23	3'-4"	9'-6"
RESIDENTIAL	M	1.24	4'-5"	17'-1"
RESIDENTIAL	M	1.25	3'-3"	7'-11"
SUBTOTAL				
RETAIL	M	1.26	2'-3"	3'-0"
RETAIL	M	1.27	2'-9"	4'-9"
RETAIL	M	1.28	9'-2"	15'-9"
RETAIL	E	1.29	2'-10"	10'-7"
RETAIL	P	1.30	0'-9"	6'-9"
RETAIL	M	1.31	1'-1"	1'-8"
RETAIL	P	1.32	1'-3"	1'-4"
RETAIL	P	1.33	1'-4"	1'-4"
RETAIL	P	1.34	1'-4"	1'-4"
RETAIL	P	1.35	1'-4"	1'-4"
RETAIL	M	1.36	2'-2"	2'-8"
RETAIL	P	1.37	4'-0"	4'-6"
RETAIL	P	1.38	1'-8"	1'-8"
RETAIL	O	1.39	3'-10"	23'-1"
RETAIL	O	1.40	9'-0"	23'-1"
SUBTOTAL				



ZONING AND DEDUCT LEGEND

☐ DEDUCTIONS

M - MECHANICAL ROOM / RISER

E - ELECTRICAL SHAFT / RISER

P - PLUMBING RISER

BG - BELOW GRADE

O - OPENING TO BELOW

L - LOADING BAYS

ST - 44" RESI STAIR SHAFT (INCLUDING 8" PERIMETER)

G - GAP FROM ADJACENT BUILDING

--- DEVELOPMENT LOT LINE

* WHERE APPLICABLE, DOCUMENTED AND CALCULATED AREAS HAVE BEEN ROUNDED TO ITS NEXT SIGNIFICANT DIGIT.

** LENGTH AND WIDTH DIMENSIONS FOR COMPLEX SHAPES HAVE BEEN SIMPLIFIED TO ILLUSTRATE ONLY LARGEST OVERALL DIMENSION RESPECTIVELY. AREA DOCUMENTED IS THE EXACT AREA OF THE COMPLEX SHAPE

*** ELECTRICAL DEDUCTIONS ARE ONLY FOR ELECTRICAL RISERS, AND CLOSETS. NO DEDUCTIONS TAKEN FOR TELEPHONE CLOSETS

GROUND FLOOR (MFD: GROUND FLOOR) GROSS AREA PLAN AND DEDUCTIONS 364" = 1'-0" 1

2ND FLOOR AREA CALCULATIONS				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		919	106	813
RETAIL		16,279	393	15,886
TOTAL		17,198	499	16,699

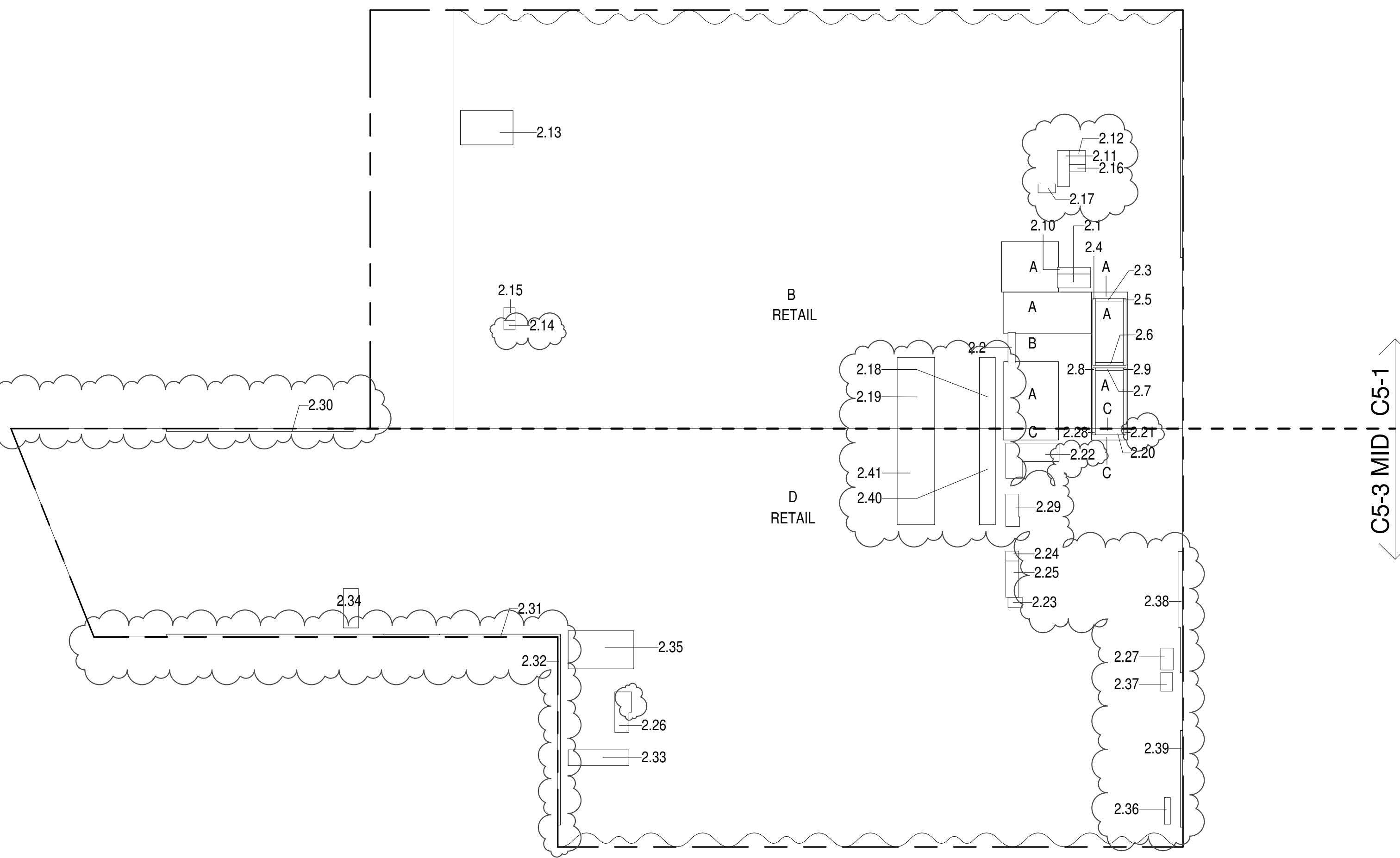
2ND FLOOR AREA CALCULATIONS				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		251	197	53
RETAIL		20,591	715	19,876
TOTAL		20,842	913	19,929

2ND FLOOR AREA CALCULATIONS				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		1,170	304	866
RETAIL		36,870	1,108	35,762
TOTAL		38,040	1,412	36,628

2ND FLOOR DEDUCTIONS				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	M	2.1	3'-4"	7'-11"
RESIDENTIAL	P	2.2	1'-9"	7'-4"
RESIDENTIAL	ST	2.3	0'-8"	6'-8"
RESIDENTIAL	ST	2.4	0'-8"	16'-1"
RESIDENTIAL	ST	2.5	0'-8"	16'-1"
RESIDENTIAL	ST	2.6	0'-8"	6'-8"
RESIDENTIAL	ST	2.7	0'-8"	7'-0"
RESIDENTIAL	ST	2.8	0'-8"	14'-7"
RESIDENTIAL	ST	2.9	0'-8"	14'-2"
RESIDENTIAL	P	2.10	1'-7"	7'-11"
SUBTOTAL				
RETAIL	M	2.11	2'-11"	8'-8"
RETAIL	M	2.12	3'-4"	3'-10"
RETAIL	M	2.13	8'-3"	12'-8"
RETAIL	P	2.14	2'-3"	2'-9"
RETAIL	M	2.15	2'-9"	3'-1"
RETAIL	P	2.16	1'-10"	3'-10"
RETAIL	P	2.17	2'-2"	4'-3"
RETAIL	O	2.18	3'-10"	17'-1"
RETAIL	O	2.19	9'-0"	17'-1"
SUBTOTAL				

2ND FLOOR DEDUCTIONS				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	ST	2.20	0'-8"	6'-8"
RESIDENTIAL	ST	2.21	0'-8"	1'-6"
RESIDENTIAL	M	2.22	4'-3"	16'-11"
RESIDENTIAL	P	2.23	2'-6"	3'-5"
RESIDENTIAL	P	2.24	2'-2"	3'-1"
RESIDENTIAL	E	2.25	3'-1"	8'-8"
RESIDENTIAL	E	2.26	3'-6"	10'-3"
RESIDENTIAL	P	2.27	3'-0"	5'-3"
RESIDENTIAL	ST	2.28	0'-8"	1'-6"
RESIDENTIAL	M	2.29	3'-1"	8'-0"
SUBTOTAL				
RETAIL	M	2.30	0'-8"	44'-9"
RETAIL	G	2.31	0'-7"	105'-3"
RETAIL	G	2.32	0'-8"	45'-2"
RETAIL	M	2.33	3'-10"	14'-7"
RETAIL	M	2.34	3'-7"	9'-5"
RETAIL	M	2.35	9'-2"	15'-9"
RETAIL	P	2.36	1'-5"	16'-9"
RETAIL	P	2.37	2'-9"	4'-6"
RETAIL	G	2.38	0'-11"	29'-4"
RETAIL	G	2.39	0'-7"	23'-2"
RETAIL	O	2.40	3'-10"	23'-1"
RETAIL	O	2.41	9'-0"	23'-1"
SUBTOTAL				

2ND FLOOR DEDUCTIONS				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	ST	2.20	0'-8"	6'-8"
RESIDENTIAL	ST	2.21	0'-8"	1'-6"
RESIDENTIAL	M	2.22	4'-3"	16'-11"
RESIDENTIAL	P	2.23	2'-6"	3'-5"
RESIDENTIAL	P	2.24	2'-2"	3'-1"
RESIDENTIAL	E	2.25	3'-1"	8'-8"
RESIDENTIAL	E	2.26	3'-6"	10'-3"
RESIDENTIAL	P	2.27	3'-0"	5'-3"
RESIDENTIAL	ST	2.28	0'-8"	1'-6"
RESIDENTIAL	M	2.29	3'-1"	8'-0"
SUBTOTAL				
RETAIL	M	2.30	0'-8"	44'-9"
RETAIL	G	2.31	0'-7"	105'-3"
RETAIL	G	2.32	0'-8"	45'-2"
RETAIL	M	2.33	3'-10"	14'-7"
RETAIL	M	2.34	3'-7"	9'-5"
RETAIL	M	2.35	9'-2"	15'-9"
RETAIL	P	2.36	1'-5"	16'-9"
RETAIL	P	2.37	2'-9"	4'-6"
RETAIL	G	2.38	0'-11"	29'-4"
RETAIL	G	2.39	0'-7"	23'-2"
RETAIL	O	2.40	3'-10"	23'-1"
RETAIL	O	2.41	9'-0"	23'-1"
SUBTOTAL				



2ND FLOOR (MFD: 2ND FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS 364" = 1'-0" 2

3RD FLOOR AREA CALCULATIONS				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		933	120	813
RETAIL		16,297	448	15,849
TOTAL		17,230	569	16,662

3RD FLOOR AREA CALCULATIONS				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		443	390	53
RETAIL		20,399	537	19,862
TOTAL		20,842	927	19,915

3RD FLOOR BROADWAY FACADE AREA CALCULATIONS				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RETAIL	E	502	0	502
TOTAL		502	0	502

3RD FLOOR AREA CALCULATIONS				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		1,377	510	867
RETAIL		37,198	985	36,213
TOTAL		38,575	1,495	37,079

3RD FLOOR FLOOR DEDUCTIONS				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	M	3.1	2'-10"	7'-11"
RESIDENTIAL	P	3.2	1'-9"	7'-4"
RESIDENTIAL	ST	3.3	0'-8"	6'-8"
RESIDENTIAL	ST	3.4	0'-8"	16'-1"
RESIDENTIAL	ST	3.5	0'-8"	16'-1"
RESIDENTIAL	ST	3.6	0'-8"	6'-8"
RESIDENTIAL	ST	3.7	0'-8"	6'-8"
RESIDENTIAL	ST	3.8	0'-8"	14'-7"
RESIDENTIAL	ST	3.9	0'-8"	14'-2"
RESIDENTIAL	M	3.10	2'-5"	7'-6"
RESIDENTIAL	P	3.11	1'-7"	7'-11"
SUBTOTAL				
RETAIL	P	3.12	2'-3"	2'-9"
RETAIL	M	3.13	2'-9"	3'-1"
RETAIL	M	3.14	7'-6"	7'-10"
RETAIL	M	3.15	6'-3"	12'-8"
RETAIL	M	3.16	4'-4"	11'-11"
RETAIL	O	3.17	3'-10"	17'-1"
RETAIL	O	3.18	9'-0"	17'-1"
SUBTOTAL				

3RD FLOOR FLOOR DEDUCTIONS					
ZONE C3-S3-M3					
USE	TYPE	No.	LENGTH	WIDTH	AREA SQ. FT.
RESIDENTIAL	M	3.19	3'-1"	7'-9"	24.0
RESIDENTIAL	P	3.20	2'-5"	3'-1"	7.4
RESIDENTIAL	P	3.21	3'-0"	5'-3"	15.6
RESIDENTIAL	P	3.22	2'-6"	3'-5"	8.5
RESIDENTIAL	ST	3.23	0'-8"	8'-8"	4.4
RESIDENTIAL	ST	3.24	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	3.25	0'-8"	1'-6"	1.0
RESIDENTIAL	E	3.26	3'-5"	14'-5"	49.5
RESIDENTIAL	E	3.27	3'-5"	8'-8"	27.1
RESIDENTIAL	M	3.28	3'-8"	9'-5"	34.3
RESIDENTIAL	M	3.29	9'-2"	15'-9"	144.4
RESIDENTIAL	M	3.30	4'-3"	16'-11"	72.7
	SUBTOTAL				388.7
ZONE C3-S3-M3					
USE	TYPE	No.	LENGTH	WIDTH	AREA SQ. FT.
RETAIL	G	3.31	0'-8"	45'-9"	36.1
RETAIL	G	3.32	0'-8"	102'-2"	80.3
RETAIL	G	3.33	0'-8"	44'-9"	29.8
RETAIL	G	3.34	0'-8"	23'-2"	13.5
RETAIL	G	3.35	10'-11"	24'-4"	26.1
RETAIL	M	3.36	3'-3"	10'-9"	35.3
RETAIL	P	3.37	2'-5"	3'-1"	7.4
RETAIL	P	3.38	2'-9"	4'-6"	12.5
RETAIL	P	3.39	3'-0"	23'-1"	89.0
RETAIL	O	3.40	9'-0"	23'-1"	208.2
	SUBTOTAL				536.9

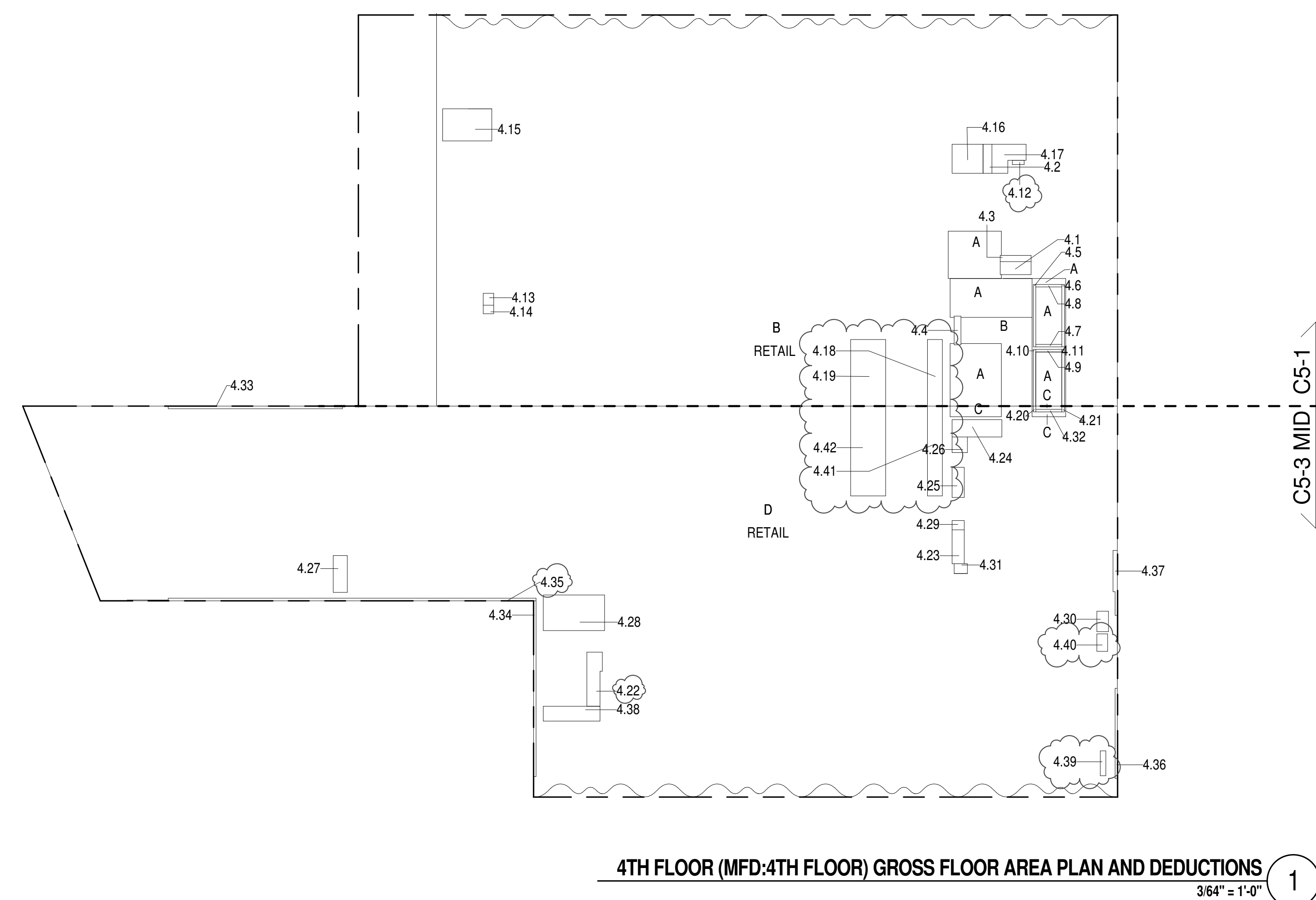
4TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	936	123		813
RETAIL		16,294	451	15,843
TOTAL		17,230	574	16,656

4TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	443	390		63
RETAIL		20,399	528	19,871
TOTAL		20,842	917	19,925

4TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	1,379	513		866
RETAIL		36,693	979	35,714
TOTAL		38,072	1,492	36,581

4TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	4.1	3'-4"	7'-11"	28.6
RESIDENTIAL	M	4.2	2'-3"	7'-6"	17.0
RESIDENTIAL	P	4.3	1'-7"	7'-11"	12.6
RESIDENTIAL	P	4.4	1'-9"	7'-4"	13.0
RESIDENTIAL	ST	4.5	0'-8"	16'-1"	10.7
RESIDENTIAL	ST	4.6	0'-8"	16'-1"	10.7
RESIDENTIAL	ST	4.7	0'-8"	6'-8"	4.4
RESIDENTIAL	ST	4.8	0'-8"	6'-8"	4.4
RESIDENTIAL	ST	4.9	0'-8"	6'-8"	4.4
RESIDENTIAL	ST	4.10	0'-8"	14'-7"	9.7
RESIDENTIAL	ST	4.11	0'-8"	14'-7"	9.7
SUBTOTAL					123.4
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RETAIL	P	4.12	1'-1"	3'-0"	3.3
RETAIL	M	4.13	2'-8"	3'-1"	8.3
RETAIL	P	4.14	2'-3"	2'-9"	6.0
RETAIL	M	4.15	8'-3"	12'-8"	104.2
RETAIL	M	4.16	7'-6"	7'-11"	59.3
RETAIL	M	4.17	4'-2"	12'-2"	50.0
RETAIL	O	4.18	3'-10"	17'-1"	65.8
RETAIL	O	4.19	9'-0"	17'-1"	154.1
SUBTOTAL					451.1

4TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	4.20	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	4.21	0'-8"	1'-6"	1.0
RESIDENTIAL	E	4.22	3'-5"	14'-5"	49.4
RESIDENTIAL	E	4.23	3'-1"	8'-9"	27.1
RESIDENTIAL	M	4.24	4'-5"	12'-9"	56.7
RESIDENTIAL	M	4.25	3'-1"	7'-9"	24.0
RESIDENTIAL	M	4.26	3'-11"	4'-0"	15.8
RESIDENTIAL	M	4.27	3'-8"	9'-5"	34.3
RESIDENTIAL	M	4.28	9'-2"	15'-9"	144.3
RESIDENTIAL	P	4.29	2'-5"	3'-1"	8.4
RESIDENTIAL	P	4.30	3'-0"	5'-3"	15.6
RESIDENTIAL	P	4.31	2'-6"	3'-5"	9.5
RESIDENTIAL	ST	4.32	0'-8"	6'-8"	4.4
SUBTOTAL					399.6
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RETAIL	G	4.33	0'-8"	44'-9"	29.8
RETAIL	G	4.34	0'-8"	45'-2"	30.1
RETAIL	G	4.35	0'-7"	105'-11"	65.0
RETAIL	G	4.36	0'-7"	29'-2"	13.5
RETAIL	G	4.37	0'-11"	16'-10"	15.0
RETAIL	M	4.38	3'-10"	14'-7"	55.3
RETAIL	P	4.39	1'-5"	0'-5"	9.0
RETAIL	P	4.40	2'-9"	4'-6"	12.5
RETAIL	O	4.41	3'-10"	23'-1"	89.0
RETAIL	O	4.42	9'-0"	23'-1"	208.2
SUBTOTAL					527.5



- ZONING AND DEDUCT LEGEND**
- DEDUCTIONS
 - M - MECHANICAL ROOM / RISER
 - E - ELECTRICAL SHAFT / RISER
 - P - PLUMBING RISER
 - BG - BELOW GRADE
 - O - OPENING TO BELOW
 - L - LOADING BAYS
 - ST - 44" RESI STAIR SHAFT (INCLUDING 8" PERIMETER)
 - G - GAP FROM ADJACENT BUILDING
- DEVELOPMENT LOT LINE
- * WHERE APPLICABLE, DOCUMENTED AND CALCULATED AREAS HAVE BEEN ROUNDED TO ITS NEXT SIGNIFICANT DIGIT.
- ** LENGTH AND WIDTH DIMENSIONS FOR COMPLEX SHAPES HAVE BEEN SIMPLIFIED TO ILLUSTRATE ONLY LARGEST OVERALL DIMENSION RESPECTIVELY. AREA DOCUMENTED IS THE EXACT AREA OF THE COMPLEX SHAPE
- *** ELECTRICAL DEDUCTIONS ARE ONLY FOR ELECTRICAL RISERS AND CLOSETS. NO DEDUCTIONS TAKEN FOR TELEPHONE CLOSETS

5TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	936	123		813
RETAIL		13,071	448	12,623
TOTAL		14,007	571	13,436

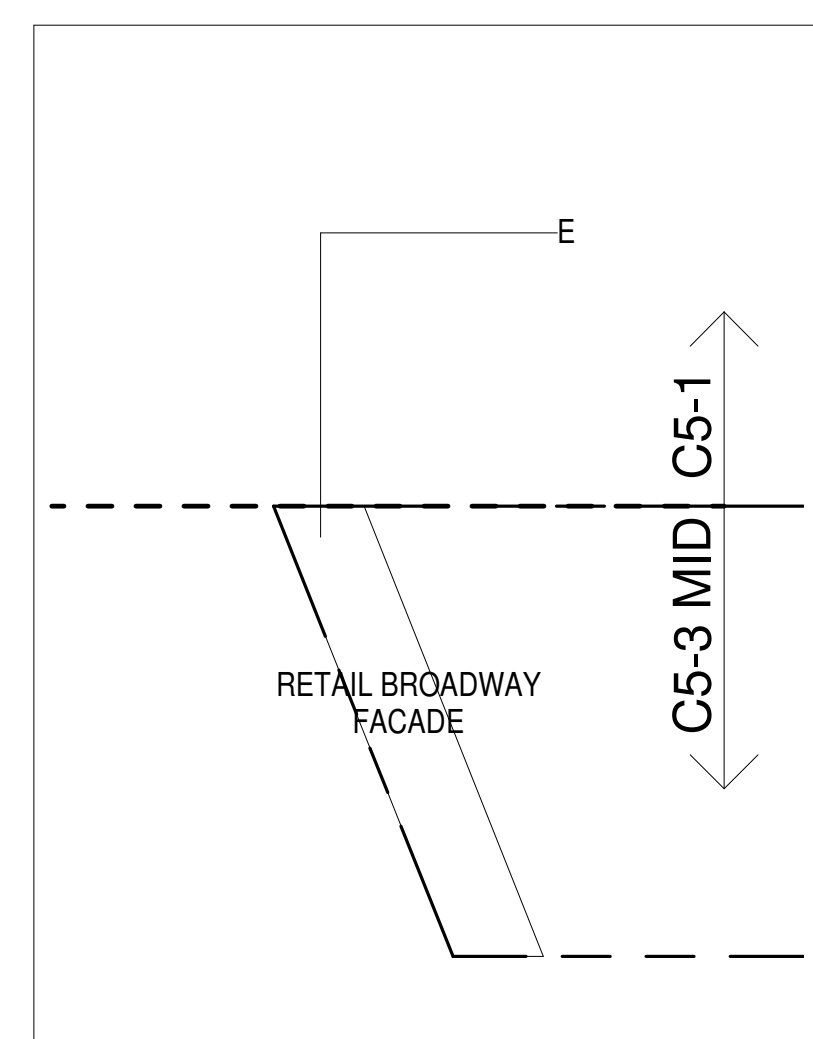
5TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	451	397		53
RETAIL		20,391	510	19,882
TOTAL		20,842	907	19,935

5TH FLOOR BROADWAY FACADE AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RETAIL	E	502	0	502
TOTAL		502	0	502

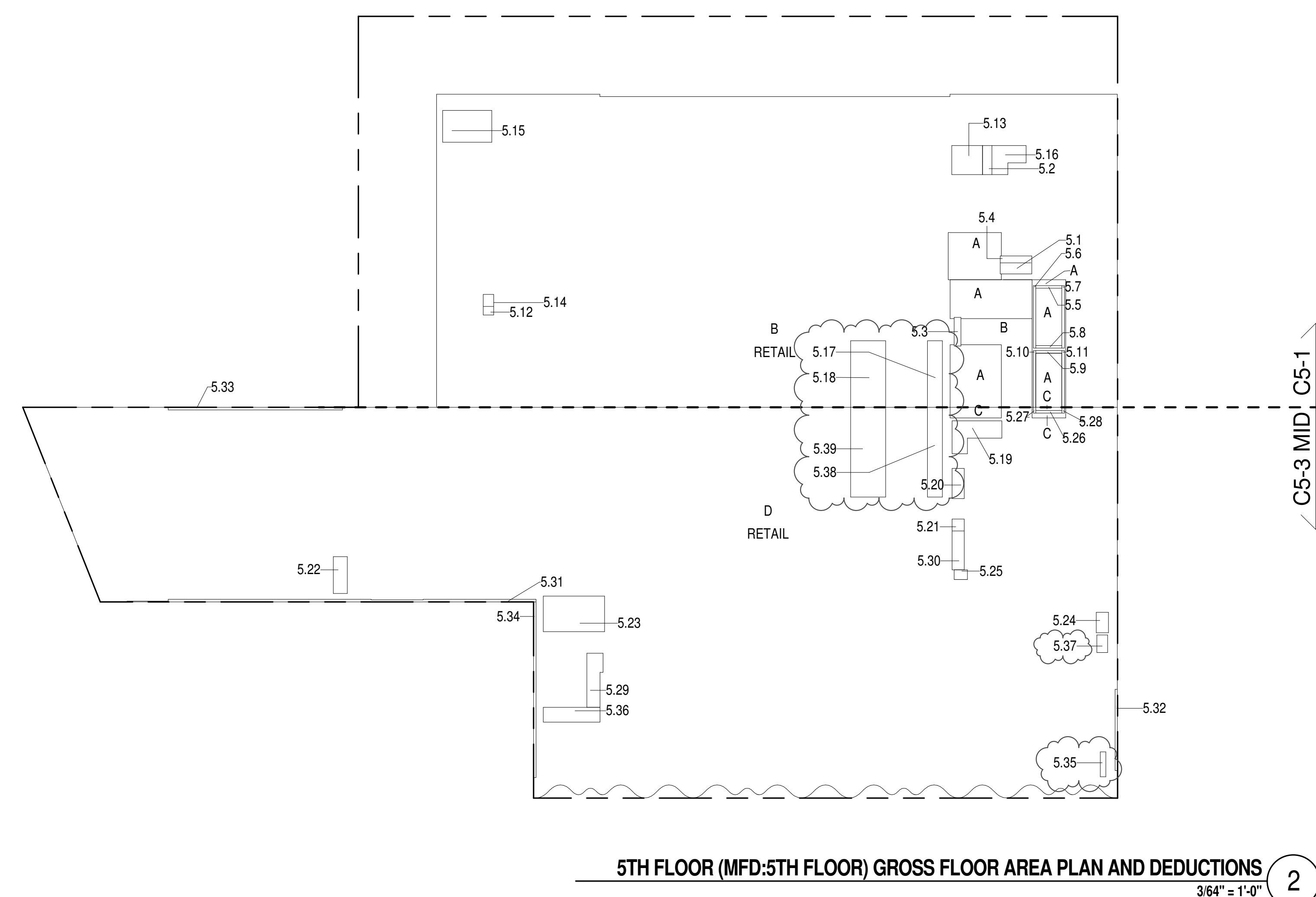
5TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	1,386	520		867
RETAIL		33,965	958	33,007
TOTAL		35,351	1,478	33,873

5TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	5.1	2'-11"	8'-0"	23.2
RESIDENTIAL	M	5.2	2'-5"	7'-6"	17.9
RESIDENTIAL	P	5.3	1'-9"	7'-4"	13.0
RESIDENTIAL	P	5.4	1'-10"	8'-0"	14.5
RESIDENTIAL	ST	5.5	0'-8"	6'-8"	4.4
RESIDENTIAL	ST	5.6	0'-8"	16'-1"	10.7
RESIDENTIAL	ST	5.7	0'-8"	16'-1"	10.7
RESIDENTIAL	ST	5.8	0'-8"	6'-8"	4.4
RESIDENTIAL	ST	5.9	0'-8"	6'-8"	4.4
RESIDENTIAL	ST	5.10	0'-8"	14'-7"	9.7
RESIDENTIAL	ST	5.11	0'-8"	14'-7"	9.7
SUBTOTAL					122.8
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RETAIL	P	5.12	2'-3"	2'-9"	6.0
RETAIL	M	5.13	7'-6"	7'-11"	59.1
RETAIL	M	5.14	2'-9"	3'-1"	8.4
RETAIL	M	5.15	8'-2"	12'-8"	103.4
RETAIL	M	5.16	4'-4"	11'-11"	51.5
RETAIL	O	5.17	3'-10"	17'-1"	65.8
RETAIL	O	5.18	9'-0"	17'-1"	154.1
SUBTOTAL					448.3

5TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	5.19	4'-3"	16'-11"	72.4
RESIDENTIAL	M	5.20	3'-11"	7'-9"	24.0
RESIDENTIAL	P	5.21	3'-1"	3'-1"	3.4
RESIDENTIAL	M	5.22	3'-7"	9'-5"	34.1
RESIDENTIAL	M	5.23	9'-2"	15'-9"	144.4
RESIDENTIAL	P	5.24	3'-2"	5'-3"	16.5
RESIDENTIAL	P	5.25	2'-6"	3'-5"	8.5
RESIDENTIAL	ST	5.26	0'-8"	6'-8"	4.4
RESIDENTIAL	ST	5.27	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	5.28	0'-8"	4'-6"	4.4
RESIDENTIAL	E	5.29	3'-5"	14'-7"	50.3
RESIDENTIAL	E	5.30	3'-1"	19'-9"	31.0
SUBTOTAL					397.1
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RETAIL	G	5.31	0'-7"	105'-3"	63.3
RETAIL	G	5.32	0'-7"	20'-11"	12.2
RETAIL	G	5.33	0'-8"	44'-9"	29.8
RETAIL	G	5.34	0'-8"	45'-2"	30.1
RETAIL	P	5.35	1'-5"	0'-5"	9.0
RETAIL	M	5.36	3'-10"	14'-7"	55.3
RETAIL	P	5.37	2'-9"	4'-6"	12.5
RETAIL	O	5.38	3'-10"	23'-1"	89.0
RETAIL	O	5.39	9'-0"	23'-1"	208.2
SUBTOTAL					509.5



5TH FLOOR - BROADWAY FACADE
3/64" = 1'-0"



5TH FLOOR (MFD:5TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS
3/64" = 1'-0"

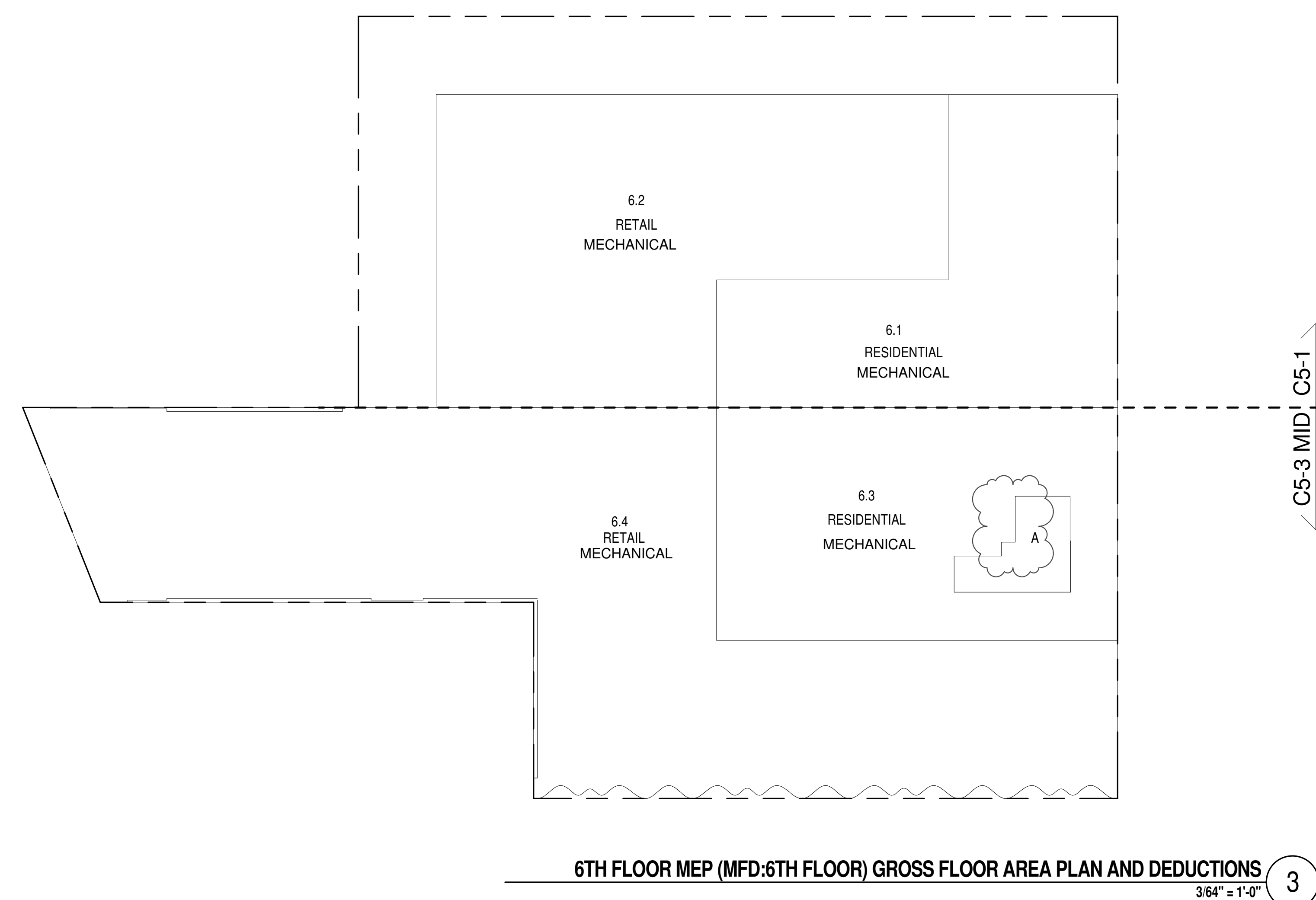
6TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	6.1	5,447	5,447	0
RETAIL	6.2	8,626	8,626	0
TOTAL		14,073	14,073	0

6TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	6.157	5,651		506
RETAIL	6.4	14,507	14,507	0
TOTAL		20,664	20,158	506

6TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	11,604	11,098		506
RETAIL	23,133	23,133		0
TOTAL		34,737	34,231	506

6TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	6.1	37' - 4"	146' - 0"	5,446.8
SUBTOTAL					5,446.8
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RETAIL	M	6.2	55' - 0"	156' - 10"	8,626.2
SUBTOTAL					8,626.2

6TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA(SF)
RESIDENTIAL	M	6.3	50'-3"	112'-6"	5,651.5
SUBTOTAL					5,651.5
USE	TYPE	No.	LENGTH	WIDTH	AREA(SF)
RETAIL	M	6.4	41'-10"	347'-0"	14,506.8
SUBTOTAL					14,506.8



6TH FLOOR MEP (MFD:6TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS
3/64" = 1'-0"

KEY PLAN:

PROJECT 050 -

TRUE NORTH

DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 11TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

ARCHITECT OF RECORD: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 Wellington St., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 867 1500 FAX: 416 867 7150

STRUCTURAL ENGINEERS:
WSP CANTOR SEINUK
228 EAST 48th Street
New York, NY 10017 USA
TEL: 212 687 9888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
1501 Broadway
New York, NY 10036 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Fern Plaza, 360 West 31st Street, 8th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 808
New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Higgins Quasebarth & Partners LLC
11 Hanover Square, 16th Floor
New York, NY 10005
TEL: 212 274 9468 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 57th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION:	DATE:
1	D.O.B. SUBMISSION	05 DEC 14
2	D.O.B. SUBMISSION	18 FEB 15
	D.O.B. SUBMISSION	27 APR 14
	D.O.B. AMENDMENT 2	21 SEP 15
	D.O.B. AMENDMENT 3	03 OCT 16

0 10' - 8" 21' - 4" 42' - 8"

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Corrections must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:
AAI
ARCHITECTS, P.C.

PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

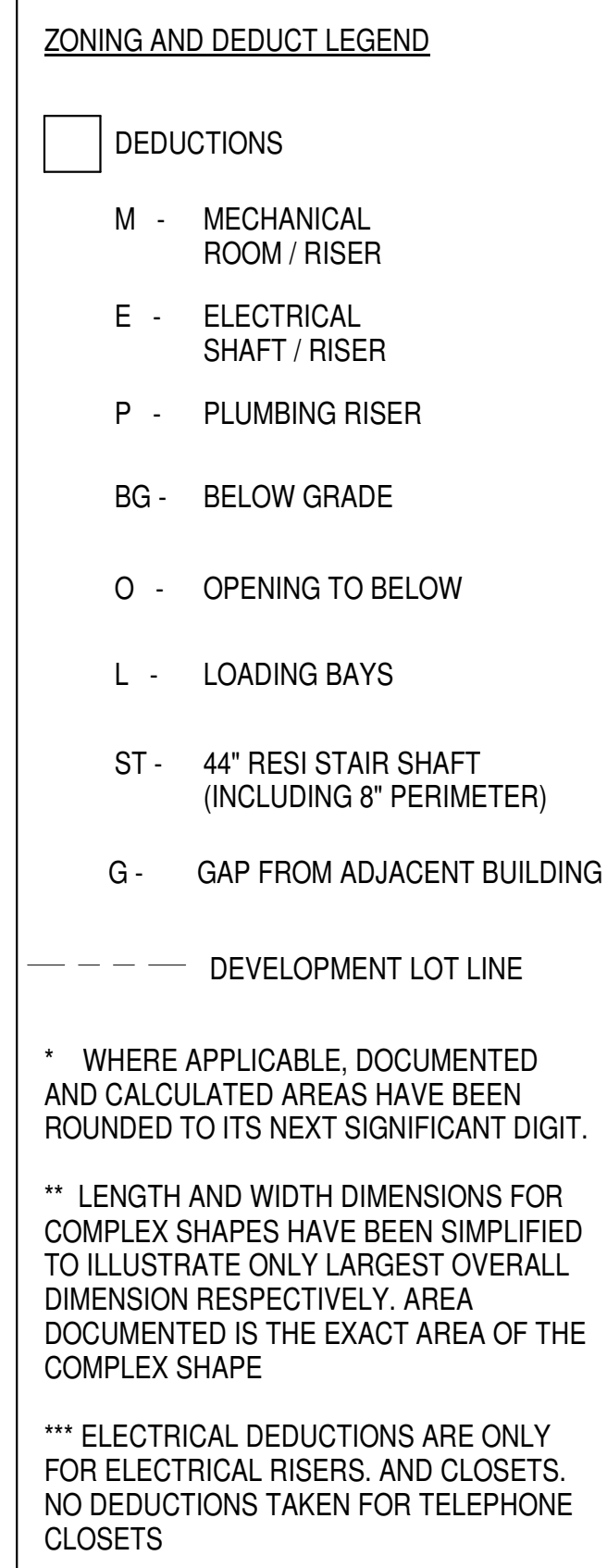
DRAWING TITLE:
ZONING FLOOR AREA PLAN AND DEDUCTIONS
4TH, 5TH, 6TH FLOOR

SEAL & SIGNATURE:
DAVID J. LEE
REGISTERED ARCHITECT
NEW YORK

DATE: 05 DEC 14
PROJECT No: 1216-00
DRAWN: Author
CHK: Checker
SCALE: 3/64" = 1'-0"
DWG No:
Z-010.02
DOB PAGE No: 7 of 454
DOB B-SCAN:

7TH FLOOR AREA CALCULATIONS			
ZONE C5-1 AND C5-3 MID			
USE	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	34,736	34,019	718
TOTAL	34,736	34,019	718

7TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	7.4	53'-10"	336'-5"	18,112.2
RESIDENTIAL	M	7.5	22'-6"	78'-11"	1,778.2
RESIDENTIAL	M	7.6	1'-8"	33'-8"	55.6
SUBTOTAL					19,946.0


$$\frac{3/64^{\text{mm}}}{1} = 1'-0^{\text{mm}}$$

8TH FLOOR AREA CALCULATIONS			
ZONE C5-1 AND C5-3 MID			
USE	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	12,688	484	12,205
RETAIL	954	321	634

9TH FLOOR REDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	N	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	8.31	4'-0"	11'-11"	50.1
RESIDENTIAL	M	8.32	3'-5"	13'-9"	47.3
RESIDENTIAL	ST	8.33	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	8.34	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	8.35	0'-8"	1'-6"	1.0
RESIDENTIAL	M	8.36	2'-4"	2'-6"	5.0
RESIDENTIAL	M	8.37	1'-7"	3'-3"	5.0
RESIDENTIAL	R	8.38	1'-2"	2'-1"	4.4
RESIDENTIAL	M	8.39	1'-6"	3'-3"	6.9
RESIDENTIAL	M	8.40	2'-0"	3'-6"	6.9
	SUBTOTAL				130.2
USE	TYPE	N	LENGTH	WIDTH	AREA (SF)
RETAIL	ST	8.41	11'-6"	28'-0"	320.8
	SUBTOTAL				320.8


$$\frac{3/64'' = 1'-0''}{2}$$

9TH FLOOR AREA CALCULATIONS			
ZONE C5-1 AND C5-3 MID			
USE	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	11,155	11,155	0
TOTAL	11,155	11,155	0

9TH FLOOR DEDUCTIONS				
ZONE C5-3 MID				
USE	TYPE	No.	LENGTH	AREA (SF)
RESIDENTIAL	M	9.6	2' - 0"	647.4
RESIDENTIAL	M	9.7	4' - 0"	18.0
RESIDENTIAL	O	9.8	16' - 3"	2,988.9
RESIDENTIAL	O	9.9	1' - 6"	36.5
SUBTOTAL				3,691.2


$$\sqrt[3]{64''} = 1'-0''$$

0

10' - 8"

21' - 4"

42' - 8"

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:

A A I

ARCHITECTS, P.C.

PROJECT:

217 WEST 57TH STREET

NEW YORK, NY

DRAWING TITLE:

ZONING FLOOR AREA PLAN AND DEDUCTIONS

7TH, 8TH, 9TH FLOOR

SEAL & SIGNATURE:

DAVID JACOBOWITZ

REGISTERED ARCHITECT

STATE OF NEW YORK

02806

EXPIRATION DATE 12/31/2024

DATE:

05 DEC 14

PROJECT No:

1216-00

DRAWN: Author

CHK: Checker

SCALE: 3/8" = 1'-0"

DWG No:

Z-011.02

DOB PAGE No:

8 of 854

DOB EMPLOYEE STAMP:

DOB B-SIGN:

11TH FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	11.1	7,463	7,463	0	
TOTAL		7,463	7,463	0	

11TH FLOOR AREA CALCULATIONS					
ZONE C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	11.2	3,691	3,691	0	
TOTAL		3,691	3,691	0	

11TH FLOOR AREA CALCULATIONS					
ZONE C5-1 AND C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		11,155	11,155	0	
TOTAL		11,155	11,155	0	

11TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	11.1	46'-10"	159'-4"	7,463.5
SUBTOTAL					

11TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	11.2	45'-3"	81'-8"	3,691.2
SUBTOTAL					



11TH FLOOR (MFD:19TH) GROSS FLOOR AREA PLAN AND DEDUCTIONS
364' x 1'-0"

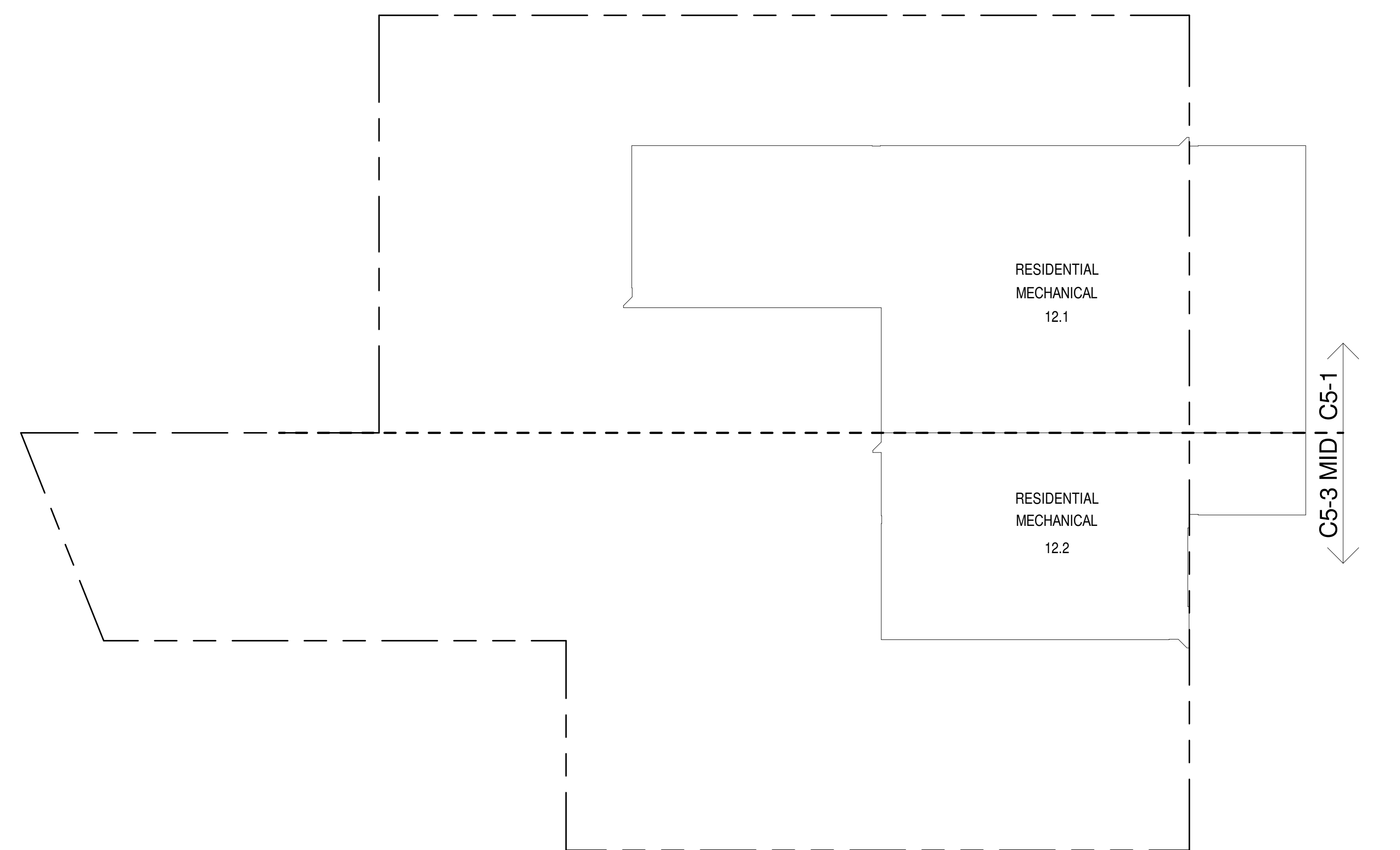
12TH FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	12.1	9,403	9,403	0	
TOTAL		9,403	9,403	0	

12TH FLOOR AREA CALCULATIONS					
ZONE C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	12.2	4,239	4,239	0	
TOTAL		4,239	4,239	0	

12TH FLOOR AREA CALCULATIONS					
ZONE C5-1 AND C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		13,643	13,643	0	
TOTAL		13,643	13,643	0	

12TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	12.1	51'-5"	183'-0"	9,403.3
SUBTOTAL					

12TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	12.2	35'-4"	120'-1"	4,239.3
SUBTOTAL					



12TH FLOOR (MFD:20TH) GROSS FLOOR AREA PLAN AND DEDUCTIONS
364' x 1'-0"

10TH FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		7,463	346	7,117	
TOTAL		7,463	346	7,117	

10TH FLOOR AREA CALCULATIONS					
ZONE C5-1 AND C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		11,155	408	10,746	
TOTAL		11,155	408	10,746	

10TH FLOOR AREA CALCULATIONS					
ZONE C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		3,691	62	3,629	
TOTAL		3,691	62	3,629	

10TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	10.1	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	10.2	0'-8"	15'-7"	10.4
RESIDENTIAL	ST	10.3	0'-8"	15'-7"	10.4
RESIDENTIAL	M	10.4	3'-5"	3'-8"	12.5
RESIDENTIAL	P	10.5	2'-4"	5'-2"	12.2
RESIDENTIAL	E	10.6	2'-8"	12'-8"	33.7
RESIDENTIAL	P	10.7	3'-11"	8'-5"	33.2
RESIDENTIAL	ST	10.8	0'-8"	6'-9"	4.5
RESIDENTIAL	ST	10.9	0'-8"	19'-0"	12.7
RESIDENTIAL	ST	10.10	0'-8"	19'-0"	12.7
RESIDENTIAL	ST	10.11	0'-8"	6'-9"	4.5
RESIDENTIAL	P	10.12	1'-9"	15'-1"	26.4
RESIDENTIAL	M	10.13	0'-10"	1'-0"	0.8
RESIDENTIAL	P	10.14	1'-1"	3'-9"	4.1
RESIDENTIAL	P	10.15	0'-11"	7'-2"	6.6
RESIDENTIAL	P	10.16	1'-3"	3'-4"	4.2
RESIDENTIAL	P	10.17	1'-0"	4'-1"	4.1
RESIDENTIAL	M	10.18	3'-6"	8'-0"	29.9
RESIDENTIAL	M	10.19	1'-3"	2'-7"	3.2
RESIDENTIAL	M	10.20	1'-5"	1'-5"	2.0
RESIDENTIAL	M	10.21	5'-2"	9'-0"	46.4
RESIDENTIAL	M	10.22	2'-5"	4'-1"	10.0
RESIDENTIAL	M	10.23	2'-3"	3'-8"	8.0
RESIDENTIAL	P	10.24	1'-0"	2'-6"	2.5
RESIDENTIAL	P	10.25	2'-7"	7'-8"	20.0
RESIDENTIAL	P	10.26	1'-8"	2'-1"	3.4
RESIDENTIAL	E	10.27	1'-10"	12'-8"	23.1
SUBTOTAL					

10TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	10.28	4'-1"	11'-10"	48.4
RESIDENTIAL	ST	10.29	0'-8"	10'-2"	6.8
RESIDENTIAL	P	10.30	1'-10"	2'-11"	5.2
RESIDENTIAL	P	10.31	1'-0"	1'-6"	1.5
SUBTOTAL					

10TH INTERMEDIATE 1 FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		7,463	7,463	0	
TOTAL		7,463	7,463	0	

10TH INTERMEDIATE 1 FLOOR AREA CALCULATIONS					
ZONE C5-1 AND C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		11,155	11,155	0	
TOTAL		11,155	11,155	0	

10TH INTERMEDIATE 1 FLOOR AREA CALCULATIONS					
ZONE C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		3,691	3,691	0	
TOTAL		3,691	3,691	0	

10TH INTERMEDIATE 1 FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	10.28	4'-1"	11'-10"	48.4
RESIDENTIAL	ST	10.29	0'-8"	10'-2"	6.8
RESIDENTIAL	P	10.30	1'-10"	2'-11"	5.2
RESIDENTIAL	P	10.31	1'-0"	1'-6"	1.5
SUBTOTAL					

10TH INTERMEDIATE 1 FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	10.1	4'-8"	494'-6"	2,292.7
RESIDENTIAL	O	10.2	15'-8"	306'-8"	4,815.3
RESIDENTIAL	O	10.3	9'-0"	30'-4"	274.0
RESIDENTIAL	M	10.4	3'-0"	4'-0"	12.0
RESIDENTIAL	M	10.5	4'-0"	4'-0"	16.1
RESIDENTIAL	M	10.6	3'-0"	4'-6"	13.5
RESIDENTIAL	M	10.7	4'-6"	5'-0"	22.5
RESIDENTIAL	M	10.8	4'-2"	4'-2"	17.4
SUBTOTAL					

10TH INTERMEDIATE 1 FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	10.9	1'-9"	323'-2"	557.1
RESIDENTIAL	O	10.10	1'-6"	24'-8"	36.9
RESIDENTIAL	O	10.11	17'-0"	180'-5"	3,061.8
RESIDENTIAL	M	10.12	4'-0"	4'-6"	18.0
RESIDENTIAL	M	10.13	4'-2"	4'-2"	17.4
SUBTOTAL					

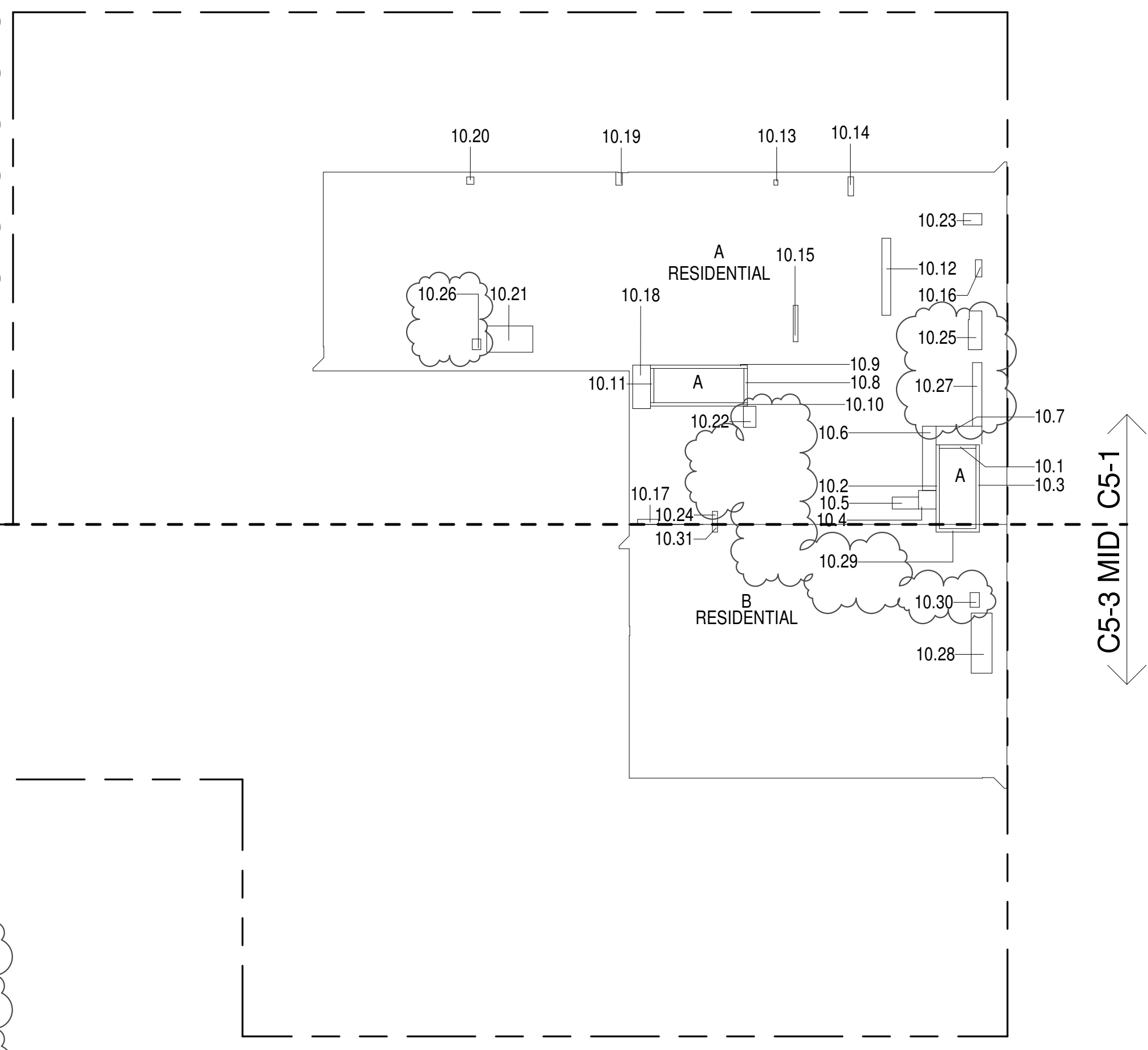
10TH INTERMEDIATE 2 FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		7,457	7,457	0	
TOTAL		7,457	7,457	0	

10TH INTERMEDIATE 2 FLOOR AREA CALCULATIONS					
ZONE C5-1 AND C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		11,148	11,148	0	
TOTAL		11,148	11,148	0	

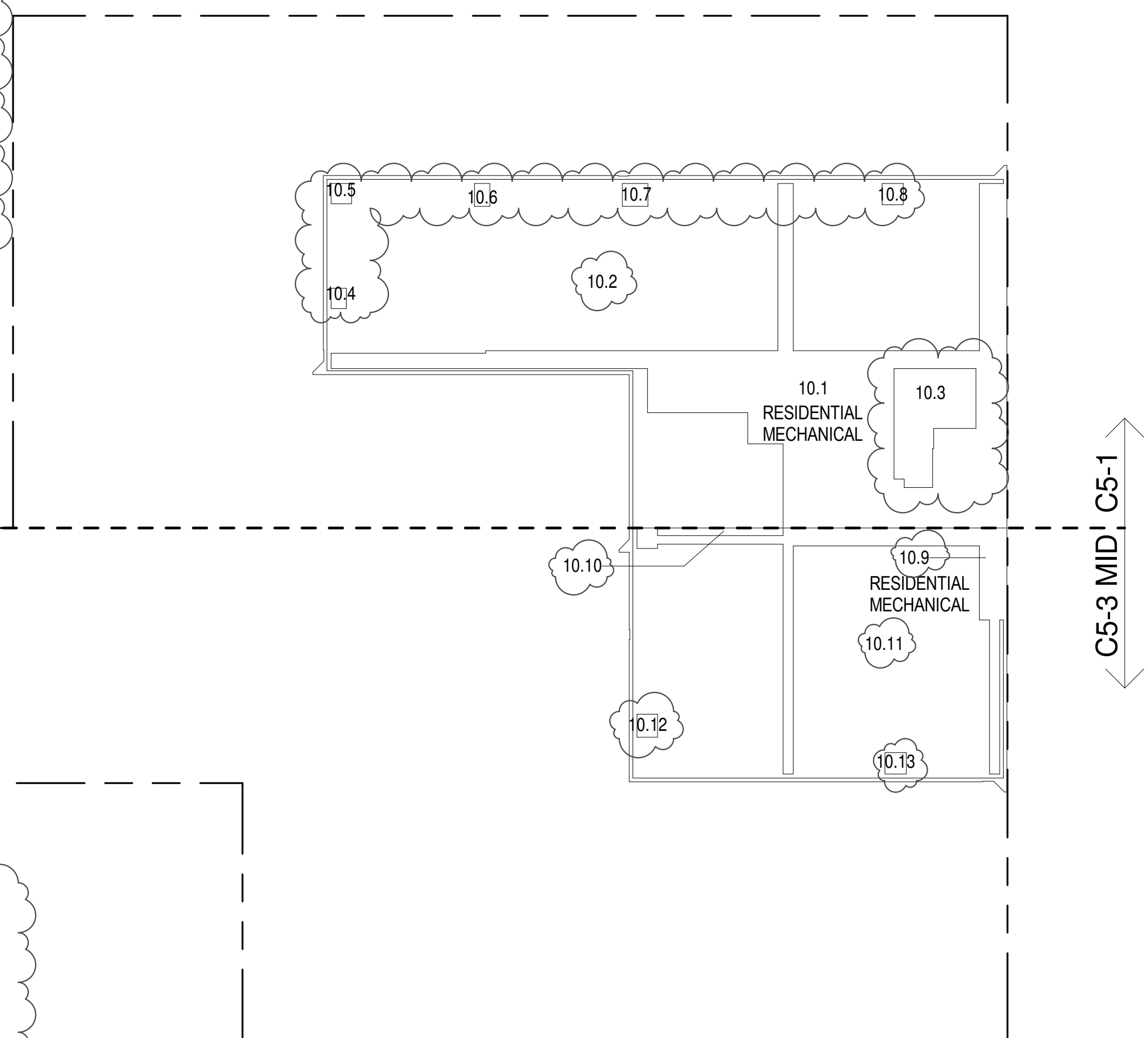
10TH INTERMEDIATE 2 FLOOR AREA CALCULATIONS					
ZONE C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		3,691	3,691	0	
TOTAL		3,691	3,691	0	

10TH INTERMEDIATE 2 FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	10.1	4'-7"	517'-2"	2,356.7
RESIDENTIAL	O	10.2	17'-7"	31'-1"	548.1
RESIDENTIAL	O	10.3	8'-1"	34'-3"	277.1
RESIDENTIAL	M	10.4	3'-0"	4'-0"	12.0
RESIDENTIAL	M	10.5	4'-0"	4'-0"	16.1
RESIDENTIAL	M	10.6	3'-0"	4'-6"	13.5
RESIDENTIAL	M	10.7	4'-6"	5'-0"	22.5
RESIDENTIAL	M	10.8	4'-2"	4'-2"	17.4
RESIDENTIAL	O	10.9	15'-1"	278'-9"	4,193.2
SUBTOTAL					

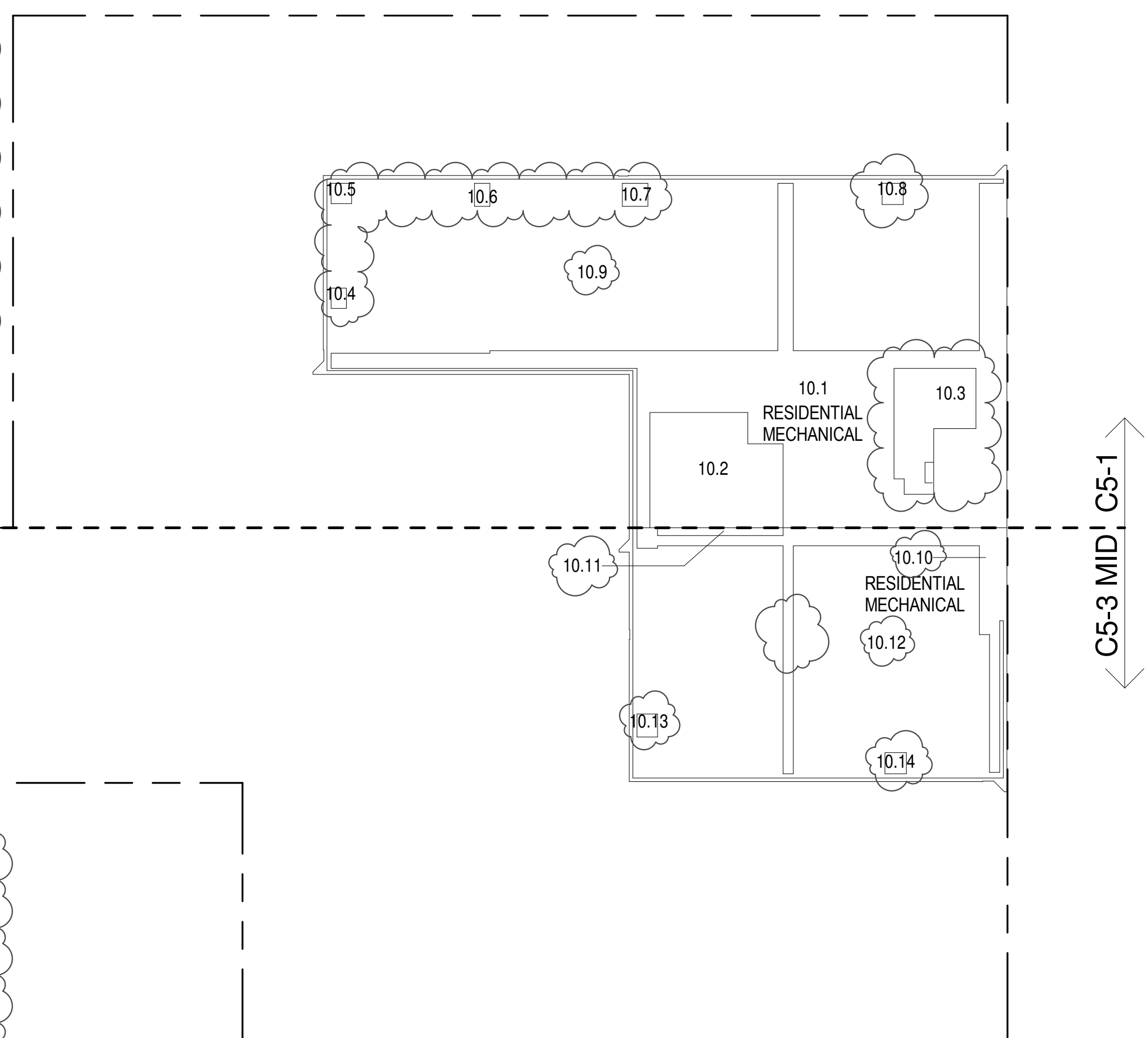
10TH INTERMEDIATE 2 FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	10.10	1'-9"	322'-3"	570.7
RESIDENTIAL	O	10.11	1'-6"	24'-8"	36.9
RESIDENTIAL	O	10.12	17'-0"	179'-7"	3,048.2
RESIDENTIAL	M	10.13	4'-0"	4'-6"	18.0
RESIDENTIAL	M	10.14	4'-2"	4'-2"	17.4
SUBTOTAL					



10TH FLOOR (MFD:16TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS
364' x 1'-0"



10TH FLOOR INTER 1 (MFD:17TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS
364' x 1'-0"



10TH FLOOR INTER 2 (MFD:18TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS
364' x 1'-0"

ZONING AND DEDUCT LEGEND

☐ DEDUCTIONS

M - MECHANICAL ROOM / RISER

E - ELECTRICAL SHAFT / RISER

P - PLUMBING RISER

BG - BELOW GRADE

O - OPENING TO BELOW

L - LOADING BAYS

ST - 44" RESI STAIR SHAFT (INCLUDING 6" PERIMETER)

G - GAP FROM ADJACENT BUILDING

--- DEVELOPMENT LOT LINE

* WHERE APPLICABLE, DOCUMENTED AND CALCULATED AREAS HAVE BEEN ROUNDED TO ITS NEXT SIGNIFICANT DIGIT.

** LENGTH AND WIDTH DIMENSIONS FOR COMPLEX SHAPES HAVE BEEN SIMPLIFIED TO ILLUSTRATE ONLY LARGEST OVERALL DIMENSION RESPECTIVELY. AREA DOCUMENTED IS THE EXACT AREA OF THE COMPLEX SHAPE

*** ELECTRICAL DEDUCTIONS ARE ONLY FOR ELECTRICAL RISERS, AND CLOSETS. NO DEDUCTIONS TAKEN FOR TELEPHONE CLOSETS

KEY PLAN:

PROJECT 050 - WEST 58TH ST
7TH AVE
WEST 57TH ST

PROJECT NORTH

TRUE NORTH

13TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		9,387	1,057	8,329
TOTAL		9,387	1,057	8,329

13TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	E	13.1	2'-6"	4'-7"	11.6
RESIDENTIAL	ST	13.2	0'-8"	12'-1"	8.0
RESIDENTIAL	M	13.3	3'-2"	6'-11"	22.0
RESIDENTIAL	M	13.4	2'-7"	7'-11"	20.1
RESIDENTIAL	M	13.5	3'-5"	3'-8"	12.5
RESIDENTIAL	ST	13.6	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	13.7	0'-8"	12'-1"	8.0
RESIDENTIAL	M	13.8	4'-3"	8'-10"	37.4
RESIDENTIAL	M	13.9	3'-3"	5'-0"	16.3
RESIDENTIAL	M	13.10	0'-7"	1'-2"	0.6
RESIDENTIAL	M	13.11	4'-5"	4'-8"	20.6
RESIDENTIAL	M	13.12	2'-6"	3'-11"	9.7
RESIDENTIAL	E	13.13	5'-0"	6'-11"	34.3
RESIDENTIAL	M	13.14	1'-3"	3'-10"	4.8
RESIDENTIAL	M	13.15	4'-2"	4'-10"	20.2
RESIDENTIAL	M	13.16	2'-9"	3'-1"	8.4
RESIDENTIAL	M	13.17	4'-6"	5'-2"	23.3
RESIDENTIAL	M	13.18	1'-10"	3'-0"	5.4
RESIDENTIAL	M	13.19	1'-3"	3'-11"	4.9
RESIDENTIAL	M	13.20	2'-5"	3'-11"	8.3
RESIDENTIAL	M	13.21	4'-8"	5'-1"	23.4
RESIDENTIAL	M	13.22	4'-8"	4'-11"	23.0
RESIDENTIAL	M	13.23	3'-1"	4'-7"	13.9
RESIDENTIAL	M	13.24	1'-1"	3'-10"	4.2
RESIDENTIAL	M	13.25	2'-3"	3'-1"	7.0
RESIDENTIAL	M	13.26	2'-3"	4'-7"	10.2
RESIDENTIAL	M	13.27	1'-7"	1'-10"	2.9
RESIDENTIAL	M	13.28	1'-9"	3'-2"	5.5
RESIDENTIAL	ST	13.29	0'-9"	8'-1"	5.9
RESIDENTIAL	ST	13.30	0'-8"	6'-9"	4.5
RESIDENTIAL	ST	13.31	0'-8"	16'-5"	11.0
RESIDENTIAL	ST	13.32	0'-8"	16'-5"	11.0
RESIDENTIAL	M	13.33	0'-7"	0'-6"	0.4
RESIDENTIAL	M	13.34	2'-2"	2'-3"	5.0
RESIDENTIAL	M	13.35	4'-8"	7'-6"	35.7
SUBTOTAL					

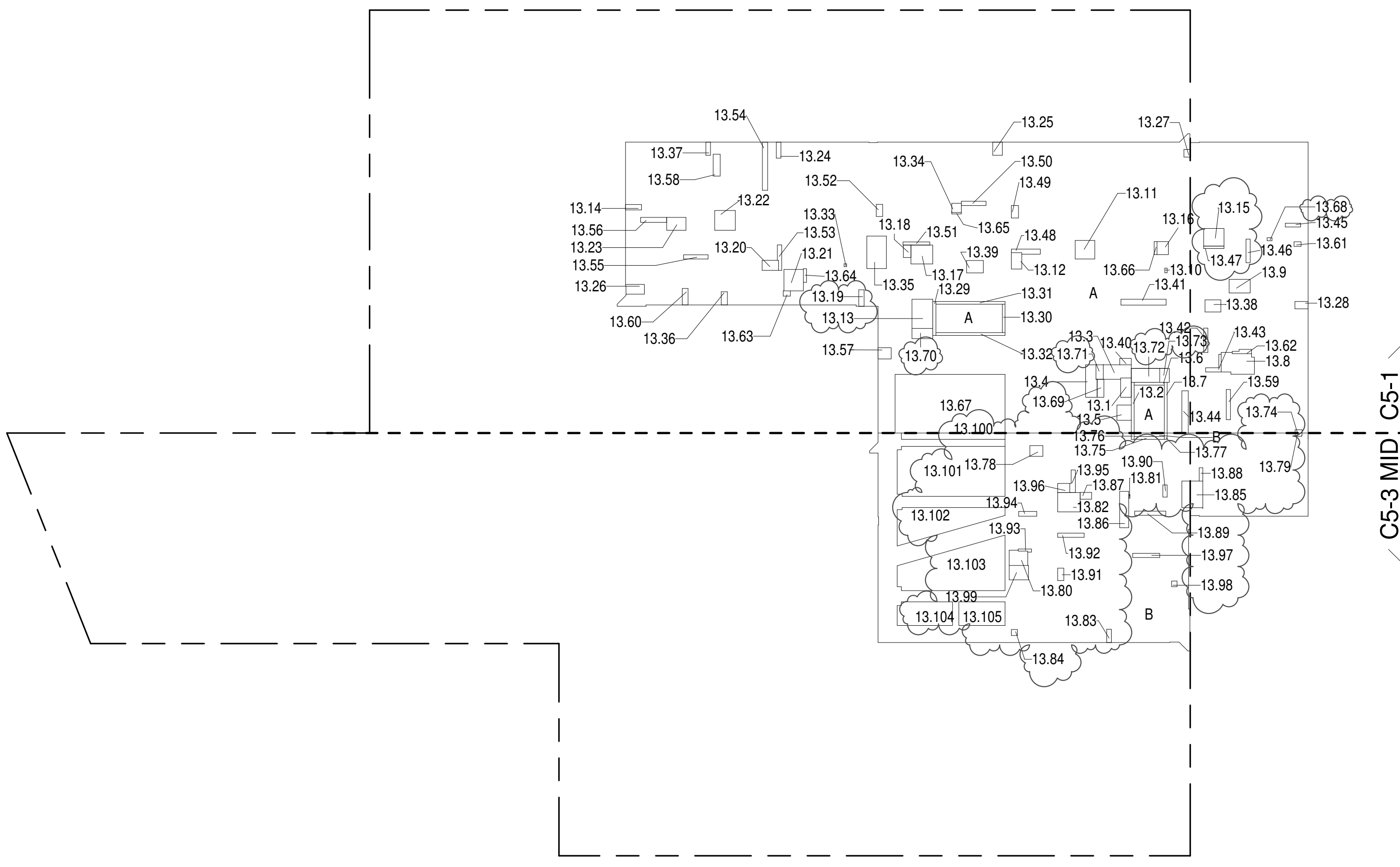
13TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	13.36	1'-5"	3'-1"	4.4
RESIDENTIAL	M	13.37	1'-1"	3'-2"	3.4
RESIDENTIAL	M	13.38	2'-11"	3'-9"	10.9
RESIDENTIAL	M	13.39	3'-0"	4'-0"	11.8
RESIDENTIAL	M	13.40	1'-7"	2'-9"	4.3
RESIDENTIAL	P	13.41	1'-5"	10'-9"	14.8
RESIDENTIAL	P	13.42	1'-0"	5'-10"	5.8
RESIDENTIAL	P	13.43	0'-9"	7'-2"	5.6
RESIDENTIAL	P	13.44	1'-6"	10'-0"	15.3
RESIDENTIAL	P	13.45	0'-11"	3'-7"	3.3
RESIDENTIAL	P	13.46	1'-0"	5'-7"	5.6
RESIDENTIAL	P	13.47	0'-7"	4'-10"	2.8
RESIDENTIAL	P	13.48	1'-1"	7'-2"	7.8
RESIDENTIAL	P	13.49	1'-8"	2'-11"	5.0
RESIDENTIAL	P	13.50	1'-0"	3'-11"	5.0
RESIDENTIAL	P	13.51	0'-9"	6'-4"	4.7
RESIDENTIAL	P	13.52	1'-6"	2'-11"	4.4
RESIDENTIAL	P	13.53	0'-11"	6'-2"	5.4
RESIDENTIAL	P	13.54	1'-3"	11'-5"	14.2
RESIDENTIAL	P	13.55	1'-0"	9'-10"	5.8
RESIDENTIAL	P	13.56	1'-2"	6'-2"	7.4
RESIDENTIAL	M	13.57	2'-8"	3'-1"	8.2
RESIDENTIAL	P	13.58	1'-8"	5'-2"	8.8
RESIDENTIAL	P	13.59	1'-0"	7'-2"	7.2
RESIDENTIAL	P	13.60	1'-5"	3'-11"	5.4
RESIDENTIAL	M	13.61	1'-1"	1'-8"	0.8
RESIDENTIAL	P	13.62	0'-10"	4'-9"	4.0
RESIDENTIAL	M	13.63	1'-3"	1'-9"	2.2
RESIDENTIAL	P	13.64	0'-9"	3'-3"	2.4
RESIDENTIAL	P	13.65	0'-4"	2'-3"	0.8
RESIDENTIAL	P	13.66	0'-8"	3'-1"	2.0
RESIDENTIAL	P	13.67	13'-11"	26'-2"	365.6
RESIDENTIAL	M	13.68	0'-9"	1'-2"	0.8
RESIDENTIAL	E	13.69	1'-7"	4'-3"	6.8
RESIDENTIAL	M	13.70	2'-5"	5'-0"	11.9
RESIDENTIAL	P	13.71	1'-9"	3'-5"	6.0
RESIDENTIAL	P	13.72	3'-3"	6'-9"	22.2
RESIDENTIAL	M	13.73	2'-3"	3'-3"	7.4
RESIDENTIAL	M	13.74	0'-9"	1'-8"	1.3
SUBTOTAL					1,057.2

13TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		4,239	1,041	3,199
TOTAL		4,239	1,041	3,199

13TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	13.75	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	13.76	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	13.77	0'-8"	1'-6"	1.0
RESIDENTIAL	M	13.78	2'-2"	3'-5"	7.9
RESIDENTIAL	M	13.79	0'-9"	1'-9"	1.3
RESIDENTIAL	M	13.80	3'-2"	4'-10"	15.4
RESIDENTIAL	M	13.81	0'-3"	0'-10"	0.2
RESIDENTIAL	M	13.82	4'-7"	5'-4"	24.4
RESIDENTIAL	M	13.83	1'-1"	3'-2"	3.4
RESIDENTIAL	M	13.84	1'-5"	1'-5"	2.0
RESIDENTIAL	M	13.85	5'-0"	6'-4"	31.5
RESIDENTIAL	M	13.86	2'-2"	6'-8"	18.8
RESIDENTIAL	M	13.87	1'-7"	3'-9"	4.4
RESIDENTIAL	P	13.88	0'-10"	3'-2"	2.7
RESIDENTIAL	P	13.89	1'-0"	7'-5"	7.4
RESIDENTIAL	P	13.90	1'-0"	2'-11"	2.9
RESIDENTIAL	P	13.91	1'-6"	2'-11"	4.3
RESIDENTIAL	P	13.92	1'-0"	6'-3"	6.3
RESIDENTIAL	P	13.93	0'-7"	3'-4"	1.8
RESIDENTIAL	P	13.94	1'-2"	4'-4"	4.9
RESIDENTIAL	P	13.95	1'-1"	5'-7"	6.1
RESIDENTIAL	M	13.96	2'-2"	2'-11"	6.1
RESIDENTIAL	P	13.97	1'-0"	6'-5"	6.4
RESIDENTIAL	M	13.98	1'-4"	1'-4"	1.8
RESIDENTIAL	M	13.99	3'-5"	4'-7"	15.6
RESIDENTIAL	O	13.100	1'-6"	24'-8"	36.9
RESIDENTIAL	O	13.101	11'-9"	25'-0"	302.9
RESIDENTIAL	O	13.102	5'-4"	26'-3"	140.4
RESIDENTIAL	O	13.103	9'-2"	26'-6"	243.2
RESIDENTIAL	O	13.104	5'-6"	15'-3"	72.9
RESIDENTIAL	O	13.105	5'-7"	11'-0"	61.9
SUBTOTAL					1,040.8

13TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		13,626	2,098	11,528
TOTAL		13,626	2,098	11,528

13TH FLOOR DEDUCTIONS					
ZONE C5-1 AND C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	13.75	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	13.76	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	13.77	0'-8"	1'-6"	1.0
RESIDENTIAL	M	13.78	2'-2"	3'-5"	7.9
RESIDENTIAL	M	13.79	0'-9"	1'-9"	1.3
RESIDENTIAL	M	13.80	3'-2"	4'-10"	15.4
RESIDENTIAL	M	13.81	0'-3"	0'-10"	0.2
RESIDENTIAL	M	13.82	4'-7"	5'-4"	24.4
RESIDENTIAL	M	13.83	1'-1"	3'-2"	3.4
RESIDENTIAL	M	13.84	1'-5"	1'-5"	2.0
RESIDENTIAL	M	13.85	5'-0"	6'-4"	31.5
RESIDENTIAL	M	13.86	2'-2"	6'-8"	18.8
RESIDENTIAL	M	13.87	1'-7"	3'-9"	4.4
RESIDENTIAL	P	13.88	0'-10"	3'-2"	2.7
RESIDENTIAL	P	13.89	1'-0"	7'-5"	7.4
RESIDENTIAL	P	13.90	1'-0"	2'-11"	2.9
RESIDENTIAL	P	13.91	1'-6"	2'-11"	4.3
RESIDENTIAL	P	13.92	1'-0"	6'-3"	6.3
RESIDENTIAL	P	13.93	0'-7"	3'-4"	1.8
RESIDENTIAL	P	13.94	1'-2"	4'-4"	4.9
RESIDENTIAL	P	13.95	1'-1"	6'-7"	6.1
RESIDENTIAL	M	13.96	2'-2"	2'-11"	6.1
RESIDENTIAL	P	13.97	1'-0"	6'-5"	6.4
RESIDENTIAL	M	13.98	1'-4"	1'-4"	1.8
RESIDENTIAL	M	13.99	3'-5"	4'-7"	15.6
RESIDENTIAL	O	13.100	1'-6"	24'-8"	36.9
RESIDENTIAL	O	13.101	11'-9"	25'-0"	302.9
RESIDENTIAL	O	13.102	5'-4"	26'-3"	140.4
RESIDENTIAL	O	13.103	9'-2"	26'-6"	243.2
RESIDENTIAL	O	13.104	5'-6"	15'-3"	72.9
RESIDENTIAL	O	13.105	5'-7"	11'-0"	61.9
SUBTOTAL					1,041



13TH FLOOR (MFD:32ND FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS 364" = 1'-0" 1

ZONING AND DEDUCT LEGEND

DEDUCTIONS

M - MECHANICAL ROOM / RISER

E - ELECTRICAL SHAFT / RISER

P - PLUMBING RISER

BG - BELOW GRADE

O - OPENING TO BELOW

L - LOADING BAYS

ST - 44" RESI STAIR SHAFT (INCLUDING 6" PERIMETER)

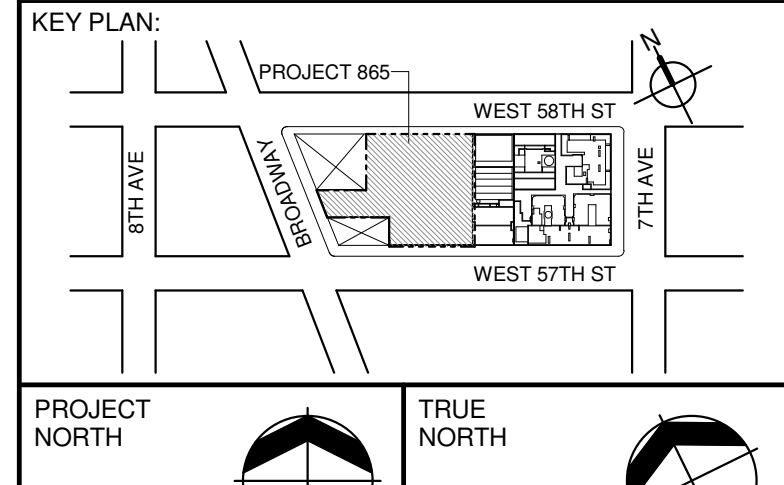
G - GAP FROM ADJACENT BUILDING

DEVELOPMENT LOT LINE

* WHERE APPLICABLE, DOCUMENTED AND CALCULATED AREAS HAVE BEEN ROUNDED TO ITS NEXT SIGNIFICANT DIGIT.

** LENGTH AND WIDTH DIMENSIONS FOR COMPLEX SHAPES HAVE BEEN SIMPLIFIED TO ILLUSTRATE ONLY LARGEST OVERALL DIMENSION RESPECTIVELY. AREA DOCUMENTED IS THE EXACT AREA OF THE COMPLEX SHAPE

*** ELECTRICAL DEDUCTIONS ARE ONLY FOR ELECTRICAL RISERS, AND CLOSETS. NO DEDUCTIONS TAKEN FOR TELEPHONE CLOSETS



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 17TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

ARCHITECT OF RECORD: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 West 37th St., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 867 1500 FAX: 416 867 7150

STRUCTURAL ENGINEERS:
WSP CANTOR SENEK
228 EAST 42nd Street
New York, NY 10017 USA
TEL: 212 687 9888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
1501 Broadway
New York, NY 10036 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza, 380 West 31st Street, 8th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
A.J.P. Consulting
40 Worth Street, Suite 808
New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Higgins Quasebarth & Partners LLC
11 Hanover Square, 16th Floor
New York, NY 10005
TEL: 212 274 9488 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:
Jan Hick Pokorny Associates, Inc.
59 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

14TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		9,387	701	8,686
TOTAL		9,387	701	8,686

14TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	E	14.1	2'-7"	4'-7"	11.9
RESIDENTIAL	ST	14.2	0'-8"	12'-1"	8.0
RESIDENTIAL	M	14.3	3'-2"	6'-11"	22.0
RESIDENTIAL	M	14.4	2'-7"	7'-11"	20.1
RESIDENTIAL	M	14.5	3'-5"	3'-8"	12.5
RESIDENTIAL	ST	14.6	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	14.7	0'-8"	12'-1"	8.0
RESIDENTIAL	M	14.8	4'-2"	7'-10"	33.0
RESIDENTIAL	M	14.9	3'-3"	4'-7"	14.4
RESIDENTIAL	M	14.10	0'-7"	1'-2"	0.6
RESIDENTIAL	M	14.11	4'-5"	4'-8"	20.6
RESIDENTIAL	M	14.12	2'-6"	3'-11"	9.7
RESIDENTIAL	E	14.13	5'-0"	6'-11"	33.4
RESIDENTIAL	M	14.14	1'-3"	3'-10"	4.8
RESIDENTIAL	M	14.15	4'-2"	4'-10"	20.2
RESIDENTIAL	M	14.16	2'-9"	3'-1"	8.4
RESIDENTIAL	M	14.17	4'-6"	5'-2"	23.3
RESIDENTIAL	M	14.18	1'-10"	2'-8"	4.9
RESIDENTIAL	M	14.19	1'-3"	3'-11"	4.9
RESIDENTIAL	M	14.20	2'-5"	3'-8"	8.7
RESIDENTIAL	M	14.21	4'-8"	5'-1"	23.4
RESIDENTIAL	M	14.22	4'-8"	4'-11"	23.0
RESIDENTIAL	M	14.23	3'-1"	4'-7"	13.9
RESIDENTIAL	M	14.24	1'-1"	3'-10"	4.2
RESIDENTIAL	M	14.25	2'-5"	3'-1"	7.5
RESIDENTIAL	M	14.26	1'-1"	4'-2"	4.5
RESIDENTIAL	M	14.27	1'-7"	1'-10"	2.9
RESIDENTIAL	M	14.28	1'-9"	3'-2"	5.5
RESIDENTIAL	ST	14.29	0'-9"	8'-1"	5.9
RESIDENTIAL	ST	14.30	0'-8"	6'-9"	4.5
RESIDENTIAL	ST	14.31	0'-8"	16'-5"	11.0
RESIDENTIAL	ST	14.32	0'-6"	16'-5"	11.6
RESIDENTIAL	ST	14.33	2'-2"	7'-2"	10.7
RESIDENTIAL	ST	14.34	2'-2"	2'-3"	5.0
SUBTOTAL					

16TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	GFA	DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	9,387	705	8,681	
TOTAL	9,387	705	8,681	

16TH FLOOR DEDUCTIONS				
ZONE C5-1				
USE	TYPE	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	E 16.1	2'-7"	4'-7"	11.9
RESIDENTIAL	ST 16.2	0'-8"	12'-1"	8.0
RESIDENTIAL	M 16.3	3'-2"	6'-11"	22.0
RESIDENTIAL	M 16.4	2'-7"	7'-11"	20.1
RESIDENTIAL	M 16.5	3'-5"	3'-8"	12.5
RESIDENTIAL	ST 16.6	0'-8"	7'-2"	4.8
RESIDENTIAL	ST 16.7	0'-8"	12'-1"	8.0
RESIDENTIAL	M 16.8	4'-3"	8'-3"	35.2
RESIDENTIAL	M 16.9	3'-2"	4'-9"	15.0
RESIDENTIAL	M 16.10	0'-7"	1'-2"	0.6
RESIDENTIAL	M 16.11	4'-5"	4'-8"	20.6
RESIDENTIAL	E 16.12	4'-10"	6'-11"	33.4
RESIDENTIAL	E 16.13	4'-10"	6'-11"	33.4
RESIDENTIAL	M 16.14	1'-3"	3'-10"	4.2
RESIDENTIAL	M 16.15	4'-2"	4'-10"	20.0
RESIDENTIAL	M 16.16	2'-9"	3'-1"	8.4
RESIDENTIAL	M 16.17	4'-6"	5'-2"	23.3
RESIDENTIAL	M 16.18	1'-10"	2'-8"	4.9
RESIDENTIAL	M 16.19	1'-3"	3'-11"	4.7
RESIDENTIAL	M 16.20	2'-5"	3'-8"	8.7
RESIDENTIAL	M 16.21	4'-8"	5'-11"	23.0
RESIDENTIAL	M 16.22	4'-8"	4'-11"	23.0
RESIDENTIAL	M 16.23	3'-1"	4'-7"	13.9
RESIDENTIAL	M 16.24	1'-1"	3'-10"	4.2
RESIDENTIAL	M 16.25	2'-5"	3'-1"	7.5
RESIDENTIAL	M 16.26	1'-1"	4'-2"	4.5
RESIDENTIAL	M 16.27	1'-10"	1'-10"	3.4
RESIDENTIAL	M 16.28	1'-7"	2'-5"	3.9
RESIDENTIAL	ST 16.29	0'-9"	8'-1"	5.9
RESIDENTIAL	ST 16.30	0'-8"	6'-9"	4.5
RESIDENTIAL	M 16.31	0'-8"	16'-5"	11.0
RESIDENTIAL	ST 16.32	0'-8"	16'-5"	11.0
RESIDENTIAL	M 16.33	0'-7"	1'-2"	0.7
RESIDENTIAL	M 16.34	2'-2"	2'-3"	5.0
RESIDENTIAL	M 16.35	4'-8"	7'-8"	35.7
SUBTOTAL				705.4

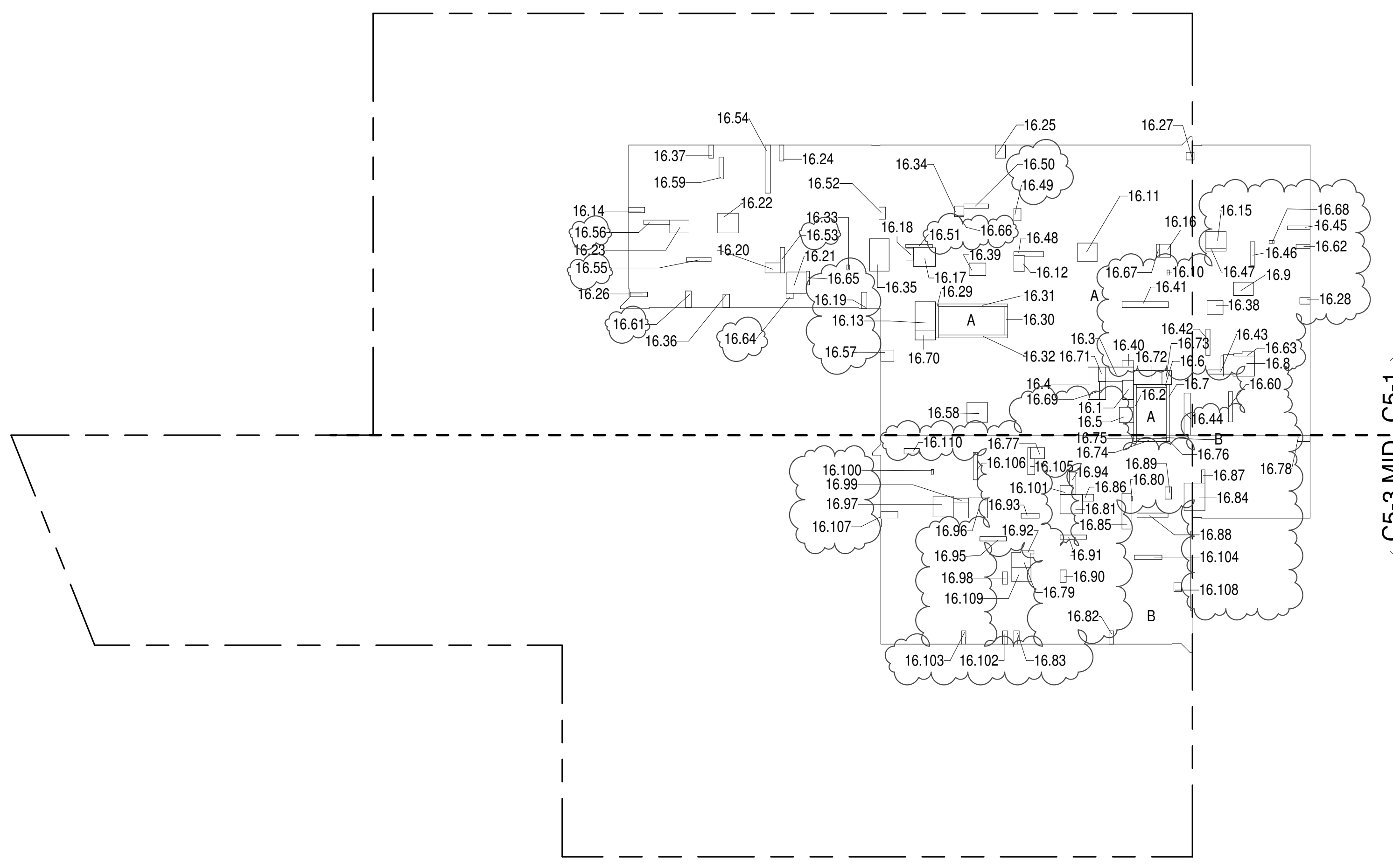
16TH FLOOR DEDUCTIONS				
ZONE C5-1				
USE	TYPE	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M 16.36	1'-7"	3'-1"	5.0
RESIDENTIAL	M 16.37	1'-1"	3'-2"	3.4
RESIDENTIAL	M 16.38	3'-3"	3'-10"	12.5
RESIDENTIAL	M 16.39	3'-0"	4'-0"	11.8
RESIDENTIAL	M 16.40	1'-7"	2'-9"	4.3
RESIDENTIAL	P 16.41	1'-0"	11'-0"	15.2
RESIDENTIAL	P 16.42	1'-0"	6'-3"	6.3
RESIDENTIAL	P 16.43	0'-9"	7'-3"	5.6
RESIDENTIAL	P 16.44	1'-6"	10'-0"	15.0
RESIDENTIAL	P 16.45	0'-11"	5'-5"	5.0
RESIDENTIAL	P 16.46	1'-1"	5'-7"	6.2
RESIDENTIAL	P 16.47	0'-7"	4'-10"	2.8
RESIDENTIAL	P 16.48	1'-1"	7'-2"	7.8
RESIDENTIAL	P 16.49	1'-8"	2'-11"	5.0
RESIDENTIAL	P 16.50	1'-0"	5'-11"	6.0
RESIDENTIAL	P 16.51	0'-9"	6'-4"	4.7
RESIDENTIAL	P 16.52	1'-6"	2'-11"	4.4
RESIDENTIAL	P 16.53	1'-0"	6'-1"	6.0
RESIDENTIAL	P 16.54	1'-3"	11'-5"	14.7
RESIDENTIAL	P 16.55	1'-0"	5'-10"	5.8
RESIDENTIAL	P 16.56	1'-1"	6'-2"	6.5
RESIDENTIAL	M 16.57	2'-8"	3'-1"	8.2
RESIDENTIAL	M 16.58	4'-8"	4'-11"	23.0
RESIDENTIAL	P 16.59	1'-1"	5'-2"	5.4
RESIDENTIAL	P 16.60	1'-0"	7'-2"	7.2
RESIDENTIAL	P 16.61	1'-5"	3'-11"	5.5
RESIDENTIAL	M 16.62	0'-11"	3'-4"	3.1
RESIDENTIAL	P 16.63	0'-10"	5'-2"	4.2
RESIDENTIAL	M 16.64	1'-3"	1'-9"	2.2
RESIDENTIAL	P 16.65	0'-9"	3'-3"	2.4
RESIDENTIAL	P 16.66	0'-4"	2'-3"	0.8
RESIDENTIAL	P 16.67	0'-8"	3'-1"	2.0
RESIDENTIAL	M 16.68	0'-9"	1'-2"	0.8
RESIDENTIAL	E 16.69	1'-5"	4'-3"	6.1
RESIDENTIAL	M 16.70	2'-2"	4'-10"	10.4
RESIDENTIAL	P 16.71	1'-9"	3'-5"	6.0
RESIDENTIAL	P 16.72	3'-3"	6'-9"	22.2
RESIDENTIAL	M 16.73	2'-3"	3'-3"	7.4
SUBTOTAL				705.4

16TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	GFA	DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	4,239	286	3,953	
TOTAL	4,239	286	3,953	

16TH FLOOR DEDUCTIONS				
ZONE C5-3 MID				
USE	TYPE	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST 16.74	0'-8"	7'-2"	4.8
RESIDENTIAL	ST 16.75	0'-8"	1'-6"	1.0
RESIDENTIAL	ST 16.76	0'-8"	1'-6"	1.0
RESIDENTIAL	M 16.77	2'-7"	3'-4"	8.7
RESIDENTIAL	M 16.78	1'-4"	3'-1"	4.1
RESIDENTIAL	M 16.79	3'-3"	4'-8"	15.2
RESIDENTIAL	M 16.80	0'-3"	1'-2"	0.3
RESIDENTIAL	M 16.81	4'-7"	5'-4"	24.4
RESIDENTIAL	M 16.82	1'-1"	3'-2"	3.4
RESIDENTIAL	M 16.83	1'-0"	3'-5"	3.4
RESIDENTIAL	M 16.84	5'-0"	6'-2"	32.7
RESIDENTIAL	M 16.85	2'-2"	6'-6"	18.4
RESIDENTIAL	M 16.86	1'-7"	2'-9"	4.3
RESIDENTIAL	P 16.87	0'-10"	3'-2"	2.7
RESIDENTIAL	P 16.88	1'-0"	7'-5"	7.4
RESIDENTIAL	P 16.89	1'-6"	2'-11"	4.3
RESIDENTIAL	P 16.90	1'-5"	2'-11"	4.3
RESIDENTIAL	P 16.91	1'-0"	6'-3"	6.3
RESIDENTIAL	P 16.92	0'-7"	3'-4"	1.8
RESIDENTIAL	P 16.93	1'-2"	4'-4"	4.4
RESIDENTIAL	P 16.94	1'-1"	5'-9"	6.4
RESIDENTIAL	P 16.95	1'-1"	6'-4"	6.7
RESIDENTIAL	M 16.96	4'-7"	4'-10"	22.1
RESIDENTIAL	M 16.97	4'-10"	4'-11"	23.8
RESIDENTIAL	P 16.98	1'-3"	2'-11"	3.6
RESIDENTIAL	P 16.99	1'-2"	3'-7"	4.1
RESIDENTIAL	M 16.100	0'-6"	1'-2"	0.6
RESIDENTIAL	M 16.101	2'-2"	3'-1"	6.6
RESIDENTIAL	M 16.102	1'-2"	3'-2"	3.7
RESIDENTIAL	M 16.103	1'-0"	3'-3"	2.9
RESIDENTIAL	P 16.104	1'-0"	6'-7"	4.6
RESIDENTIAL	P 16.105	1'-2"	6'-11"	8.0
SUBTOTAL				285.8

16TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	GFA	DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	13,626	991	12,635	
TOTAL	13,626	991	12,635	

16TH FLOOR DEDUCTIONS				
ZONE C5-3 MID				
USE	TYPE	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P 16.106	1'-0"	6'-6"	6.5
RESIDENTIAL	M 16.107	1'-7"	4'-1"	6.3
RESIDENTIAL	M 16.108	1'-10"	2'-1"	3.8
RESIDENTIAL	M 16.109	3'-5"	4'-2"	15.6
RESIDENTIAL	P 16.110	1'-4"	3'-9"	4.8
SUBTOTAL				285.8



16TH FLOOR (MFD:35TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS 364' = 1'-0" 1

17TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	GFA	DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	9,387	705	8,681	
TOTAL	9,387	705	8,681	

17TH FLOOR DEDUCTIONS				
ZONE C5-1				
USE	TYPE	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	E 17.1	2'-7"	4'-7"	11.9
RESIDENTIAL	ST 17.2	0'-8"	12'-1"	8.0
RESIDENTIAL	M 17.3	3'-2"	6'-11"	22.0
RESIDENTIAL	M 17.4	2'-7"	7'-11"	20.1
RESIDENTIAL	M 17.5	3'-5"	3'-8"	12.5
RESIDENTIAL	ST 17.6	0'-8"	7'-2"	4.8
RESIDENTIAL	ST 17.7	0'-8"	12'-1"	8.0
RESIDENTIAL	M 17.8	4'-3"	8'-3"	35.2
RESIDENTIAL	M 17.9	3'-2"	4'-9"	15.0
RESIDENTIAL	M 17.10	0'-7"	1'-2"	0.6
RESIDENTIAL	M 17.11	4'-5"	4'-8"	20.6
RESIDENTIAL	M 17.12	2'-6"	3'-11"	9.7
RESIDENTIAL	E 17.13	4'-10"	6'-11"	33.4
RESIDENTIAL	M 17.14	1'-3"	3'-10"	4.2
RESIDENTIAL	M 17.15	4'-2"	4'-10"	20.0
RESIDENTIAL	M 17.16	2'-9"	3'-1"	8.4
RESIDENTIAL	M 17.17	1'-4"	5'-2"	23.3
RESIDENTIAL	M 17.18	1'-10"	2'-8"	4.9
RESIDENTIAL	M 17.19	1'-3"	3'-11"	4.9
RESIDENTIAL	M 17.20	2'-5"	3'-8"	8.7
RESIDENTIAL	M 17.21	4'-8"	5'-11"	23.0
RESIDENTIAL	M 17.22	4'-8"	4'-11"	23.0
RESIDENTIAL	M 17.23	3'-1"	4'-7"	13.9
RESIDENTIAL	M 17.24	1'-1"	3'-10"	4.2
RESIDENTIAL	M 17.25	2'-5"	3'-1"	7.5
RESIDENTIAL	M 17.26	1'-1"	4'-2"	4.5
RESIDENTIAL	M 17.27	1'-10"	1'-10"	3.4
RESIDENTIAL	M 17.28	1'-7"	2'-5"	3.9
RESIDENTIAL	ST 17.29	0'-9"	8'-1"	5.9
RESIDENTIAL	ST 17.30	0'-8"	6'-9"	4.5
RESIDENTIAL	ST 17.31	0'-8"	16'-5"	11.0
RESIDENTIAL	ST 17.32	0'-8"	16'-5"	11.0
RESIDENTIAL	M 17.33	0'-7"	1'-2"	0.7
RESIDENTIAL	M 17.34	2'-2"	2'-3"	5.0
RESIDENTIAL	M 17.35	4'-8"	7'-8"	35.7
SUBTOTAL				705.4

17TH FLOOR DEDUCTIONS				
ZONE C5-1				
USE	TYPE	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M 17.36	1'-7"	3'-1"	5.0
RESIDENTIAL	M 17.37	1'-1"	3'-2"	3.4
RESIDENTIAL	M 17.38	3'-3"	3'-10"	12.5
RESIDENTIAL	M 17.39	3'-0"	4'-0"	11.8
RESIDENTIAL	M 17.40	1'-7"	2'-9"	4.3
RESIDENTIAL	P 17.41	1'-0"	11'-0"	15.2
RESIDENTIAL	P 17.42	1'-0"	6'-3"	6.3
RESIDENTIAL	P 17.43	0'-9"	7'-3"	5.6
RESIDENTIAL	P 17.44	1'-6"	10'-0"	15.0
RESIDENTIAL	P 17.45	0'-11"	5'-5"	5.0
RESIDENTIAL	P 17.46	1'-1"	5'-7"	6.2
RESIDENTIAL	P 17.47	0'-7"	4'-10"	2.8
RESIDENTIAL	P 17.48	1'-1"	7'-2"	7.8
RESIDENTIAL	P 17.49	1'-8"	2'-11"	5.0
RESIDENTIAL	P 17.50	1'-0"	5'-11"	6.0
RESIDENTIAL	P 17.51	0'-9"	6'-4"	4.7
RESIDENTIAL	P 17.52	1'-6"	2'-11"	4.4
RESIDENTIAL	P 17.53	1'-0"	6'-1"	6.0
RESIDENTIAL	P 17.54	1'-3"	11'-5"	14.7
RESIDENTIAL	P 17.55	1'-0"	5'-10"	5.8
RESIDENTIAL	P 17.56	1'-1"	6'-2"	6.5
RESIDENTIAL	M 17.57	2'-8"	3'-1"	8.2
RESIDENTIAL	M 17.58	4'-8"	4'-11"	23.0
RESIDENTIAL	P 17.59	1'-1"	5'-2"	5.4
RESIDENTIAL	P 17.60	1'-0"	7'-2"	7.2
RESIDENTIAL	P 17.61	1'-5"	3'-11"	5.5
RESIDENTIAL	M 17.62	0'-11"	3'-4"	3.1
RESIDENTIAL	P 17.63	0'-10"	5'-2"	4.2
RESIDENTIAL	M 17.64	1'-3"	1'-9"	2.2
RESIDENTIAL	P 17.65	0'-9"	3'-3"	2.4
RESIDENTIAL	P 17.66	0'-4"	2'-3"	0.8
RESIDENTIAL	P 17.67	0'-8"	3'-1"	2.0
RESIDENTIAL	M 17.68	0'-9"	1'-2"	0.8
RESIDENTIAL	E 17.69	1'-5"	4'-3"	6.1
RESIDENTIAL	M 17.70	2'-2"	4'-10"	10.4
RESIDENTIAL	P 17.71	1'-9"	3'-5"	6.0
RESIDENTIAL	P 17.72	3'-3"	6'-9"	22.2
RESIDENTIAL	M 17.73	2'-3"	3'-3"	7.4
SUBTOTAL				705.4

17TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	GFA	DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	4,239	279	3,960	
TOTAL	4,239	279	3,960	

17TH FLOOR DEDUCTIONS				
ZONE C5-3 MID				
USE	TYPE	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M 17.74	2'-6"	3'-3"	8.2

USE	No.	GFA	DEDUCTIONS	NET GFA
RESIDENTIAL	9,387	715	6,672	
TOTAL	9,387	715	6,672	

USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	19.2	0'-8"	12'-1"	8.0
RESIDENTIAL	M	19.3	3'-2"	6'-11"	22.0
RESIDENTIAL	M	19.4	2'-7"	7'-11"	20.1
RESIDENTIAL	M	19.5	3'-5"	3'-8"	12.5
RESIDENTIAL	ST	19.6	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	19.7	0'-8"	12'-1"	8.0
RESIDENTIAL	M	19.8	4'-3"	8'-7"	36.0
RESIDENTIAL	M	19.9	3'-3"	5'-3"	17.1
RESIDENTIAL	M	19.10	0'-7"	1'-2"	0.6
RESIDENTIAL	M	19.11	4'-8"	4'-8"	21.8
RESIDENTIAL	M	19.12	2'-7"	3'-11"	10.5
RESIDENTIAL	E	19.13	4'-10"	6'-11"	33.4
RESIDENTIAL	M	19.14	1'-3"	3'-10"	4.8
RESIDENTIAL	M	19.15	4'-2"	4'-10"	20.0
RESIDENTIAL	M	19.16	3'-1"	3'-3"	10.2
RESIDENTIAL	M	19.17	4'-5"	5'-2"	22.9
RESIDENTIAL	M	19.18	1'-10"	2'-9"	5.9
RESIDENTIAL	M	19.19	1'-1"	3'-11"	4.1
RESIDENTIAL	M	19.20	2'-7"	3'-5"	9.5
RESIDENTIAL	M	19.21	4'-9"	5'-1"	24.0
RESIDENTIAL	M	19.22	4'-8"	4'-11"	23.9
RESIDENTIAL	M	19.23	3'-2"	4'-7"	14.5
RESIDENTIAL	M	19.24	1'-1"	3'-4"	3.6
RESIDENTIAL	M	19.25	2'-5"	3'-1"	7.5
RESIDENTIAL	M	19.26	1'-1"	4'-4"	4.8
RESIDENTIAL	M	19.27	1'-7"	1'-10"	2.9
RESIDENTIAL	M	19.28	1'-7"	2'-5"	3.4
RESIDENTIAL	ST	19.29	0'-8"	6'-1"	5.9
RESIDENTIAL	ST	19.30	0'-8"	6'-5"	4.5
RESIDENTIAL	ST	19.31	0'-8"	16'-5"	11.0
RESIDENTIAL	ST	19.32	0'-8"	16'-5"	11.0
RESIDENTIAL	M	19.33	0'-7"	1'-2"	0.7
RESIDENTIAL	M	19.34	2'-4"	2'-4"	5.4
RESIDENTIAL	M	19.35	4'-8"	7'-8"	35.7
SUBTOTAL					714.9

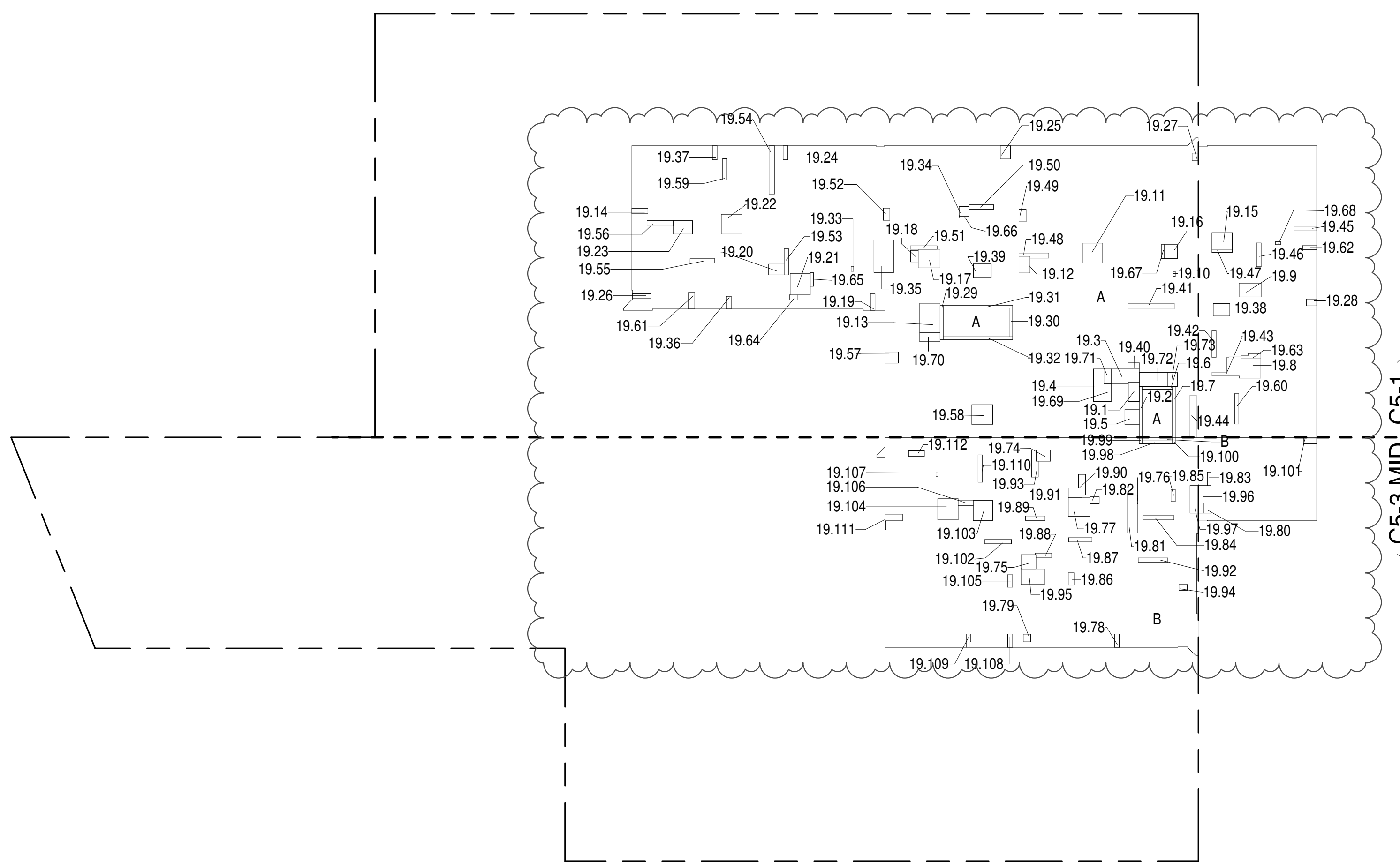
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	19.36	1'-1"	3'-0"	3.2
RESIDENTIAL	M	19.37	1'-1"	3'-4"	3.6
RESIDENTIAL	M	19.38	3'-0"	3'-11"	11.5
RESIDENTIAL	M	19.39	3'-3"	4'-3"	13.6
RESIDENTIAL	M	19.40	1'-6"	2'-9"	4.1
RESIDENTIAL	P	19.41	1'-5"	11'-0"	15.2
RESIDENTIAL	P	19.42	1'-0"	6'-3"	6.3
RESIDENTIAL	P	19.43	0'-9"	7'-7"	5.6
RESIDENTIAL	P	19.44	1'-6"	10'-0"	15.0
RESIDENTIAL	P	19.45	0'-11"	5'-5"	5.0
RESIDENTIAL	P	19.46	1'-1"	5'-7"	6.2
RESIDENTIAL	P	19.47	0'-7"	4'-10"	2.8
RESIDENTIAL	P	19.48	1'-1"	7'-3"	7.6
RESIDENTIAL	P	19.49	1'-8"	2'-11"	5.0
RESIDENTIAL	P	19.50	1'-1"	5'-10"	6.4
RESIDENTIAL	P	19.51	0'-10"	6'-4"	5.2
RESIDENTIAL	P	19.52	1'-6"	2'-11"	4.4
RESIDENTIAL	P	19.53	1'-0"	6'-2"	6.2
RESIDENTIAL	P	19.54	1'-3"	11'-5"	14.7
RESIDENTIAL	P	19.55	1'-0"	5'-10"	5.8
RESIDENTIAL	P	19.56	1'-4"	6'-2"	8.2
RESIDENTIAL	M	19.57	2'-8"	3'-1"	8.2
RESIDENTIAL	M	19.58	4'-8"	4'-11"	23.0
RESIDENTIAL	P	19.59	1'-1"	5'-0"	5.2
RESIDENTIAL	P	19.60	1'-0"	7'-2"	7.2
RESIDENTIAL	P	19.61	1'-6"	3'-11"	5.8
RESIDENTIAL	M	19.62	0'-11"	3'-4"	3.1
RESIDENTIAL	P	19.63	0'-11"	4'-10"	4.3
RESIDENTIAL	M	19.64	1'-3"	1'-10"	2.4
RESIDENTIAL	P	19.65	0'-9"	3'-3"	2.4
RESIDENTIAL	P	19.66	0'-5"	2'-4"	1.0
RESIDENTIAL	P	19.67	0'-8"	3'-3"	2.2
RESIDENTIAL	M	19.68	0'-9"	1'-2"	0.6
RESIDENTIAL	E	19.69	1'-5"	4'-3"	6.1
RESIDENTIAL	M	19.70	2'-2"	4'-10"	10.4
RESIDENTIAL	P	19.71	1'-9"	3'-5"	6.0
RESIDENTIAL	P	19.72	3'-3"	6'-9"	22.2
RESIDENTIAL	M	19.73	2'-3"	3'-3"	7.4
SUBTOTAL					714.9

USE	No.	GFA	DEDUCTIONS	NET GFA
RESIDENTIAL	4,239	288	3,951	
TOTAL	4,239	288	3,951	

USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	19.74	2'-8"	3'-4"	8.9
RESIDENTIAL	M	19.75	3'-4"	3'-6"	11.9
RESIDENTIAL	M	19.76	0'-2"	1'-2"	0.2
RESIDENTIAL	M	19.77	4'-5"	5'-2"	22.7
RESIDENTIAL	M	19.78	1'-1"	3'-2"	3.4
RESIDENTIAL	M	19.79	1'-9"	1'-10"	3.2
RESIDENTIAL	M	19.80	1'-8"	2'-5"	4.0
RESIDENTIAL	M	19.81	2'-4"	8'-11"	20.5
RESIDENTIAL	M	19.82	1'-9"	2'-0"	3.5
RESIDENTIAL	P	19.83	0'-10"	3'-2"	2.7
RESIDENTIAL	P	19.84	1'-0"	7'-5"	7.4
RESIDENTIAL	P	19.85	1'-0"	2'-11"	2.9
RESIDENTIAL	P	19.86	1'-4"	2'-11"	4.0
RESIDENTIAL	P	19.87	1'-0"	5'-6"	5.6
RESIDENTIAL	P	19.88	1'-0"	3'-10"	3.8
RESIDENTIAL	P	19.89	1'-1"	4'-8"	5.0
RESIDENTIAL	P	19.90	1'-3"	5'-4"	6.8
RESIDENTIAL	M	19.91	2'-5"	3'-2"	7.6
RESIDENTIAL	P	19.92	1'-0"	7'-0"	7.0
RESIDENTIAL	P	19.93	1'-4"	6'-8"	9.1
RESIDENTIAL	M	19.94	1'-5"	2'-0"	2.6
RESIDENTIAL	M	19.95	3'-8"	5'-6"	20.4
RESIDENTIAL	M	19.96	4'-2"	5'-0"	20.7
RESIDENTIAL	M	19.97	2'-5"	3'-4"	7.8
RESIDENTIAL	ST	19.98	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	19.99	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	19.100	0'-8"	1'-6"	1.0
RESIDENTIAL	M	19.101	1'-4"	3'-2"	4.2
RESIDENTIAL	P	19.102	1'-0"	6'-4"	6.3
RESIDENTIAL	M	19.103	4'-7"	4'-10"	22.1
RESIDENTIAL	M	19.104	4'-10"	5'-0"	24.1
RESIDENTIAL	P	19.105	1'-3"	2'-11"	3.6
RESIDENTIAL	P	19.106	1'-2"	3'-7"	4.1
RESIDENTIAL	M	19.107	0'-6"	1'-2"	0.6
RESIDENTIAL	M	19.108	1'-2"	3'-2"	3.7
SUBTOTAL					364.7

USE	No.	GFA	DEDUCTIONS	NET GFA
RESIDENTIAL	13,626	1,003	12,623	
TOTAL	13,626	1,003	12,623	

USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	19.109	1'-0"	3'-3"	3.2
RESIDENTIAL	M	19.110	1'-0"	6'-6"	6.5
RESIDENTIAL	M	19.111	1'-7"	4'-1"	6.4
RESIDENTIAL	M	19.112	1'-4"	3'-9"	4.8
SUBTOTAL					288.2



19TH FLOOR (MFD:38TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS 364' = 1'-0" 1

USE	No.	GFA	DEDUCTIONS	NET GFA
RESIDENTIAL	9,387	647	8,740	
TOTAL	9,387	647	8,740	

USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	20.1	0'-8"	12'-1"	8.0
RESIDENTIAL	M	20.2	3'-5"	6'-8"	22.8
RESIDENTIAL	M	20.3	2'-7"	7'-11"	20.1
RESIDENTIAL	M	20.4	3'-5"	3'-8"	12.5
RESIDENTIAL	ST	20.5	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	20.6	0'-8"	12'-1"	8.0
RESIDENTIAL	M	20.7	3'-8"	8'-6"	32.0
RESIDENTIAL	M	20.8	2'-7"	3'-9"	9.8
RESIDENTIAL	P	20.9	1'-0"	6'-11"	6.9
RESIDENTIAL	M	20.10	4'-5"	5'-2"	22.8
RESIDENTIAL	M	20.11	2'-0"	2'-5"	4.9
RESIDENTIAL	ST	20.12	1'-4"	1'-6"	2.0
RESIDENTIAL	ST	20.13	0'-9"	6'-1"	5.9
RESIDENTIAL	ST	20.14	0'-8"	6'-5"	4.5
RESIDENTIAL	ST	20.15	0'-8"	16'-5"	11.0
RESIDENTIAL	ST	20.16	0'-8"	16'-5"	11.0
RESIDENTIAL	E	20.17	2'-7"	4'-3"	10.9
RESIDENTIAL	P	20.18	1'-6"	11'-6"	17.2
RESIDENTIAL	M	20.19	2'-8"	3'-1"	8.2
RESIDENTIAL	P	20.20	1'-2"	3'-5"	6.4
RESIDENTIAL	P	20.21	1'-0"	5'-10"	5.9
RESIDENTIAL	P	20.22	1'-1"	2'-0"	2.0
RESIDENTIAL	M	20.23	0'-11"	5'-4"	4.8
RESIDENTIAL	M	20.24	2'-3"	2'-4"	5.2
RESIDENTIAL	P	20.25	1'-6"	2'-11"	4.4
RESIDENTIAL	M	20.26	2'-3"	2'-8"	6.2
RESIDENTIAL	M	20.27	2'-9"	5'-2"	14.0
RESIDENTIAL	M	20.28	2'-5"	3'-2"	7.6
RESIDENTIAL	M	20.29	1'-7"	1'-7"	2.4
RESIDENTIAL	P	20.30	3'-4"	5'-2"	17.0
RESIDENTIAL	P	20.31	0'-10"	6'-3"	6.2
RESIDENTIAL	P	20.32	1'-9"	3'-4"	5.8
RESIDENTIAL	P	20.33	1'-6"	2'-0"	3.0
RESIDENTIAL	M	20.34	4'-8"	5'-2"	24.0
RESIDENTIAL	M	20.35	1'-3"	4'-5"	17.1
SUBTOTAL					647.2

USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	E	20.36	5'-0"	6'-11"	34.3
RESIDENTIAL	P	20.37	1'-6"	1'-10"	2.8
RESIDENTIAL	P	20.38	1'-4"	1'-6"	2.0
RESIDENTIAL	P	20.39	0'-11"	6'-7"	5.8
RESIDENTIAL	M	20.40	1'-11"	7'-2"	9.1
RESIDENTIAL	M	20.41	1'-2"	2'-7"	3.0
RESIDENTIAL	P	20.42	1'-0"	1'-4"	1.3
RESIDENTIAL	P	20.43	1'-0"	1'-4"	1.3
RESIDENTIAL	P	20.44	1'-6"	2'-2"	3.2
RESIDENTIAL	P	20.45	1'-4"	1'-6"	2.0
RESIDENTIAL	P	20.46	1'-8"	2'-11"	5.0
RESIDENTIAL	E	20.47	1'-5"	4'-3"	6.1
RESIDENTIAL	M	20.48	2'-5"	5'-0"	11.9
RESIDENTIAL	P	20.49	3'-4"	6'-9"	22.2
RESIDENTIAL	M	20.50	1'-8"	2'-7"	4.4
RESIDENTIAL	M	20.51	1'-3"	3'-10"	4.8
RESIDENTIAL	M	20.52	1'-1"	3'-11"	4.3
RESIDENTIAL	M	20.53	2'-7"	3'-9"	9.5
RESIDENTIAL	M	20.54	4'-11"	5'-2"	25.1
RESIDENTIAL	M	20.55	4'-8"	5'-0"	23.5
RESIDENTIAL	M	20.56	3'-2"	4'-7"	14.5
RESIDENTIAL	M	20.57	1'-1"	3'-4"	3.6
RESIDENTIAL	M	20.58	1'-1"	4'-4"	4.8
RESIDENTIAL	M	20.59	0'-7"	1'-2"	0.7
RESIDENTIAL	M	20.60	4'-8"	7'-8"	35.7
RESIDENTIAL	M	20.61	1'-0"	3'-0"	2.9
RESIDENTIAL	M	20.62	1'-1"	3'-4"	3.6
RESIDENTIAL	P	20.63	1'-0"	6'-2"	6.2
RESIDENTIAL	P	20.64	1'-3"	11'-5"	14.7
RESIDENTIAL	P	20.65	1'-0"	5'-10"	5.8
RESIDENTIAL	P	20.66	1'-4"	6'-2"	8.2
RESIDENTIAL	P	20.67	1'-0"	5'-0"	5.0
RESIDENTIAL	P	20.68	1'-6"	3'-11"	5.8
RESIDENTIAL	M	20.69	1'-2"	1'-10"	2.2
RESIDENTIAL	P	20.70	0'-8"	3'-3"	2.0
SUBTOTAL					647.2

USE	No.	GFA	DEDUCTIONS	NET GFA
RESIDENTIAL	2,024	115	1,909	
TOTAL	2,024	115	1,909	

20TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	20.71	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	20.72	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	20.73	0'-8"	1'-6"	1.0
RESIDENTIAL	P	20.74	0'-11"	1'-0"	0.9
RESIDENTIAL	M	20.75	4'-0"	4'-11"	19.9
RESIDENTIAL	M	20.76	1'-4"	3'-2"	4.2
RESIDENTIAL	M	20.77	4'-11"	6'-6"	31.4
RESIDENTIAL	M	20.78	1'-0"	4'-5"	4.3
RESIDENTIAL	P	20.79	1'-2"	5'-6"	6.3
RESIDENTIAL	P	20.80	0'-7"	4'-1"	2.2
RESIDENTIAL	M	20.81	2'-0"	5'-2"	10.3
RESIDENTIAL	M	20.82	2'-0"	2'-7"	5.1
RESIDENTIAL	M	20.83	2'-7"	4'-2"	10.9
RESIDENTIAL	M	20.84	2'-7"	3'-6"	8.9
RESIDENTIAL	M	20.85	1'-5"	2'-1"	3.0
SUBTOTAL					114.6

$3/64'' \equiv 1'-0''$

25TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	688			8,699
TOTAL		9,387	688	8,699

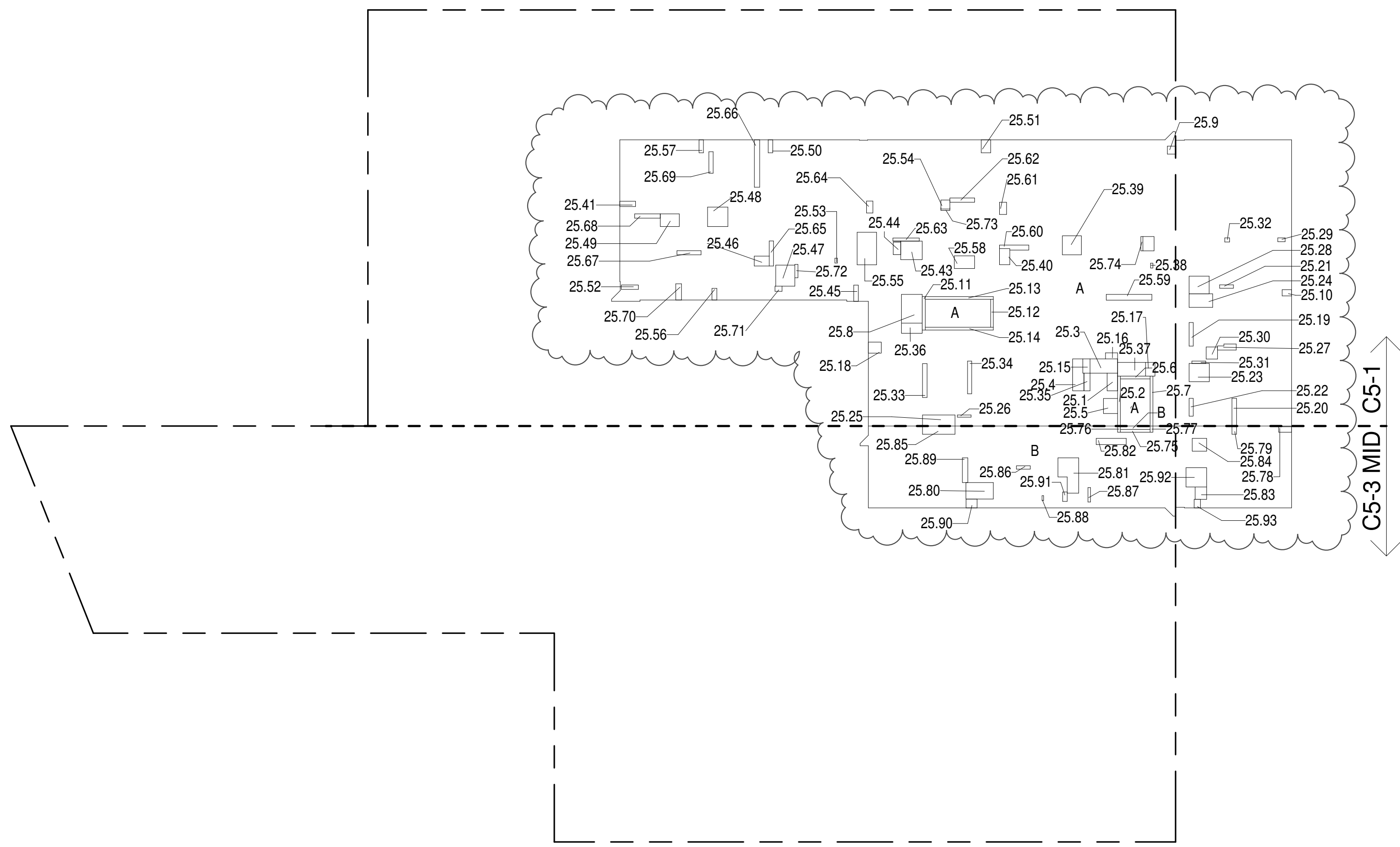
25TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	E	25.1	2'-7"	4'-3"	10.9
RESIDENTIAL	ST	25.2	0'-8"	12'-1"	8.0
RESIDENTIAL	M	25.3	3'-5"	6'-8"	22.8
RESIDENTIAL	M	25.4	2'-7"	7'-11"	20.1
RESIDENTIAL	M	25.5	3'-5"	3'-8"	12.5
RESIDENTIAL	ST	25.6	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	25.7	0'-8"	12'-1"	8.0
RESIDENTIAL	E	25.8	5'-1"	6'-10"	34.7
RESIDENTIAL	M	25.9	1'-11"	2'-1"	4.0
RESIDENTIAL	M	25.10	1'-6"	2'-3"	3.4
RESIDENTIAL	ST	25.11	0'-9"	8'-1"	5.9
RESIDENTIAL	ST	25.12	0'-8"	6'-9"	4.5
RESIDENTIAL	ST	25.13	0'-8"	16'-5"	11.0
RESIDENTIAL	ST	25.14	0'-8"	16'-5"	11.0
RESIDENTIAL	P	25.15	1'-9"	3'-5"	6.0
RESIDENTIAL	M	25.16	1'-6"	2'-11"	4.3
RESIDENTIAL	M	25.17	2'-3"	3'-4"	7.4
RESIDENTIAL	M	25.18	2'-8"	3'-1"	8.2
RESIDENTIAL	P	25.19	1'-0"	5'-8"	5.7
RESIDENTIAL	P	25.20	1'-1"	6'-8"	7.4
RESIDENTIAL	P	25.21	0'-10"	3'-4"	2.7
RESIDENTIAL	P	25.22	1'-0"	4'-4"	4.3
RESIDENTIAL	M	25.23	4'-5"	4'-10"	21.4
RESIDENTIAL	M	25.24	3'-3"	5'-8"	18.5
RESIDENTIAL	M	25.25	2'-8"	7'-10"	20.8
RESIDENTIAL	P	25.26	0'-6"	3'-4"	1.7
RESIDENTIAL	P	25.27	1'-3"	4'-9"	5.9
RESIDENTIAL	M	25.28	4'-3"	4'-10"	20.6
RESIDENTIAL	M	25.29	0'-11"	9"	1.6
RESIDENTIAL	M	25.30	2'-9"	2'-11"	7.8
RESIDENTIAL	P	25.31	0'-7"	3'-4"	1.9
RESIDENTIAL	M	25.32	1'-0"	1'-2"	1.2
RESIDENTIAL	P	25.33	1'-1"	8'-2"	9.0
RESIDENTIAL	P	25.34	1'-0"	7'-11"	7.9
RESIDENTIAL	E	25.35	1'-5"	4'-3"	6.1
SUBTOTAL					687.5

25TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	25.36	2'-6"	5'-0"	12.3
RESIDENTIAL	P	25.37	3'-4"	6'-9"	22.2
RESIDENTIAL	M	25.38	0'-7"	1'-2"	0.6
RESIDENTIAL	M	25.39	4'-7"	4'-7"	21.0
RESIDENTIAL	M	25.40	2'-6"	3'-11"	9.7
RESIDENTIAL	M	25.41	1'-3"	3'-10"	4.8
RESIDENTIAL	M	25.42	2'-9"	3'-6"	9.4
RESIDENTIAL	M	25.43	4'-6"	5'-2"	23.3
RESIDENTIAL	M	25.44	1'-10"	3'-0"	5.5
RESIDENTIAL	M	25.45	1'-2"	3'-11"	4.4
RESIDENTIAL	M	25.46	2'-5"	3'-8"	8.7
RESIDENTIAL	M	25.47	4'-8"	5'-1"	23.4
RESIDENTIAL	M	25.48	4'-8"	4'-11"	23.0
RESIDENTIAL	M	25.49	3'-11"	4'-7"	13.9
RESIDENTIAL	M	25.50	1'-11"	3'-2"	3.4
RESIDENTIAL	M	25.51	2'-3"	3'-1"	7.0
RESIDENTIAL	M	25.52	1'-11"	4'-2"	4.5
RESIDENTIAL	M	25.53	0'-7"	1'-2"	0.7
RESIDENTIAL	M	25.54	2'-2"	2'-2"	4.8
RESIDENTIAL	M	25.55	4'-8"	7'-10"	36.8
RESIDENTIAL	M	25.56	1'-2"	2'-10"	3.2
RESIDENTIAL	M	25.57	1'-11"	3'-2"	3.3
RESIDENTIAL	M	25.58	3'-11"	4'-11"	15.1
RESIDENTIAL	P	25.59	1'-5"	11'-0"	15.2
RESIDENTIAL	P	25.60	1'-11"	7'-2"	7.8
RESIDENTIAL	P	25.61	1'-8"	2'-11"	5.0
RESIDENTIAL	P	25.62	1'-0"	6'-0"	6.1
RESIDENTIAL	P	25.63	0'-9"	6'-4"	4.7
RESIDENTIAL	P	25.64	1'-6"	2'-11"	4.4
RESIDENTIAL	P	25.65	1'-0"	6'-1"	6.0
RESIDENTIAL	P	25.66	1'-3"	11'-5"	14.7
RESIDENTIAL	P	25.67	1'-0"	5'-10"	5.8
RESIDENTIAL	P	25.68	1'-11"	6'-2"	6.5
RESIDENTIAL	P	25.69	1'-11"	5'-2"	5.4
RESIDENTIAL	P	25.70	1'-5"	3'-11"	5.5
RESIDENTIAL	P	25.71	1'-3"	1'-9"	2.2
RESIDENTIAL	P	25.72	0'-9"	3'-3"	2.4
RESIDENTIAL	P	25.73	0'-4"	2'-2"	0.8
RESIDENTIAL	P	25.74	0'-6"	3'-6"	1.7
SUBTOTAL					687.5

25TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	167			1,857
TOTAL		2,024	167	1,857

25TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	25.75	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	25.76	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	25.77	0'-8"	1'-6"	1.0
RESIDENTIAL	M	25.78	1'-4"	3'-2"	4.2
RESIDENTIAL	P	25.79	1'-11"	2'-0"	2.2
RESIDENTIAL	M	25.80	4'-0"	6'-7"	26.4
RESIDENTIAL	M	25.81	3'-4"	10'-3"	33.9
RESIDENTIAL	P	25.82	1'-6"	7'-3"	10.9
RESIDENTIAL	M	25.83	2'-9"	3'-0"	8.3
RESIDENTIAL	M	25.84	3'-11"	3'-6"	10.8
RESIDENTIAL	M	25.85	2'-0"	7'-10"	15.7
RESIDENTIAL	P	25.86	0'-10"	3'-4"	2.7
RESIDENTIAL	P	25.87	0'-7"	3'-6"	2.1
RESIDENTIAL	M	25.88	0'-5"	1'-2"	0.5
RESIDENTIAL	P	25.89	1'-4"	6'-0"	7.9
RESIDENTIAL	M	25.90	2'-11"	2'-8"	5.6
RESIDENTIAL	M	25.91	1'-11"	2'-3"	2.5
RESIDENTIAL	M	25.92	4'-8"	5'-0"	23.2
RESIDENTIAL	M	25.93	1'-6"	2'-11"	3.2
SUBTOTAL					166.8

25TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	854			10,556
TOTAL		11,410	854	10,556



ZONING AND DEDUCT LEGEND

DEDUCTIONS

M - MECHANICAL ROOM / RISER

E - ELECTRICAL SHAFT / RISER

P - PLUMBING RISER

BG - BELOW GRADE

O - OPENING TO BELOW

L - LOADING BAYS

ST - 44" RESI STAIR SHAFT (INCLUDING 6" PERIMETER)

G - GAP FROM ADJACENT BUILDING

--- DEVELOPMENT LOT LINE

* WHERE APPLICABLE, DOCUMENTED AND CALCULATED AREAS HAVE BEEN ROUNDED TO ITS NEXT SIGNIFICANT DIGIT.

** LENGTH AND WIDTH DIMENSIONS FOR COMPLEX SHAPES HAVE BEEN SIMPLIFIED TO ILLUSTRATE ONLY LARGEST OVERALL DIMENSION RESPECTIVELY. AREAS DOCUMENTED IS THE EXACT AREA OF THE COMPLEX SHAPE

*** ELECTRICAL DEDUCTIONS ARE ONLY FOR ELECTRICAL RISERS, AND CLOSETS. NO DEDUCTIONS TAKEN FOR TELEPHONE CLOSETS

25TH FLOOR (MFD:48TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS 3/64" = 1'-0" 1

26TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	701			8,686
TOTAL		9,387	701	8,686

26TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	E	26.1	2'-7"	4'-3"	10.9
RESIDENTIAL	ST	26.2	0'-8"	12'-1"	8.0
RESIDENTIAL	M	26.3	3'-5"	6'-8"	22.8
RESIDENTIAL	M	26.4	2'-7"	7'-11"	20.1
RESIDENTIAL	M	26.5	3'-5"	3'-8"	12.5
RESIDENTIAL	ST	26.6	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	26.7	0'-8"	12'-1"	8.0
RESIDENTIAL	E	26.8	5'-1"	6'-10"	34.7
RESIDENTIAL	M	26.9	1'-11"	2'-1"	4.0
RESIDENTIAL	M	26.10	1'-6"	2'-3"	3.4
RESIDENTIAL	ST	26.11	0'-9"	8'-1"	5.9
RESIDENTIAL	ST	26.12	0'-8"	6'-9"	4.5
RESIDENTIAL	ST	26.13	0'-8"	16'-5"	11.0
RESIDENTIAL	ST	26.14	0'-8"	16'-5"	11.0
RESIDENTIAL	P	26.15	1'-9"	3'-5"	6.0
RESIDENTIAL	M	26.16	1'-6"	2'-9"	4.1
RESIDENTIAL	M	26.17	2'-3"	3'-4"	7.4
RESIDENTIAL	M	26.18	2'-8"	3'-1"	8.2
RESIDENTIAL	P	26.19	1'-0"	5'-8"	5.7
RESIDENTIAL	P	26.20	1'-1"	6'-8"	7.4
RESIDENTIAL	P	26.21	0'-10"	3'-4"	2.7
RESIDENTIAL	P	26.22	1'-0"	4'-4"	4.3
RESIDENTIAL	M	26.23	4'-4"	4'-11"	21.5
RESIDENTIAL	M	26.24	3'-4"	5'-8"	19.1
RESIDENTIAL	M	26.25	2'-9"	7'-10"	21.3
RESIDENTIAL	P	26.26	0'-6"	3'-4"	1.7
RESIDENTIAL	P	26.27	1'-3"	4'-5"	5.6
RESIDENTIAL	M	26.28	4'-3"	4'-10"	20.6
RESIDENTIAL	M	26.29	0'-11"	1'-9"	1.6
RESIDENTIAL	M	26.30	3'-0"	3'-2"	9.4
RESIDENTIAL	P	26.31	0'-6"	3'-4"	1.6
RESIDENTIAL	M	26.32	1'-0"	1'-2"	1.2
RESIDENTIAL	P	26.33	1'-1"	8'-2"	9.0
RESIDENTIAL	P	26.34	1'-0"	7'-11"	7.9
RESIDENTIAL	E	26.35	1'-5"	4'-3"	6.1
SUBTOTAL					700.7

26TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	26.36	2'-6"	5'-0"	12.3
RESIDENTIAL	P	26.37	3'-4"	6'-9"	22.2
RESIDENTIAL	M	26.38	0'-7"	1'-2"	0.6
RESIDENTIAL	M	26.39	4'-7"	4'-8"	21.4
RESIDENTIAL	M	26.40	2'-7"	3'-11"	10.0
RESIDENTIAL	M	26.41	1'-3"	3'-10"	4.8
RESIDENTIAL	M	26.42	2'-11"	3'-7"	10.4
RESIDENTIAL	M	26.43	4'-6"	5'-1"	22.8
RESIDENTIAL	M	26.44	2'-11"	3'-3"	6.6
RESIDENTIAL	M	26.45	1'-2"	3'-11"	4.4
RESIDENTIAL	M	26.46	2'-7"	3'-8"	9.3
RESIDENTIAL	M	26.47	4'-11"	5'-1"	24.9
RESIDENTIAL	M	26.48	4'-8"	4'-11"	23.0
RESIDENTIAL	M	26.49	3'-2"	4'-7"	14.5
RESIDENTIAL	M	26.50	1'-7"	4'-2"	6.5
RESIDENTIAL	M	26.51	2'-5"	3'-1"	7.5
RESIDENTIAL	M	26.52	1'-11"	4'-6"	5.0
RESIDENTIAL	M	26.53	0'-7"	1'-2"	0.7
RESIDENTIAL	M	26.54	2'-4"	2'-5"	5.7
RESIDENTIAL	M	26.55	4'-8"	7'-10"	36.8
RESIDENTIAL	M	26.56	1'-2"	2'-11"	3.3
RESIDENTIAL	M	26.57	1'-11"	3'-2"	3.4
RESIDENTIAL	M	26.58	3'-11"	4'-11"	15.1
RESIDENTIAL	P	26.59	1'-5"	11'-0"	15.2
RESIDENTIAL	P	26.60	1'-11"	7'-2"	7.8
RESIDENTIAL	P	26.61	1'-8"	2'-11"	5.0
RESIDENTIAL	P	26.62	1'-0"	5'-11"	6.0
RESIDENTIAL	P	26.63	0'-9"	6'-4"	4.7
RESIDENTIAL	P	26.64	1'-6"	2'-11"	4.4
RESIDENTIAL	P	26.65	1'-0"	6'-2"	6.2
RESIDENTIAL	P	26.66	1'-3"	11'-5"	14.7
RESIDENTIAL	P	26.67	1'-0"	5'-10"	5.8
RESIDENTIAL	P	26.68	1'-4"	6'-2"	8.2
RESIDENTIAL	P	26.69	1'-11"	4'-2"	4.4
RESIDENTIAL	P	26.70	1'-6"	3'-11"	5.8
RESIDENTIAL	P	26.71	1'-2"	1'-10"	2.2
RESIDENTIAL	P	26.72	0'-8"	3'-3"	2.0
RESIDENTIAL	P	26.73	0'-4"	2'-4"	0.8
RESIDENTIAL	P	26.74	0'-7"	3'-7"	2.1
SUBTOTAL					700.7

26TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	167			1,856
TOTAL		2,024	167	1,856

26TH FLOOR DEDUCTIONS				
ZONE C5-3 MID				
USE	TYPE	No.	LENGTH	WIDTH

28TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	7,061	502		6,559
TOTAL	7,061	502		6,559

28TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	28.1	4'-11"	7'-2"	34.9
RESIDENTIAL	M	28.2	2'-10"	3'-1"	8.6
RESIDENTIAL	ST	28.3	0'-8"	25'-5"	16.9
RESIDENTIAL	M	28.4	3'-4"	7'-5"	24.4
RESIDENTIAL	M	28.5	3'-4"	3'-11"	12.8
RESIDENTIAL	M	28.6	2'-11"	3'-1"	9.1
RESIDENTIAL	M	28.7	1'-7"	3'-3"	5.1
RESIDENTIAL	M	28.8	1'-3"	6'-4"	7.9
RESIDENTIAL	M	28.9	1'-7"	3'-3"	5.3
RESIDENTIAL	M	28.10	4'-9"	6'-3"	29.6
RESIDENTIAL	M	28.11	1'-5"	5'-10"	8.2
RESIDENTIAL	M	28.12	3'-5"	3'-8"	12.5
RESIDENTIAL	ST	28.13	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	28.14	0'-8"	25'-5"	16.9
RESIDENTIAL	M	28.15	2'-10"	4'-5"	12.7
RESIDENTIAL	M	28.16	5'-1"	5'-9"	29.4
RESIDENTIAL	M	28.17	3'-2"	4'-6"	14.4
RESIDENTIAL	M	28.18	4'-9"	10'-4"	49.5
RESIDENTIAL	M	28.19	1'-8"	1'-8"	2.8
RESIDENTIAL	P	28.20	1'-2"	3'-10"	4.3
RESIDENTIAL	P	28.21	10'-10"	3'-7"	3.0
RESIDENTIAL	P	28.22	1'-0"	5'-11"	6.0
RESIDENTIAL	M	28.23	0'-10"	1'-2"	1.0
RESIDENTIAL	M	28.24	4'-7"	5'-3"	23.9
RESIDENTIAL	P	28.25	1'-3"	7'-5"	9.0
RESIDENTIAL	P	28.26	2'-1"	3'-7"	7.5
RESIDENTIAL	M	28.27	4'-1"	7'-6"	31.0
RESIDENTIAL	M	28.28	1'-5"	3'-6"	4.9
RESIDENTIAL	P	28.29	1'-1"	6'-7"	7.0
SUBTOTAL					

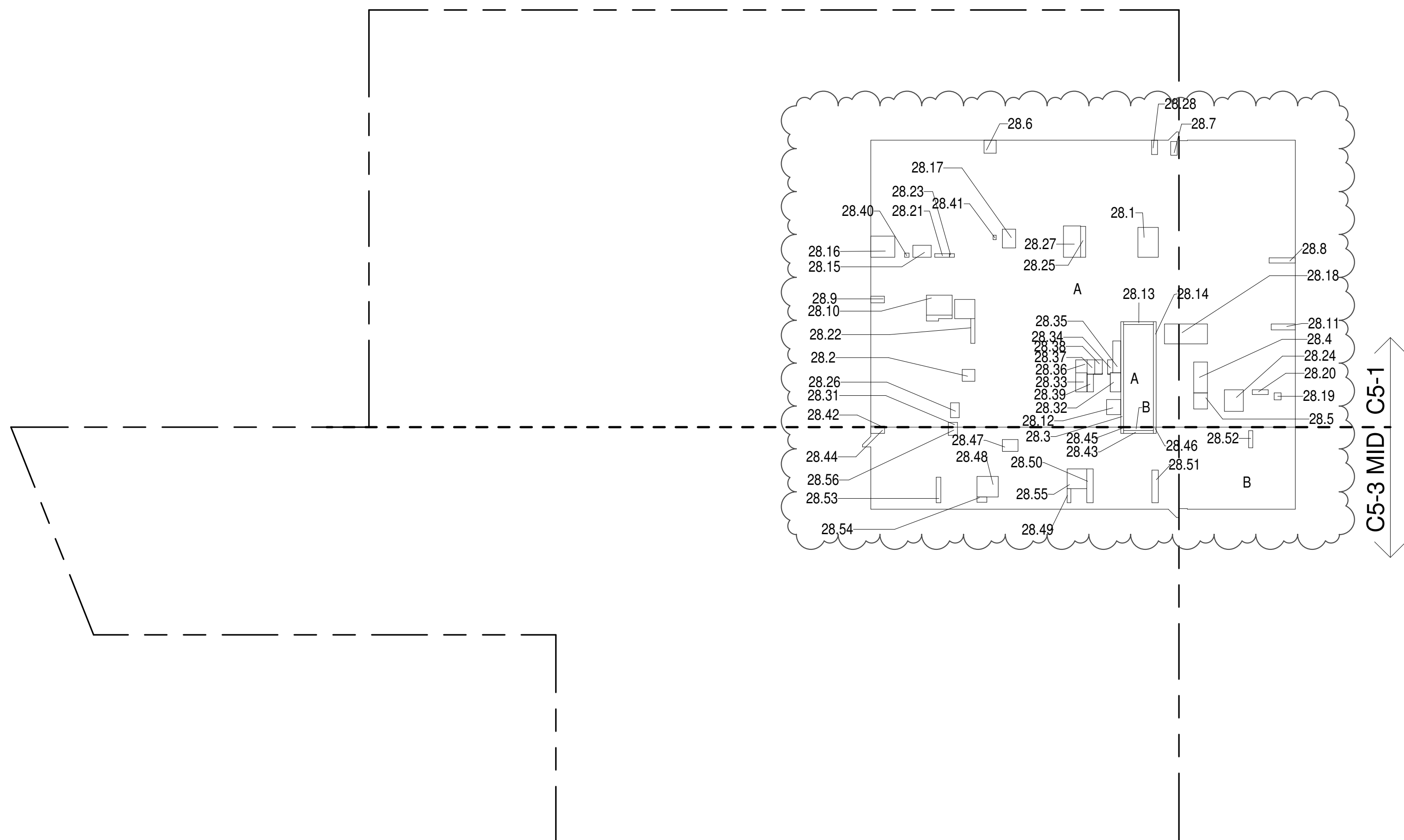
28TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	28.30	4'-7"	4'-10"	22.4
RESIDENTIAL	M	28.31	1'-2"	2'-3"	2.5
RESIDENTIAL	E	28.32	2'-7"	4'-7"	11.6
RESIDENTIAL	P	28.33	2'-9"	4'-7"	12.6
RESIDENTIAL	M	28.34	1'-2"	3'-6"	4.1
RESIDENTIAL	P	28.35	1'-11"	7'-8"	14.7
RESIDENTIAL	M	28.36	2'-9"	3'-1"	8.5
RESIDENTIAL	P	28.37	1'-10"	3'-5"	6.3
RESIDENTIAL	M	28.38	1'-10"	3'-5"	6.2
RESIDENTIAL	E	28.39	1'-6"	4'-3"	6.5
RESIDENTIAL	P	28.40	1'-0"	1'-1"	1.0
RESIDENTIAL	M	28.41	0'-9"	1'-1"	0.8
RESIDENTIAL	M	28.42	0'-3"	3'-10"	0.8
SUBTOTAL					501.5

28TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	2,024	116		1,908
TOTAL	2,024	116		1,908

28TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	28.43	0'-8"	7'-2"	4.8
RESIDENTIAL	M	28.44	1'-6"	3'-3"	4.9
RESIDENTIAL	ST	28.45	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	28.46	0'-8"	1'-6"	1.0
RESIDENTIAL	M	28.47	2'-10"	3'-9"	10.6
RESIDENTIAL	M	28.48	4'-11"	5'-1"	25.4
RESIDENTIAL	M	28.49	0'-11"	3'-4"	3.1
RESIDENTIAL	P	28.50	1'-6"	8'-2"	12.3
RESIDENTIAL	P	28.51	1'-6"	7'-11"	11.9
RESIDENTIAL	P	28.52	1'-0"	4'-1"	4.1
RESIDENTIAL	P	28.53	1'-1"	6'-2"	6.8
RESIDENTIAL	M	28.54	1'-3"	2'-4"	2.8
RESIDENTIAL	M	28.55	4'-9"	4'-9"	22.6
RESIDENTIAL	M	28.56	2'-0"	2'-3"	4.4
SUBTOTAL					

28TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	9,084	617		8,467
TOTAL	9,084	617		8,467

28TH FLOOR DEDUCTIONS					
ZONE C5-1 AND C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	28.43	0'-8"	7'-2"	4.8
RESIDENTIAL	M	28.44	1'-6"	3'-3"	4.9
RESIDENTIAL	ST	28.45	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	28.46	0'-8"	1'-6"	1.0
RESIDENTIAL	M	28.47	2'-10"	3'-9"	10.6
RESIDENTIAL	M	28.48	4'-11"	5'-1"	25.4
RESIDENTIAL	M	28.49	0'-11"	3'-4"	3.1
RESIDENTIAL	P	28.50	1'-6"	8'-2"	12.3
RESIDENTIAL	P	28.51	1'-6"	7'-11"	11.9
RESIDENTIAL	P	28.52	1'-0"	4'-1"	4.1
RESIDENTIAL	P	28.53	1'-1"	6'-2"	6.8
RESIDENTIAL	M	28.54	1'-3"	2'-4"	2.8
RESIDENTIAL	M	28.55	4'-9"	4'-9"	22.6
RESIDENTIAL	M	28.56	2'-0"	2'-3"	4.4
SUBTOTAL					



ZONING AND DEDUCT LEGEND

☐ DEDUCTIONS

M - MECHANICAL ROOM / RISER

E - ELECTRICAL SHAFT / RISER

P - PLUMBING RISER

BG - BELOW GRADE

O - OPENING TO BELOW

L - LOADING BAYS

ST - 44" RESI STAIR SHAFT (INCLUDING 6" PERIMETER)

G - GAP FROM ADJACENT BUILDING

--- DEVELOPMENT LOT LINE

* WHERE APPLICABLE, DOCUMENTED AND CALCULATED AREAS HAVE BEEN ROUNDED TO ITS NEXT SIGNIFICANT DIGIT.

** LENGTH AND WIDTH DIMENSIONS FOR COMPLEX SHAPES HAVE BEEN SIMPLIFIED TO ILLUSTRATE ONLY LARGEST OVERALL DIMENSION RESPECTIVELY. AREA DOCUMENTED IS THE EXACT AREA OF THE COMPLEX SHAPE

*** ELECTRICAL DEDUCTIONS ARE ONLY FOR ELECTRICAL RISERS, AND CLOSETS. NO DEDUCTIONS TAKEN FOR TELEPHONE CLOSETS

28TH FLOOR (MFD:53RD FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS 364" = 1'-0" 1

29TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	7,061	475		6,586
TOTAL	7,061	475		6,586

29TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	29.1	2'-7"	3'-9"	9.8
RESIDENTIAL	M	29.2	2'-1"	3'-7"	7.6
RESIDENTIAL	M	29.3	4'-8"	5'-1"	23.7
RESIDENTIAL	M	29.4	2'-9"	2'-9"	7.5
RESIDENTIAL	ST	29.5	0'-8"	25'-5"	16.9
RESIDENTIAL	M	29.6	4'-7"	4'-8"	21.4
RESIDENTIAL	M	29.7	2'-11"	5'-1"	14.8
RESIDENTIAL	M	29.8	2'-7"	3'-2"	8.1
RESIDENTIAL	M	29.9	1'-8"	3'-7"	6.0
RESIDENTIAL	M	29.10	1'-6"	1'-6"	2.2
RESIDENTIAL	M	29.11	1'-10"	3'-2"	5.8
RESIDENTIAL	M	29.12	3'-8"	4'-5"	16.1
RESIDENTIAL	M	29.13	1'-3"	4'-1"	5.1
RESIDENTIAL	M	29.14	3'-5"	3'-8"	12.5
RESIDENTIAL	ST	29.15	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	29.16	0'-8"	25'-5"	16.9
RESIDENTIAL	M	29.17	4'-5"	4'-11"	21.8
RESIDENTIAL	M	29.18	1'-1"	5'-2"	5.6
RESIDENTIAL	M	29.19	2'-0"	3'-0"	5.8
RESIDENTIAL	M	29.20	4'-0"	7'-6"	30.1
RESIDENTIAL	M	29.21	2'-10"	3'-0"	8.4
RESIDENTIAL	M	29.22	2'-2"	2'-8"	5.7
RESIDENTIAL	M	29.23	3'-3"	4'-4"	14.1
RESIDENTIAL	M	29.24	2'-9"	4'-10"	13.1
RESIDENTIAL	M	29.25	2'-10"	4'-9"	13.5
RESIDENTIAL	P	29.26	1'-3"	6'-2"	7.9
RESIDENTIAL	P	29.27	0'-11"	2'-11"	2.7
RESIDENTIAL	P	29.28	1'-10"	11'-5"	21.0
RESIDENTIAL	P	29.29	1'-2"	4'-0"	4.7
RESIDENTIAL	P	29.30	1'-0"	3'-4"	3.3
RESIDENTIAL	P	29.31	1'-1"	3'-8"	3.9
RESIDENTIAL	P	29.32	1'-7"	6'-5"	10.0
RESIDENTIAL	P	29.33	0'-9"	2'-4"	1.7
RESIDENTIAL	P	29.34	0'-5"	2'-8"	1.1
RESIDENTIAL	P	29.35	0'-11"	6'-1"	5.4
SUBTOTAL					

29TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	N	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	29.36	1'-1"	2'-9"	3.0
RESIDENTIAL	M	29.37	1'-1"	1'-4"	1.5
RESIDENTIAL	M	29.38	1'-11"	3'-1"	5.8
RESIDENTIAL	M	29.39	1'-9"	3'-2"	5.6
RESIDENTIAL	P	29.40	1'-1"	2'-6"	2.6
RESIDENTIAL	E	29.41	2'-7"	4'-7"	11.6
RESIDENTIAL	P	29.42	2'-9"	4'-7"	12.6
RESIDENTIAL	M	29.43	1'-2"	3'-6"	4.1
RESIDENTIAL	P	29.44	1'-11"	7'-8"	14.7
RESIDENTIAL	M	29.45	2'-9"	3'-1"	8.5
RESIDENTIAL	P	29.46	1'-10"	3'-5"	6.3
RESIDENTIAL	M	29.47	1'-10"	3'-5"	6.2
RESIDENTIAL	E	29.48	1'-5"	4'-3"	6.1
RESIDENTIAL	P	29.49	0'-9"	2'-10"	2.1
RESIDENTIAL	P	29.50	0'-9"	3'-1"	2.4
RESIDENTIAL	M	29.51	0'-3"	3'-2"	0.8
RESIDENTIAL	P	29.52	1'-5"	2'-7"	3.7
RESIDENTIAL	E	29.71	3'-5"	5'-4"	18.0
SUBTOTAL					474.6

29TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	2,024	142		1,882
TOTAL	2,024	142		1,882

29TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	NO.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	29.53	0'-8"	7'-2"	4.8
RESIDENTIAL	M	29.54	1'-1"	4'-1"	4.4
RESIDENTIAL	M	29.55	1'-6"	3'-2"	4.8
RESIDENTIAL	ST	29.56	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	29.57	0'-8"	1'-6"	1.0
RESIDENTIAL	M	29.58	2'-9"	3'-4"	9.0
RESIDENTIAL	M	29.59	4'-2"	4'-7"	19.0
RESIDENTIAL	M	29.60	1'-7"	4'-2"	6.6
RESIDENTIAL	M	29.61	1'-8"	4'-2"	6.8
RESIDENTIAL	M	29.62	4'-10"	4'-10"	23.4
RESIDENTIAL	M	29.63	2'-8"	3'-6"	9.2
RESIDENTIAL	M	29.64	2'-0"	4'-9"	9.5
RESIDENTIAL	P	29.65	1'-1"	3'-6"	3.9
RESIDENTIAL	P	29.66	1'-1"	11'-0"	11.9
RESIDENTIAL	P	29.67	1'-5"	6'-2"	8.4
RESIDENTIAL	M	29.68	1'-4"	2'-0"	2.7
RESIDENTIAL	P	29.69	1'-0"	3'-6"	3.4
RESIDENTIAL	P	29.70	1'-1"	11'-1"	12.0
SUBTOTAL					141.0

29TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	9,084	616		8,468
TOTAL	9,084	616		8,468

29TH FLOOR DEDUCTIONS					
ZONE C5-1 AND C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	29.53	0'-8"	7'-2"	4.8
RESIDENTIAL	M	29.54	1'-1"	4'-1"	4.4
RESIDENTIAL	M	29.55	1'-6"	3'-2"	4.8
RESIDENTIAL	ST	29.56	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	29.57	0'-8"	1'-6"	1.0
RESIDENTIAL	M	29.58	2'-9"	3'-4"	9.0
RESIDENTIAL	M	29.59	4'-2"	4'-7"	19.1
RESIDENTIAL	M	29.60	1'-7"	4'-2"	6.6
RESIDENTIAL	M	29.61	1'-8"	4'-2"	6.8
RESIDENTIAL	M	29.62	4'-10"	4'-10"	23.4
RES					

31ST FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZEA (SF)
RESIDENTIAL		7,061	457	6,604
TOTAL		7,061	457	6,604

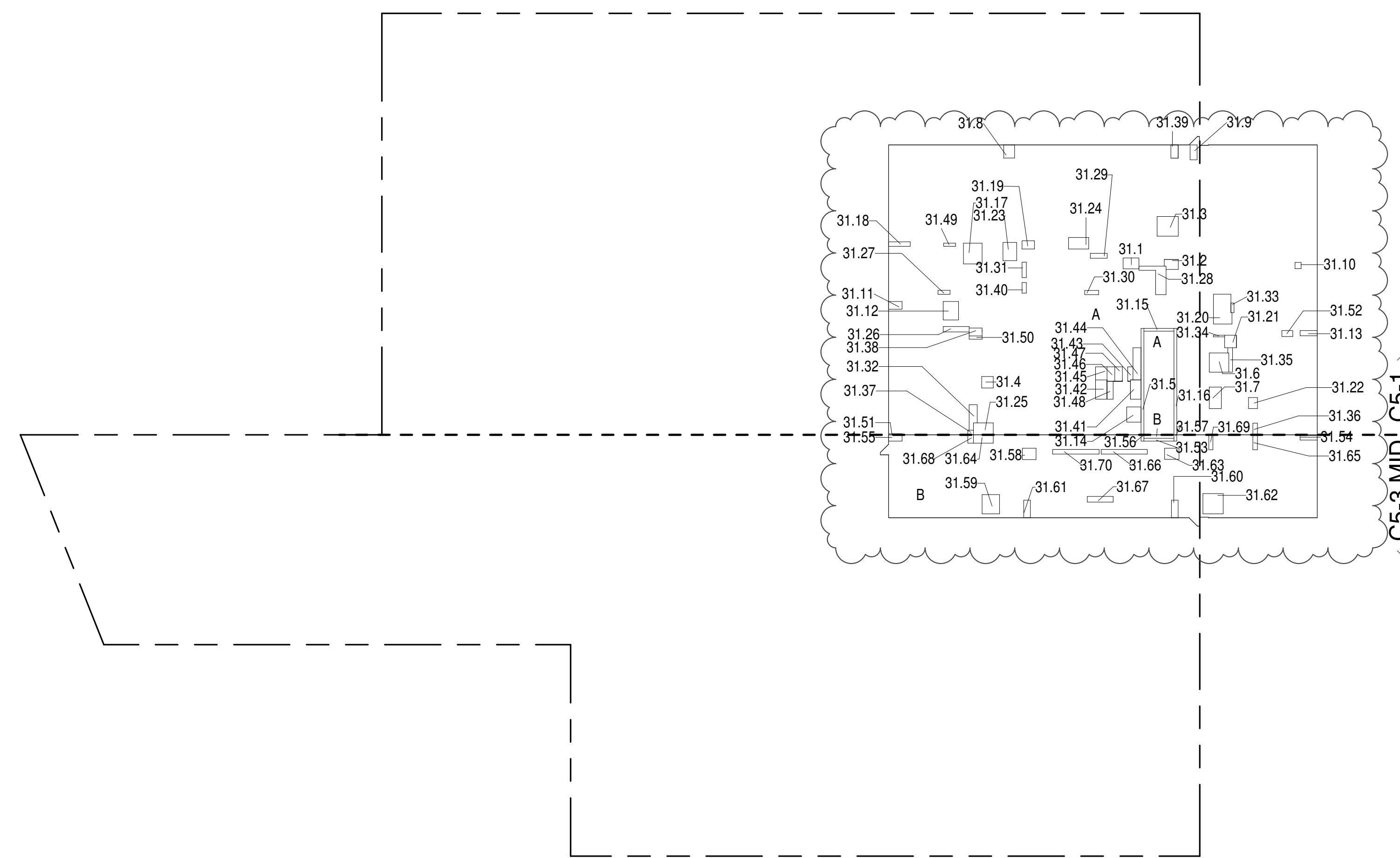
31ST FLOOR DEDUCTIONS				
ZONE C5-1				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	M	31.1	2'-7"	3'-9"
RESIDENTIAL	M	31.2	2'-1"	3'-7"
RESIDENTIAL	M	31.3	4'-8"	5'-1"
RESIDENTIAL	M	31.4	2'-9"	2'-9"
RESIDENTIAL	ST	31.5	0'-8"	25'-5"
RESIDENTIAL	M	31.6	4'-7"	4'-8"
RESIDENTIAL	M	31.7	2'-11"	5'-1"
RESIDENTIAL	M	31.8	2'-7"	3'-2"
RESIDENTIAL	M	31.9	1'-8"	3'-7"
RESIDENTIAL	M	31.10	1'-6"	1'-6"
RESIDENTIAL	M	31.11	1'-10"	3'-2"
RESIDENTIAL	M	31.12	3'-8"	4'-5"
RESIDENTIAL	M	31.13	1'-3"	4'-11"
RESIDENTIAL	M	31.14	3'-5"	3'-8"
RESIDENTIAL	ST	31.15	0'-8"	7'-2"
RESIDENTIAL	ST	31.16	0'-8"	25'-5"
RESIDENTIAL	M	31.17	4'-5"	4'-11"
RESIDENTIAL	M	31.18	1'-1"	5'-2"
RESIDENTIAL	M	31.19	2'-0"	3'-0"
RESIDENTIAL	M	31.20	4'-0"	7'-6"
RESIDENTIAL	M	31.21	2'-10"	3'-0"
RESIDENTIAL	M	31.22	2'-2"	2'-8"
RESIDENTIAL	M	31.23	3'-5"	4'-4"
RESIDENTIAL	M	31.24	2'-9"	4'-10"
RESIDENTIAL	M	31.25	2'-10"	4'-9"
RESIDENTIAL	P	31.26	1'-5"	6'-2"
RESIDENTIAL	P	31.27	0'-11"	2'-11"
RESIDENTIAL	P	31.28	1'-10"	11'-5"
RESIDENTIAL	P	31.29	1'-2"	4'-0"
RESIDENTIAL	P	31.30	1'-5"	3'-4"
RESIDENTIAL	P	31.31	1'-1"	3'-5"
RESIDENTIAL	P	31.32	1'-7"	6'-5"
RESIDENTIAL	P	31.33	0'-9"	2'-4"
RESIDENTIAL	P	31.34	0'-5"	2'-8"
RESIDENTIAL	P	31.35	0'-11"	6'-1"
SUBTOTAL				

31ST FLOOR DEDUCTIONS				
ZONE C5-1				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	M	31.36	1'-1"	2'-9"
RESIDENTIAL	M	31.37	1'-1"	1'-4"
RESIDENTIAL	M	31.38	1'-11"	3'-11"
RESIDENTIAL	M	31.39	1'-9"	3'-2"
RESIDENTIAL	P	31.40	1'-1"	2'-6"
RESIDENTIAL	E	31.41	2'-7"	4'-7"
RESIDENTIAL	P	31.42	2'-9"	4'-7"
RESIDENTIAL	M	31.43	1'-2"	3'-6"
RESIDENTIAL	P	31.44	1'-11"	7'-8"
RESIDENTIAL	M	31.45	2'-9"	3'-1"
RESIDENTIAL	P	31.46	1'-10"	3'-5"
RESIDENTIAL	E	31.47	1'-5"	4'-3"
RESIDENTIAL	P	31.48	0'-9"	2'-10"
RESIDENTIAL	P	31.49	0'-9"	3'-1"
RESIDENTIAL	M	31.51	0'-3"	3'-2"
RESIDENTIAL	P	31.52	1'-5"	2'-7"
SUBTOTAL				456.6

31ST FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZEA (SF)
RESIDENTIAL		2,024	142	1,882
TOTAL		2,024	142	1,882

31ST FLOOR DEDUCTIONS				
ZONE C5-3 MID				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	ST	31.53	0'-8"	7'-2"
RESIDENTIAL	M	31.54	1'-1"	4'-1"
RESIDENTIAL	M	31.55	1'-6"	3'-2"
RESIDENTIAL	ST	31.56	0'-8"	1'-6"
RESIDENTIAL	ST	31.57	0'-8"	1'-6"
RESIDENTIAL	M	31.58	2'-9"	3'-4"
RESIDENTIAL	M	31.59	4'-2"	4'-7"
RESIDENTIAL	M	31.60	1'-7"	4'-2"
RESIDENTIAL	M	31.61	1'-8"	4'-2"
RESIDENTIAL	M	31.62	4'-10"	4'-10"
RESIDENTIAL	M	31.63	2'-8"	3'-6"
RESIDENTIAL	M	31.64	2'-0"	4'-9"
RESIDENTIAL	P	31.65	1'-1"	3'-6"
RESIDENTIAL	P	31.66	1'-1"	11'-0"
RESIDENTIAL	P	31.67	1'-5"	6'-2"
RESIDENTIAL	M	31.68	1'-4"	2'-0"
RESIDENTIAL	P	31.69	1'-0"	3'-6"
RESIDENTIAL	P	31.70	1'-1"	11'-1"
SUBTOTAL				141.9

31ST FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZEA (SF)
RESIDENTIAL		9,084	598	8,486
TOTAL		9,084	598	8,486



31ST FLOOR (MFD:56TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS

364' = 1'-0"

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32ND FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZEA (SF)
RESIDENTIAL		7,061	475	6,586
TOTAL		7,061	475	6,586

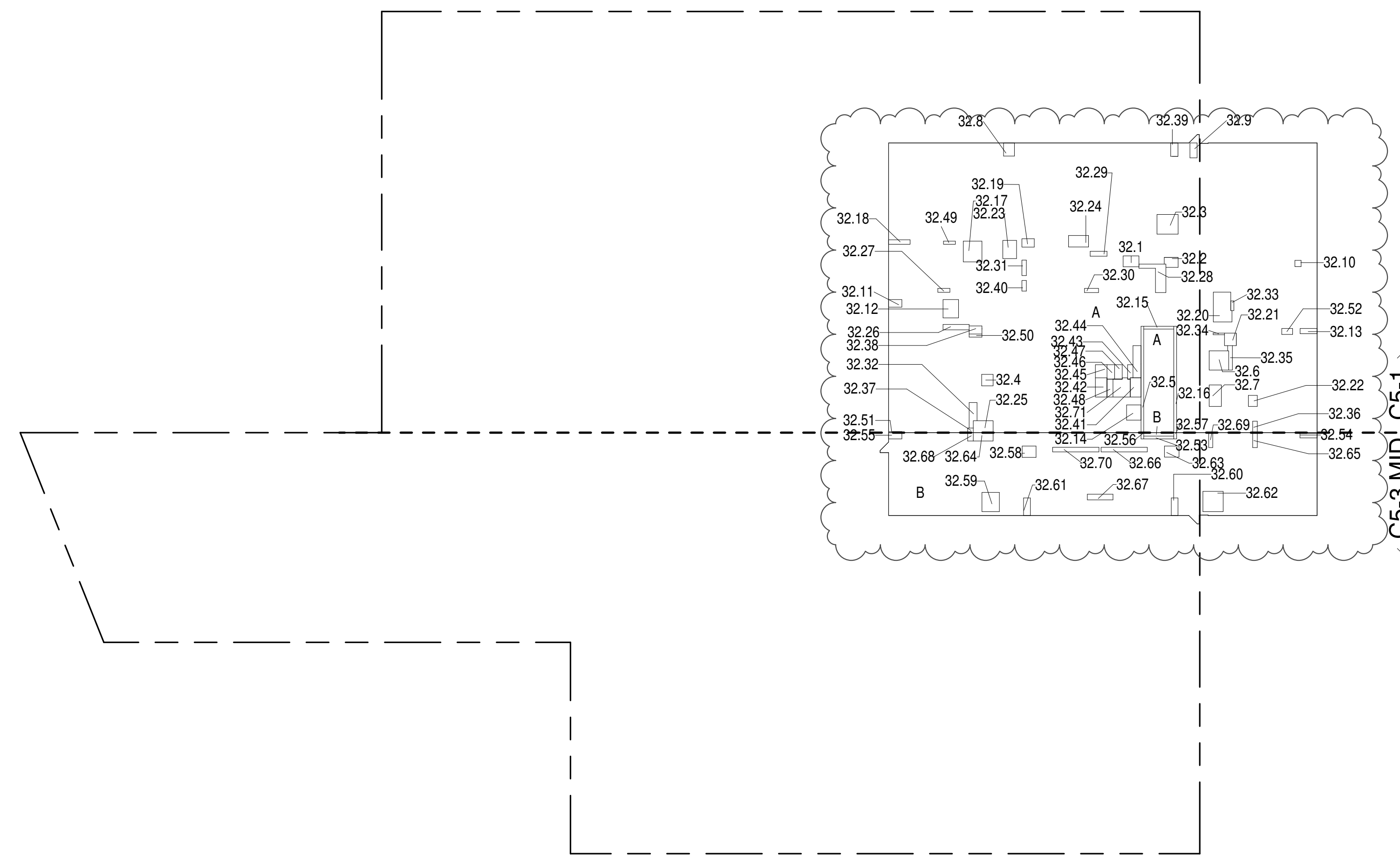
32ND FLOOR DEDUCTIONS				
ZONE C5-1				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	M	32.1	2'-7"	3'-9"
RESIDENTIAL	M	32.2	2'-1"	3'-7"
RESIDENTIAL	M	32.3	4'-8"	5'-1"
RESIDENTIAL	M	32.4	2'-9"	2'-9"
RESIDENTIAL	ST	32.5	0'-8"	25'-5"
RESIDENTIAL	M	32.6	4'-7"	4'-8"
RESIDENTIAL	M	32.7	2'-11"	5'-1"
RESIDENTIAL	M	32.8	2'-7"	3'-2"
RESIDENTIAL	M	32.9	1'-8"	3'-7"
RESIDENTIAL	M	32.10	1'-6"	1'-6"
RESIDENTIAL	M	32.11	1'-10"	3'-2"
RESIDENTIAL	M	32.12	3'-8"	4'-5"
RESIDENTIAL	M	32.13	1'-3"	4'-11"
RESIDENTIAL	M	32.14	3'-5"	3'-8"
RESIDENTIAL	ST	32.15	0'-8"	7'-2"
RESIDENTIAL	ST	32.16	0'-8"	25'-5"
RESIDENTIAL	M	32.17	4'-5"	4'-11"
RESIDENTIAL	M	32.18	1'-1"	5'-2"
RESIDENTIAL	M	32.19	2'-0"	3'-0"
RESIDENTIAL	M	32.20	4'-0"	7'-6"
RESIDENTIAL	M	32.21	2'-10"	3'-0"
RESIDENTIAL	M	32.22	2'-2"	2'-8"
RESIDENTIAL	M	32.23	3'-5"	4'-4"
RESIDENTIAL	M	32.24	2'-9"	4'-10"
RESIDENTIAL	M	32.25	2'-10"	4'-9"
RESIDENTIAL	P	32.26	1'-5"	6'-2"
RESIDENTIAL	P	32.27	0'-11"	2'-11"
RESIDENTIAL	P	32.28	1'-10"	11'-5"
RESIDENTIAL	P	32.29	1'-2"	4'-0"
RESIDENTIAL	P	32.30	1'-5"	3'-4"
RESIDENTIAL	P	32.31	1'-1"	3'-5"
RESIDENTIAL	P	32.32	1'-7"	6'-5"
RESIDENTIAL	P	32.33	0'-9"	2'-4"
RESIDENTIAL	P	32.34	0'-5"	2'-8"
RESIDENTIAL	P	32.35	0'-11"	6'-1"
SUBTOTAL				

32ND FLOOR DEDUCTIONS				
ZONE C5-1				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	P	32.36	1'-1"	2'-9"
RESIDENTIAL	M	32.37	1'-1"	1'-4"
RESIDENTIAL	M	32.38	1'-11"	3'-11"
RESIDENTIAL	M	32.39	1'-9"	3'-2"
RESIDENTIAL	P	32.40	1'-1"	2'-6"
RESIDENTIAL	E	32.41	2'-7"	4'-7"
RESIDENTIAL	P	32.42	2'-9"	4'-7"
RESIDENTIAL	M	32.43	1'-2"	3'-6"
RESIDENTIAL	P	32.44	1'-11"	7'-8"
RESIDENTIAL	M	32.45	2'-9"	3'-1"
RESIDENTIAL	P	32.46	1'-10"	3'-5"
RESIDENTIAL	M	32.47	1'-10"	3'-5"
RESIDENTIAL	E	32.48	1'-5"	4'-3"
RESIDENTIAL	P	32.49	0'-9"	2'-10"
RESIDENTIAL	P	32.50	0'-9"	3'-1"
RESIDENTIAL	M	32.51	0'-3"	3'-2"
RESIDENTIAL	P	32.52	1'-5"	2'-7"
RESIDENTIAL	E	32.53	3'-5"	5'-4"
SUBTOTAL				474.6

32ND FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZEA (SF)
RESIDENTIAL		2,024	142	1,882
TOTAL		2,024	142	1,882

32ND FLOOR DEDUCTIONS				
ZONE C5-3 MID				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	ST	32.53	0'-8"	7'-2"
RESIDENTIAL	M	32.54	1'-1"	4'-1"
RESIDENTIAL	M	32.55	1'-6"	3'-2"
RESIDENTIAL	ST	32.56	0'-8"	1'-6"
RESIDENTIAL	ST	32.57	0'-8"	1'-6"
RESIDENTIAL	M	32.58	2'-9"	3'-4"
RESIDENTIAL	M	32.59	4'-2"	4'-7"
RESIDENTIAL	M	32.60	1'-7"	4'-2"
RESIDENTIAL	M	32.61	1'-8"	4'-2"
RESIDENTIAL	M	32.62	4'-10"	4'-10"
RESIDENTIAL	M	32.63	2'-8"	3'-6"
RESIDENTIAL	M	32.64	2'-0"	4'-9"
RESIDENTIAL	P	32.65	1'-1"	3'-6"
RESIDENTIAL	P	32.66	1'-1"	11'-0"
RESIDENTIAL	P	32.67	1'-5"	6'-2"
RESIDENTIAL	M	32.68	1'-4"	2'-0"
RESIDENTIAL	P	32.69	1'-0"	3'-6"
RESIDENTIAL	P	32.70	1'-1"	11'-1"
SUBTOTAL				141.9

32ND FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZEA (SF)
RESIDENTIAL		9,084	616	8,468
TOTAL		9,084	616	8,468



32ND FLOOR (MFD:57TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS

364' = 1'-0"

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33RD FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZEA (SF)
RESIDENTIAL		7,061	457	6,604
TOTAL		7,061	457	6,604

33RD FLOOR DEDUCTIONS				
ZONE C5-1				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	M	33.1	2'-7"	3'-9"
RESIDENTIAL	M	33.2	2'-1"	3'-7"
RESIDENTIAL	M	33.3	4'-8"	5'-1"
RESIDENTIAL	M	33.4	2'-9"	2'-9"
RESIDENTIAL	ST	33.5	0'-8"	25'-5"
RESIDENTIAL	M	33.6	4'-7"	4'-8"
RESIDENTIAL	M	33.7	2'-11"	5'-1"
RESIDENTIAL	M	33.8	2'-7"	3'-2"
RESIDENTIAL	M	33.9	1'-8"	3'-7"
RESIDENTIAL	M	33.10	1'-6"	1'-6"
RESIDENTIAL	M	33.11	1'-10"	3'-2"
RESIDENTIAL	M	33.12	3'-8"	4'-5"
RESIDENTIAL	M	33.13	1'-3"	4'-11"
RESIDENTIAL	M	33.14	3'-5"	3'-8"
RESIDENTIAL	ST	33.15	0'-8"	7'-2"
RESIDENTIAL	ST	33.16	0'-8"	25'-5"
RESIDENTIAL	M	33.17	4'-5"	4'-11"
RESIDENTIAL	M	33.18	1'-1"	5'-2"
RESIDENTIAL	M	33.19	2'-0"	3'-0"
RESIDENTIAL	M	33.20	4'-0"	7'-6"
RESIDENTIAL	M	33.21	2'-10"	3'-0"
RESIDENTIAL	M	33.22	2'-2"	2'-8"
RESIDENTIAL	M	33.23	3'-5"	4'-4"
RESIDENTIAL	M	33.24	2'-9"	4'-10"
RESIDENTIAL	M	33.25	2'-10"	4'-9"
RESIDENTIAL	P	33.26	1'-5"	6'-2"
RESIDENTIAL	P	33.27	0'-11"	2'-11"
RESIDENTIAL	P	33.28	1'-10"	11'-5"
RESIDENTIAL	P	33.29	1'-2"	4'-0"
RESIDENTIAL	P	33.30	1'-5"	3'-4"
RESIDENTIAL	P	33.31	1'-1"	3'-5"
RESIDENTIAL	P	33.32	1'-7"	6'-5"
RESIDENTIAL	P	33.33	0'-9"	2'-4"
RESIDENTIAL	P	33.34	0'-5"	2'-8"
RESIDENTIAL	P	33.35	0'-11"	6'-1"
SUBTOTAL				

33RD FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	33.36	1'-1"	2'-9"	3.0
RESIDENTIAL	M	33.37	1'-1"	1'-4"	1.5
RESIDENTIAL	M	33.38	1'-11"	3'-11"	15.0
RESIDENTIAL	M	33.39	1'-9"	3'-2"	2.9
RESIDENTIAL	P	33.40	1'-1"	2'-6"	1.7
RESIDENTIAL	E	33.41	2'-7"	4'-7"	11.6
RESIDENTIAL	P	33.42	2'-9"	4'-7"	12.0
RESIDENTIAL	M	33.43	1'-2"	3'-6"	4.1
RESIDENTIAL	P	33.44	1'-11"	7'-8"	14.7
RESIDENTIAL	M	33.45	2'-9"	3'-1"	8.7
RESIDENTIAL	P	33.46	1'-10"	3'-5"	6.3
RESIDENTIAL	M	33.47	1'-10"	3'-5"	6.2
RESIDENTIAL	E	33.48	1'-5"	4'-3"	6.1
RESIDENTIAL	P	33.49	0'-9"	2'-10"	2.1
RESIDENTIAL	P	33.50	0'-9"	3'-1"	2.4
RESIDENTIAL	M	33.51	0'-3"	3'-2"	0.8
RESIDENTIAL	P	33.52	1'-5"	2'-7"	3.7
SUBTOTAL					456.6

34TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZEA (SF)
RESIDENTIAL	7,061	457		6,604
TOTAL		7,061	457	6,604

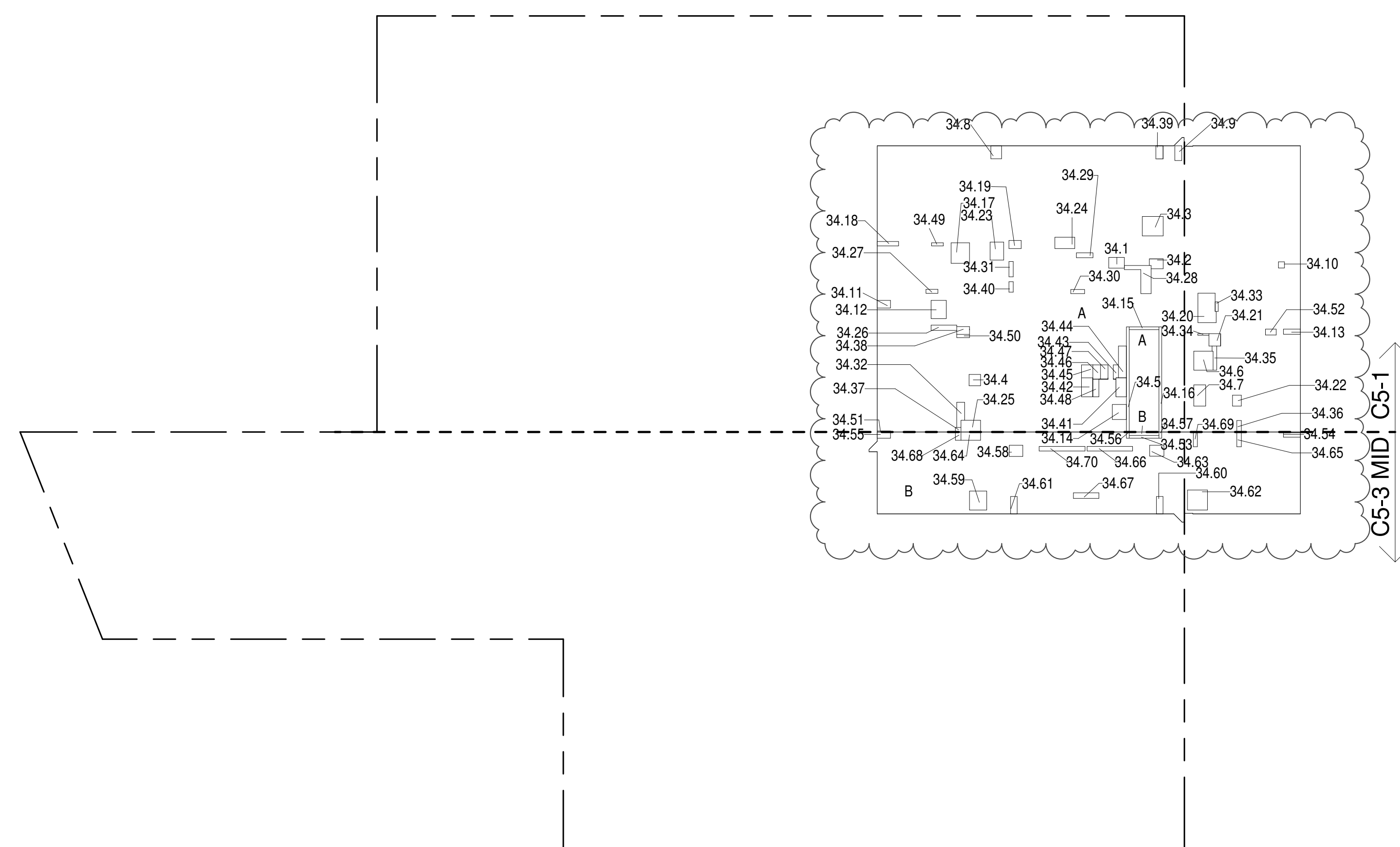
34TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	34.1	2'-7"	3'-9"	9.8
RESIDENTIAL	M	34.2	2'-1"	3'-7"	7.6
RESIDENTIAL	M	34.3	4'-8"	5'-1"	23.7
RESIDENTIAL	M	34.4	2'-9"	2'-9"	7.5
RESIDENTIAL	ST	34.5	0'-8"	25'-5"	16.9
RESIDENTIAL	M	34.6	4'-7"	4'-8"	21.4
RESIDENTIAL	M	34.7	2'-11"	5'-1"	14.8
RESIDENTIAL	M	34.8	2'-7"	3'-2"	8.1
RESIDENTIAL	M	34.9	1'-8"	3'-7"	6.0
RESIDENTIAL	M	34.10	1'-6"	1'-6"	2.2
RESIDENTIAL	M	34.11	1'-10"	3'-2"	5.8
RESIDENTIAL	M	34.12	3'-8"	4'-5"	16.1
RESIDENTIAL	M	34.13	1'-3"	4'-1"	5.1
RESIDENTIAL	M	34.14	3'-5"	3'-8"	12.5
RESIDENTIAL	ST	34.15	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	34.16	0'-8"	25'-5"	16.9
RESIDENTIAL	M	34.17	4'-5"	4'-11"	21.8
RESIDENTIAL	M	34.18	1'-1"	5'-2"	5.6
RESIDENTIAL	M	34.19	2'-0"	3'-0"	5.8
RESIDENTIAL	M	34.20	4'-0"	7'-6"	30.1
RESIDENTIAL	M	34.21	2'-10"	3'-0"	8.4
RESIDENTIAL	M	34.22	2'-2"	2'-8"	5.7
RESIDENTIAL	M	34.23	3'-3"	4'-4"	14.1
RESIDENTIAL	M	34.24	2'-9"	4'-10"	13.1
RESIDENTIAL	M	34.25	2'-10"	4'-9"	13.5
RESIDENTIAL	P	34.26	1'-3"	6'-2"	7.9
RESIDENTIAL	P	34.27	0'-11"	2'-11"	2.7
RESIDENTIAL	P	34.28	1'-10"	11'-5"	21.0
RESIDENTIAL	P	34.29	1'-2"	4'-0"	4.7
RESIDENTIAL	P	34.30	1'-0"	3'-4"	3.3
RESIDENTIAL	P	34.31	1'-1"	3'-2"	3.3
RESIDENTIAL	P	34.32	1'-7"	6'-5"	10.0
RESIDENTIAL	P	34.33	0'-9"	2'-4"	1.7
RESIDENTIAL	P	34.34	0'-5"	2'-8"	1.1
RESIDENTIAL	P	34.35	0'-11"	6'-1"	5.4
SUBTOTAL					

34TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	34.36	1'-1"	2'-9"	3.0
RESIDENTIAL	M	34.37	1'-1"	1'-4"	1.5
RESIDENTIAL	M	34.38	1'-11"	3'-1"	5.8
RESIDENTIAL	M	34.39	1'-9"	3'-2"	5.6
RESIDENTIAL	P	34.40	1'-1"	2'-6"	2.6
RESIDENTIAL	E	34.41	2'-7"	4'-7"	11.6
RESIDENTIAL	P	34.42	2'-9"	4'-7"	12.6
RESIDENTIAL	M	34.43	1'-2"	3'-6"	4.1
RESIDENTIAL	P	34.44	1'-11"	7'-8"	14.7
RESIDENTIAL	M	34.45	2'-9"	3'-1"	8.5
RESIDENTIAL	P	34.46	1'-10"	3'-5"	6.3
RESIDENTIAL	E	34.47	1'-10"	3'-2"	6.2
RESIDENTIAL	E	34.48	1'-5"	4'-3"	6.1
RESIDENTIAL	P	34.49	0'-9"	2'-10"	2.1
RESIDENTIAL	P	34.50	0'-9"	3'-1"	2.4
RESIDENTIAL	M	34.51	0'-3"	3'-2"	0.8
RESIDENTIAL	P	34.52	1'-5"	2'-7"	3.7
SUBTOTAL					456.6

34TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZEA (SF)
RESIDENTIAL	2,024	142		1,882
TOTAL		2,024	142	1,882

34TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	NO.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	34.53	0'-8"	7'-2"	4.8
RESIDENTIAL	M	34.54	1'-1"	4'-1"	4.4
RESIDENTIAL	M	34.55	1'-6"	3'-2"	4.8
RESIDENTIAL	ST	34.56	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	34.57	0'-8"	1'-6"	1.0
RESIDENTIAL	M	34.58	2'-9"	3'-4"	9.0
RESIDENTIAL	M	34.59	4'-2"	4'-7"	19.1
RESIDENTIAL	M	34.60	1'-7"	4'-2"	6.6
RESIDENTIAL	M	34.61	1'-8"	4'-2"	6.8
RESIDENTIAL	M	34.62	4'-10"	4'-10"	23.4
RESIDENTIAL	M	34.63	2'-8"	3'-6"	9.2
RESIDENTIAL	M	34.64	2'-0"	4'-9"	9.5
RESIDENTIAL	P	34.65	1'-1"	3'-6"	3.9
RESIDENTIAL	P	34.66	1'-1"	11'-0"	11.9
RESIDENTIAL	P	34.67	1'-5"	6'-2"	8.4
RESIDENTIAL	M	34.68	1'-4"	2'-0"	2.7
RESIDENTIAL	P	34.69	1'-0"	3'-6"	3.4
RESIDENTIAL	P	34.70	1'-1"	11'-1"	12.0
SUBTOTAL					141.9

34TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	*GFA	*DEDUCTIONS	*ZEA (SF)	
RESIDENTIAL	9,084	598		8,486
TOTAL		9,084	598	8,486



ZONING AND DEDUCT LEGEND

DEDUCTIONS

M - MECHANICAL ROOM / RISER
E - ELECTRICAL SHAFT / RISER
P - PLUMBING RISERBG - BELOW GRADE
O - OPENING TO BELOW

L - LOADING BAYS

ST - 44" RESI STAIR SHAFT (INCLUDING 8" PERIMETER)

G - GAP FROM ADJACENT BUILDING

--- DEVELOPMENT LOT LINE

* WHERE APPLICABLE, DOCUMENTED AND CALCULATED AREAS HAVE BEEN ROUNDED TO ITS NEXT SIGNIFICANT DIGIT.

** LENGTH AND WIDTH DIMENSIONS FOR COMPLEX SHAPES HAVE BEEN SIMPLIFIED TO ILLUSTRATE ONLY LARGEST OVERALL DIMENSION RESPECTIVELY. AREA DOCUMENTED IS THE EXACT AREA OF THE COMPLEX SHAPE

*** ELECTRICAL DEDUCTIONS ARE ONLY FOR ELECTRICAL RISERS, AND CLOSETS. NO DEDUCTIONS TAKEN FOR TELEPHONE CLOSETS

35TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZEA (SF)
RESIDENTIAL	7,061	475		6,586
TOTAL		7,061	475	6,586

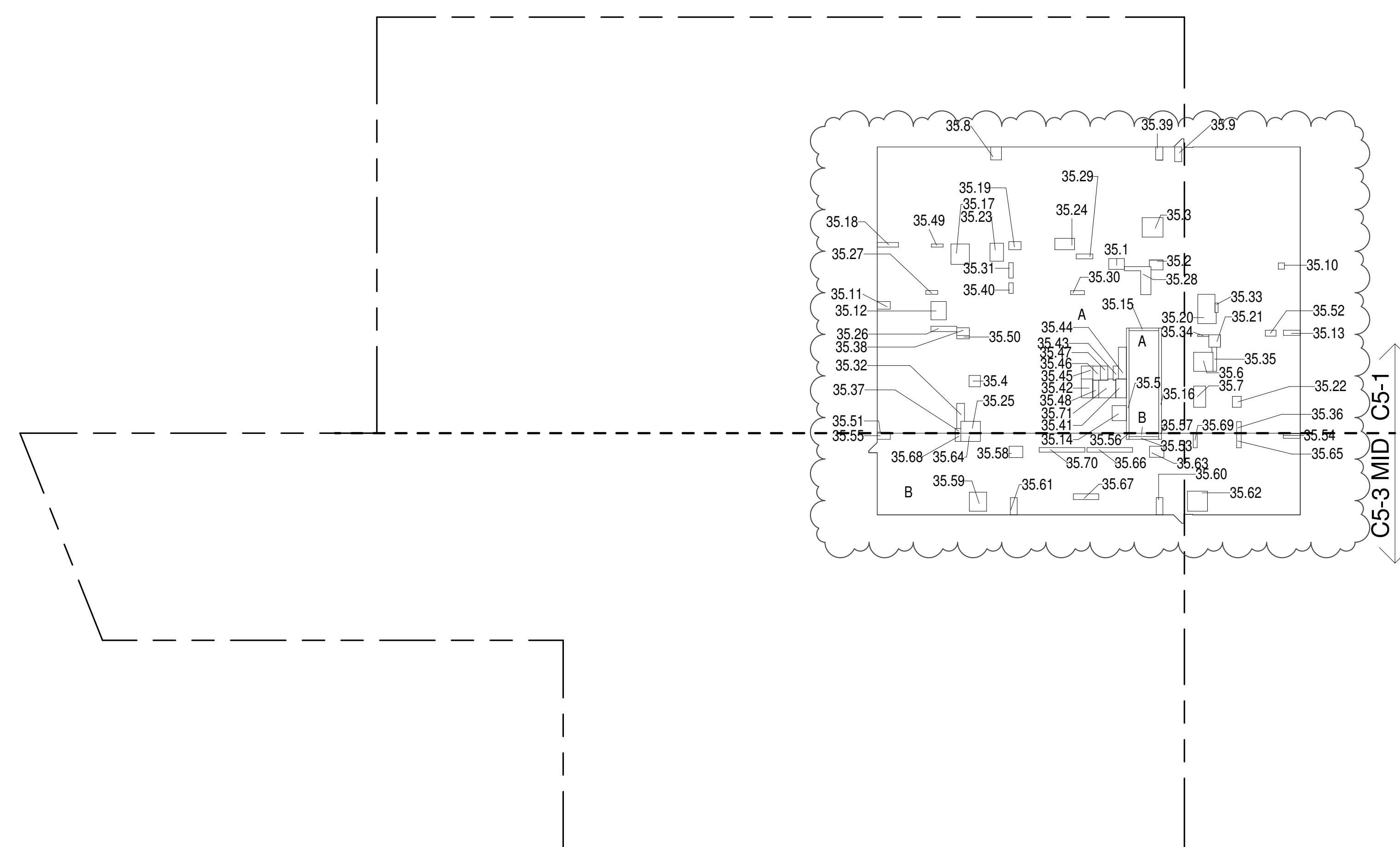
35TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	35.1	2'-7"	3'-9"	9.8
RESIDENTIAL	M	35.2	2'-1"	3'-7"	7.6
RESIDENTIAL	M	35.3	4'-8"	5'-1"	23.7
RESIDENTIAL	M	35.4	2'-9"	2'-9"	7.5
RESIDENTIAL	ST	35.5	0'-8"	25'-5"	16.9
RESIDENTIAL	M	35.6	4'-7"	4'-8"	21.4
RESIDENTIAL	M	35.7	2'-11"	5'-1"	14.8
RESIDENTIAL	M	35.8	2'-7"	3'-2"	8.1
RESIDENTIAL	M	35.9	1'-8"	3'-7"	6.0
RESIDENTIAL	M	35.10	1'-6"	1'-6"	2.2
RESIDENTIAL	M	35.11	1'-10"	3'-2"	5.8
RESIDENTIAL	M	35.12	3'-8"	4'-5"	16.1
RESIDENTIAL	M	35.13	1'-3"	4'-1"	5.1
RESIDENTIAL	M	35.14	3'-5"	3'-8"	12.5
RESIDENTIAL	ST	35.15	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	35.16	0'-8"	25'-5"	16.9
RESIDENTIAL	M	35.17	4'-5"	4'-11"	21.8
RESIDENTIAL	M	35.18	1'-1"	5'-2"	5.6
RESIDENTIAL	M	35.19	2'-0"	3'-0"	5.8
RESIDENTIAL	M	35.20	4'-0"	7'-6"	30.1
RESIDENTIAL	M	35.21	2'-10"	3'-0"	8.4
RESIDENTIAL	M	35.22	2'-2"	2'-8"	5.7
RESIDENTIAL	M	35.23	3'-3"	4'-4"	14.1
RESIDENTIAL	M	35.24	2'-9"	4'-10"	13.1
RESIDENTIAL	M	35.25	2'-10"	4'-9"	13.5
RESIDENTIAL	P	35.26	1'-3"	6'-2"	7.9
RESIDENTIAL	P	35.27	0'-11"	2'-11"	2.7
RESIDENTIAL	P	35.28	1'-10"	11'-5"	21.0
RESIDENTIAL	P	35.29	1'-2"	4'-0"	4.7
RESIDENTIAL	P	35.30	1'-0"	3'-4"	3.3
RESIDENTIAL	P	35.31	1'-1"	3'-2"	3.3
RESIDENTIAL	P	35.32	1'-7"	6'-5"	10.0
RESIDENTIAL	P	35.33	0'-9"	2'-4"	1.7
RESIDENTIAL	P	35.34	0'-5"	2'-8"	1.1
RESIDENTIAL	P	35.35	0'-11"	6'-1"	5.4
SUBTOTAL					

35TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	35.36	1'-1"	2'-9"	3.0
RESIDENTIAL	M	35.37	1'-1"	1'-4"	1.5
RESIDENTIAL	M	35.38	1'-11"	3'-1"	5.8
RESIDENTIAL	M	35.39	1'-9"	3'-2"	5.6
RESIDENTIAL	P	35.40	1'-1"	2'-6"	2.6
RESIDENTIAL	E	35.41	2'-7"	4'-7"	11.6
RESIDENTIAL	P	35.42	2'-9"	4'-7"	12.6
RESIDENTIAL	M	35.43	1'-2"	3'-6"	4.1
RESIDENTIAL	P	35.44	1'-11"	7'-8"	14.7
RESIDENTIAL	M	35.45	2'-9"	3'-1"	8.5
RESIDENTIAL	P	35.46	1'-10"	3'-5"	6.3
RESIDENTIAL	M	35.47	1'-10"	3'-2"	6.2
RESIDENTIAL	E	35.48	1'-5"	4'-3"	6.1
RESIDENTIAL	P	35.49	0'-9"	2'-10"	2.1
RESIDENTIAL	P	35.50	0'-9"	3'-1"	2.4
RESIDENTIAL	M	35.51	0'-3"	3'-2"	0.8
RESIDENTIAL	P	35.52	1'-5"	2'-7"	3.7
RESIDENTIAL	E	35.53	3'-5"	5'-4"	18.0
SUBTOTAL					474.6

35TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZEA (SF)
RESIDENTIAL	2,024	142		1,882
TOTAL		2,024	142	1,882

35TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	NO.	LENGTH	WIDTH	AREA(SF)
RESIDENTIAL	ST	35.53	0'-8"	7'-2"	4.8
RESIDENTIAL	M	35.54	1'-1"	4'-1"	4.4
RESIDENTIAL	M	35.55	1'-6"	3'-2"	4.8
RESIDENTIAL	ST	35.56	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	35.57	0'-8"	1'-6"	1.0
RESIDENTIAL	M	35.58	2'-9"	3'-4"	9.0
RESIDENTIAL	M	35.59	4'-2"	4'-7"	19.1
RESIDENTIAL	M	35.60	1'-7"	4'-2"	6.6
RESIDENTIAL	M	35.61	1'-8"	4'-2"	6.8
RESIDENTIAL	M	35.62	4'-10"	4'-10"	23.4
RESIDENTIAL	M	35.63	2'-8"	3'-6"	9.2
RESIDENTIAL	M	35.64	2'-0"	4'-9"	9.5
RESIDENTIAL	P	35.65	1'-1"	3'-6"	3.9
RESIDENTIAL	P	35.66	1'-1"	11'-0"	11.9
RESIDENTIAL	P	35.67	1'-5"	6'-2"	8.4
RESIDENTIAL	M	35.68	1'-4"	2'-0"	2.7
RESIDENTIAL	P	35.69	1'-0"	3'-6"	3.4
RESIDENTIAL	P	35.70	1'-1"	11'-1"	12.0
SUBTOTAL					141.9

35TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	*GFA	*DEDUCTIONS	*ZEA (SF)	
RESIDENTIAL	9,084	616		8,468
TOTAL		9,084	616	8,468



36TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZEA (SF)
RESIDENTIAL	7,061	457		6,604
TOTAL		7,061	457	6,604

36TH FLOOR FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	36.1	2'-7"	3'-9"	9.8
RESIDENTIAL	M	36.2	2'-1"	3'-7"	7.6
RESIDENTIAL	M	36.3	4'-8"	5'-1"	23.7
RESIDENTIAL	M	36.4	2'-9"	2'-9"	7.5
RESIDENTIAL	ST	36.5	0'-8"	25'-5"	16.9
RESIDENTIAL	M	36.6	4'-7"	4'-8"	21.4
RESIDENTIAL	M	36.7	2'-11"	5'-1"	14.8
RESIDENTIAL	M	36.8	2'-7"	3'-2"	8.1
RESIDENTIAL	M	36.9	1'-8"	3'-7"	6.0
RESIDENTIAL	M	36.10	1'-6"	1'-6"	2.2
RESIDENTIAL	M	36.11	1'-10"	3'-2"	5.8
RESIDENTIAL	M	36.12	3'-8"	4'-5"	16.1
RESIDENTIAL	M	36.13	1'-3"	4'-1"	5.1
RESIDENTIAL	M	36.14	3'-5"	3'-8"	12.5
RESIDENTIAL	ST	36.15	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	36.16	0'-8"	25'-5"	16.9
RESIDENTIAL	M	36.17	4'-5"	4'-11"	21.8
RESIDENTIAL	M	36.18	1'-1"	5'-2"	5.6
RESIDENTIAL	M	36.19	2'-0"	3'-0"	5.8
RESIDENTIAL	M	36.20	4'-0"	7'-6"	30.1
RESIDENTIAL	ST	36.21	2'-10"	3'-0"	5.7
RESIDENTIAL	M	36.22	2'-7"	2'-8"	5.2
RESIDENTIAL	M	36.23	3'-3"	4'-4"	14.1
RESIDENTIAL	M	36.24	2'-9"	4'-0"	13.1
RESIDENTIAL	M	36.25	2'-10"	4'-9"	13.5
RESIDENTIAL	P	36.26	1'-3"	6'-2"	7.9
RESIDENTIAL	P	36.27	0'-11"	2'-11"	2.7
RESIDENTIAL	P	36.28	1'-10"	11'-5"	21.0
RESIDENTIAL	P	36.29	1'-2"	4'-0"	4.7
RESIDENTIAL	P	36.30	1'-0"	3'-4"	3.3
RESIDENTIAL	P	36.31	1'-1"	3'-8"	3.9
RESIDENTIAL	P	36.32	1'-7"	9'-5"	10.0
RESIDENTIAL	P	36.33	0'-9"	2'-4"	2.3
RESIDENTIAL	P	36.34	1'-5"	2'-9"	4.1
RESIDENTIAL	P	36.35	0'-11"	6'-1"	5.4
SUBTOTAL					

37TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZEA (SF)
RESIDENTIAL		7,061	457	6,604
TOTAL		7,061	457	6,604

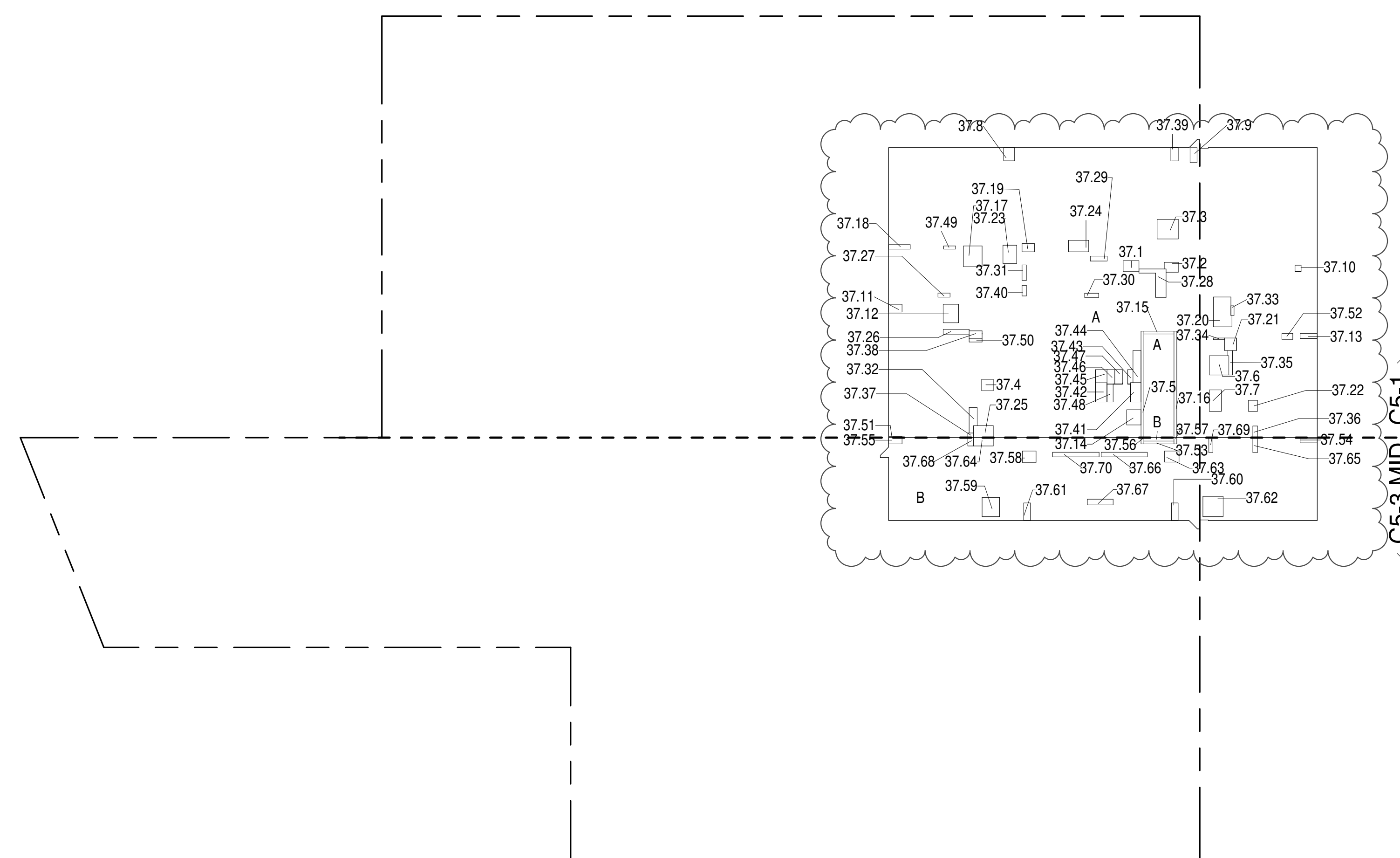
37TH FLOOR DEDUCTIONS				
ZONE C5-1				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	M	37.1	2'-7"	3'-9"
RESIDENTIAL	M	37.2	2'-1"	3'-7"
RESIDENTIAL	M	37.3	4'-8"	5'-1"
RESIDENTIAL	M	37.4	2'-9"	3'-2"
RESIDENTIAL	ST	37.5	0'-8"	25'-5"
RESIDENTIAL	M	37.6	4'-7"	4'-8"
RESIDENTIAL	M	37.7	2'-11"	5'-1"
RESIDENTIAL	M	37.8	2'-7"	3'-2"
RESIDENTIAL	M	37.9	1'-8"	3'-7"
RESIDENTIAL	M	37.10	1'-6"	1'-6"
RESIDENTIAL	M	37.11	1'-10"	3'-2"
RESIDENTIAL	M	37.12	3'-8"	4'-5"
RESIDENTIAL	M	37.13	1'-3"	4'-1"
RESIDENTIAL	M	37.14	3'-5"	3'-8"
RESIDENTIAL	ST	37.15	0'-8"	7'-2"
RESIDENTIAL	ST	37.16	0'-8"	25'-5"
RESIDENTIAL	M	37.17	4'-5"	4'-11"
RESIDENTIAL	M	37.18	1'-1"	5'-2"
RESIDENTIAL	M	37.19	2'-0"	3'-0"
RESIDENTIAL	M	37.20	4'-0"	7'-6"
RESIDENTIAL	M	37.21	2'-10"	3'-0"
RESIDENTIAL	M	37.22	2'-2"	2'-8"
RESIDENTIAL	M	37.23	3'-5"	4'-4"
RESIDENTIAL	M	37.24	2'-9"	4'-10"
RESIDENTIAL	M	37.25	2'-10"	4'-9"
RESIDENTIAL	P	37.26	1'-5"	6'-2"
RESIDENTIAL	P	37.27	0'-11"	2'-11"
RESIDENTIAL	P	37.28	1'-10"	11'-5"
RESIDENTIAL	P	37.29	1'-2"	4'-0"
RESIDENTIAL	P	37.30	1'-0"	3'-4"
RESIDENTIAL	P	37.31	1'-1"	3'-8"
RESIDENTIAL	P	37.32	1'-7"	6'-5"
RESIDENTIAL	P	37.33	0'-9"	2'-4"
RESIDENTIAL	P	37.34	0'-5"	2'-8"
RESIDENTIAL	P	37.35	0'-11"	6'-1"
SUBTOTAL				

37TH FLOOR DEDUCTIONS				
ZONE C5-1				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	P	37.36	1'-1"	2'-9"
RESIDENTIAL	M	37.37	1'-1"	1'-4"
RESIDENTIAL	M	37.38	1'-11"	3'-1"
RESIDENTIAL	M	37.39	1'-9"	3'-2"
RESIDENTIAL	P	37.40	1'-1"	2'-6"
RESIDENTIAL	E	37.41	2'-7"	4'-7"
RESIDENTIAL	P	37.42	2'-9"	4'-7"
RESIDENTIAL	M	37.43	1'-2"	3'-6"
RESIDENTIAL	P	37.44	1'-11"	7'-8"
RESIDENTIAL	M	37.45	2'-9"	3'-1"
RESIDENTIAL	P	37.46	1'-10"	3'-5"
RESIDENTIAL	E	37.47	1'-10"	3'-5"
RESIDENTIAL	E	37.48	1'-5"	4'-3"
RESIDENTIAL	P	37.49	0'-9"	2'-10"
RESIDENTIAL	P	37.50	0'-9"	3'-1"
RESIDENTIAL	M	37.51	0'-3"	3'-2"
RESIDENTIAL	P	37.52	1'-5"	2'-7"
SUBTOTAL				

37TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZEA (SF)
RESIDENTIAL		2,024	142	1,882
TOTAL		2,024	142	1,882

37TH FLOOR DEDUCTIONS				
ZONE C5-3 MID				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	ST	37.53	0'-8"	7'-2"
RESIDENTIAL	M	37.54	1'-1"	4'-1"
RESIDENTIAL	M	37.55	1'-6"	3'-2"
RESIDENTIAL	ST	37.56	0'-8"	1'-6"
RESIDENTIAL	ST	37.57	0'-8"	1'-6"
RESIDENTIAL	M	37.58	2'-9"	3'-4"
RESIDENTIAL	M	37.59	4'-2"	4'-7"
RESIDENTIAL	M	37.60	1'-7"	4'-2"
RESIDENTIAL	M	37.61	1'-8"	4'-2"
RESIDENTIAL	M	37.62	4'-10"	4'-10"
RESIDENTIAL	M	37.63	2'-8"	3'-6"
RESIDENTIAL	M	37.64	2'-0"	4'-9"
RESIDENTIAL	P	37.65	1'-1"	3'-6"
RESIDENTIAL	P	37.66	1'-1"	11'-0"
RESIDENTIAL	P	37.67	1'-5"	6'-2"
RESIDENTIAL	M	37.68	1'-4"	2'-0"
RESIDENTIAL	P	37.69	1'-0"	3'-6"
RESIDENTIAL	P	37.70	1'-1"	11'-1"
SUBTOTAL				

37TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZEA (SF)
RESIDENTIAL		9,084	598	8,486
TOTAL		9,084	598	8,486



37TH FLOOR (MFD:62ND FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS

364" = 1'-0"

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38TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZEA (SF)
RESIDENTIAL		7,061	475	6,586
TOTAL		7,061	475	6,586

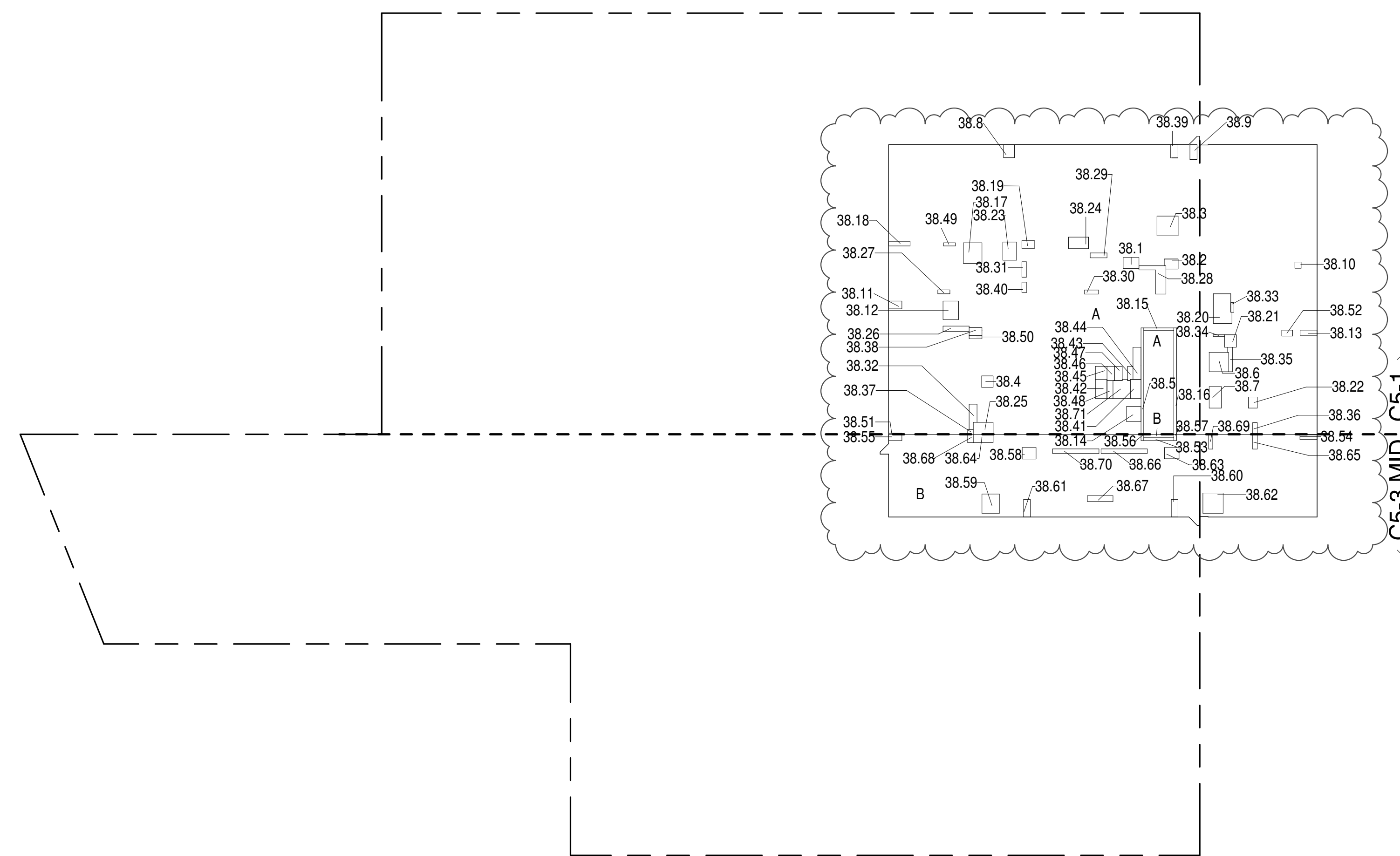
38TH FLOOR DEDUCTIONS				
ZONE C5-1				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	M	38.1	2'-7"	3'-9"
RESIDENTIAL	M	38.2	2'-1"	3'-7"
RESIDENTIAL	M	38.3	4'-8"	5'-1"
RESIDENTIAL	M	38.4	2'-9"	3'-2"
RESIDENTIAL	ST	38.5	0'-8"	25'-5"
RESIDENTIAL	M	38.6	4'-7"	4'-8"
RESIDENTIAL	M	38.7	2'-11"	5'-1"
RESIDENTIAL	M	38.8	2'-7"	3'-2"
RESIDENTIAL	M	38.9	1'-8"	3'-7"
RESIDENTIAL	M	38.10	1'-6"	1'-6"
RESIDENTIAL	M	38.11	1'-10"	3'-2"
RESIDENTIAL	M	38.12	3'-8"	4'-5"
RESIDENTIAL	M	38.13	1'-3"	4'-1"
RESIDENTIAL	M	38.14	3'-5"	3'-8"
RESIDENTIAL	ST	38.15	0'-8"	7'-2"
RESIDENTIAL	ST	38.16	0'-8"	25'-5"
RESIDENTIAL	M	38.17	4'-5"	4'-11"
RESIDENTIAL	M	38.18	1'-1"	5'-2"
RESIDENTIAL	M	38.19	2'-0"	3'-0"
RESIDENTIAL	M	38.20	4'-0"	7'-6"
RESIDENTIAL	M	38.21	2'-10"	3'-0"
RESIDENTIAL	M	38.22	2'-2"	2'-8"
RESIDENTIAL	M	38.23	3'-5"	4'-4"
RESIDENTIAL	M	38.24	2'-9"	4'-10"
RESIDENTIAL	M	38.25	2'-10"	4'-9"
RESIDENTIAL	P	38.26	1'-5"	6'-2"
RESIDENTIAL	P	38.27	0'-11"	2'-11"
RESIDENTIAL	P	38.28	1'-10"	11'-5"
RESIDENTIAL	P	38.29	1'-2"	4'-0"
RESIDENTIAL	P	38.30	1'-0"	3'-4"
RESIDENTIAL	P	38.31	1'-1"	3'-8"
RESIDENTIAL	P	38.32	1'-7"	6'-5"
RESIDENTIAL	P	38.33	0'-9"	2'-4"
RESIDENTIAL	P	38.34	0'-5"	2'-8"
RESIDENTIAL	P	38.35	0'-11"	6'-1"
SUBTOTAL				

38TH FLOOR DEDUCTIONS				
ZONE C5-1				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	P	38.36	1'-1"	2'-9"
RESIDENTIAL	M	38.37	1'-1"	1'-4"
RESIDENTIAL	M	38.38	1'-11"	3'-1"
RESIDENTIAL	M	38.39	1'-9"	3'-2"
RESIDENTIAL	P	38.40	1'-1"	2'-6"
RESIDENTIAL	E	38.41	2'-7"	4'-7"
RESIDENTIAL	P	38.42	2'-9"	4'-7"
RESIDENTIAL	M	38.43	1'-2"	3'-6"
RESIDENTIAL	P	38.44	1'-11"	7'-8"
RESIDENTIAL	M	38.45	2'-9"	3'-1"
RESIDENTIAL	P	38.46	1'-10"	3'-5"
RESIDENTIAL	E	38.47	1'-10"	3'-5"
RESIDENTIAL	E	38.48	1'-5"	4'-3"
RESIDENTIAL	P	38.49	0'-9"	2'-10"
RESIDENTIAL	P	38.50	0'-9"	3'-1"
RESIDENTIAL	M	38.51	0'-3"	3'-2"
RESIDENTIAL	P	38.52	1'-5"	2'-7"
RESIDENTIAL	E	38.53	3'-5"	5'-4"
SUBTOTAL				

38TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZEA (SF)
RESIDENTIAL		2,024	142	1,882
TOTAL		2,024	142	1,882

38TH FLOOR DEDUCTIONS				
ZONE C5-3 MID				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	ST	38.53	0'-8"	7'-2"
RESIDENTIAL	M	38.54	1'-1"	4'-1"
RESIDENTIAL	M	38.55	1'-6"	3'-2"
RESIDENTIAL	ST	38.56	0'-8"	1'-6"
RESIDENTIAL	ST	38.57	0'-8"	1'-6"
RESIDENTIAL	M	38.58	2'-9"	3'-4"
RESIDENTIAL	M	38.59	4'-2"	4'-7"
RESIDENTIAL	M	38.60	1'-7"	4'-2"
RESIDENTIAL	M	38.61	1'-8"	4'-2"
RESIDENTIAL	M	38.62	4'-10"	4'-10"
RESIDENTIAL	M	38.63	2'-8"	3'-6"
RESIDENTIAL	M	38.64	2'-0"	4'-9"
RESIDENTIAL	P	38.65	1'-1"	3'-6"
RESIDENTIAL	P	38.66	1'-1"	11'-0"
RESIDENTIAL	P	38.67	1'-5"	6'-2"
RESIDENTIAL	M	38.68	1'-4"	2'-0"
RESIDENTIAL	P	38.69	1'-0"	3'-6"
RESIDENTIAL	P	38.70	1'-1"	11'-1"
SUBTOTAL				

38TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZEA (SF)
RESIDENTIAL		9,084	616	8,468
TOTAL		9,084	616	8,468



38TH FLOOR (MFD:63RD FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS

364" = 1'-0"

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39TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZEA (SF)
RESIDENTIAL		7,061	457	6,604
TOTAL		7,061	457	6,604

39TH FLOOR DEDUCTIONS				
ZONE C5-1				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	M	39.1	2'-7"	3'-9"
RESIDENTIAL	M	39.2	2'-1"	3'-7"
RESIDENTIAL	M	39.3	4'-8"	5'-1"
RESIDENTIAL	M	39.4	2'-9"	3'-2"
RESIDENTIAL	ST	39.5	0'-8"	25'-5"
RESIDENTIAL	M	39.6	4'-7"	4'-8"
RESIDENTIAL	M	39.7	2'-11"	5'-1"
RESIDENTIAL	M	39.8	2'-7"	3'-2"
RESIDENTIAL	M	39.9	1'-8"	3'-7"
RESIDENTIAL	M	39.10	1'-6"	1'-6"
RESIDENTIAL	M	39.11	1'-10"	3'-2"
RESIDENTIAL	M	39.12	3'-8"	4'-5"
RESIDENTIAL	M	39.13	1'-3"	4'-1"
RESIDENTIAL	M	39.14	3'-5"	3'-8"
RESIDENTIAL	ST	39.15	0'-8"	7'-2"
RESIDENTIAL	ST	39.16	0'-8"	25'-5"
RESIDENTIAL	M	39.17	4'-5"	4'-11"
RESIDENTIAL	M	39.18	1'-1"	5'-2"
RESIDENTIAL	M	39.19	2'-0"	3'-0"
RESIDENTIAL	M	39.20	4'-0"	7'-6"
RESIDENTIAL	M	39.21	2'-10"	3'-0"
RESIDENTIAL	M	39.22	2'-2"	2'-8"
RESIDENTIAL	M	39.23	3'-5"	4'-4"
RESIDENTIAL	M	39.24	2'-9"	4'-10"
RESIDENTIAL	M	39.25	2'-10"	4'-9"
RESIDENTIAL	P	39.26	1'-5"	6'-2"
RESIDENTIAL	P	39.27	0'-11"	2'-11"
RESIDENTIAL	P	39.28	1'-10"	11'-5"
RESIDENTIAL	P	39.29	1'-2"	4'-0"
RESIDENTIAL	P	39.30	1'-0"	3'-4"
RESIDENTIAL	P	39.31	1'-1"	3'-8"
RESIDENTIAL	P	39.32	1'-7"	6'-5"
RESIDENTIAL	P	39.33	0'-9"	2'-4"
RESIDENTIAL	P	39.34	0'-5"	2'-8"
RESIDENTIAL	P	39.35	0'-11"	6'-1"
SUBTOTAL				

39TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	39.36	1'-1"	2'-9"	3.0
RESIDENTIAL	M	39.37	1'-1"	1'-4"	1.4
RESIDENTIAL	M	39.38	1'-11"	3'-1"	5.8
RESIDENTIAL	M	39.39	1'-9"	3'-2"	5.6
RESIDENTIAL	P	39.40	1'-1"	2'-6"	2.6
RESIDENTIAL	E	39.41	2'-7"	4'-7"	12.6
RESIDENTIAL	P	39.42	2'-9"	4'-7"	11.6
RESIDENTIAL	M	39.43	1'-2"	3'-6"	4.4
RESIDENTIAL	P	39.44	1'-11"	7'-8"	8.8
RESIDENTIAL	M	39.45	2'-9"	3'-1"	8.1
RESIDENTIAL	P	39.46	1'-10"	3'-5"	6.3
RESIDENTIAL	M	39.47	1'-10"	3'-5"	6.3
RESIDENTIAL	E	39.48	1'-5"	4'-3"	6.3
RESIDENTIAL	P	39.49	0'-9"	2'-10"	2.6
RESIDENTIAL	P	39.50	0'-9"	3'-1"	2.6
RESIDENTIAL	M	39.51	0'-3"	2'-8"	0.8
RESIDENTIAL	P	39.52	1'-5"	2'-7"	3.7
SUBTOTAL					456.6

40TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZEA (SF)
RESIDENTIAL		7,061	457	6,604
TOTAL		7,061	457	6,604

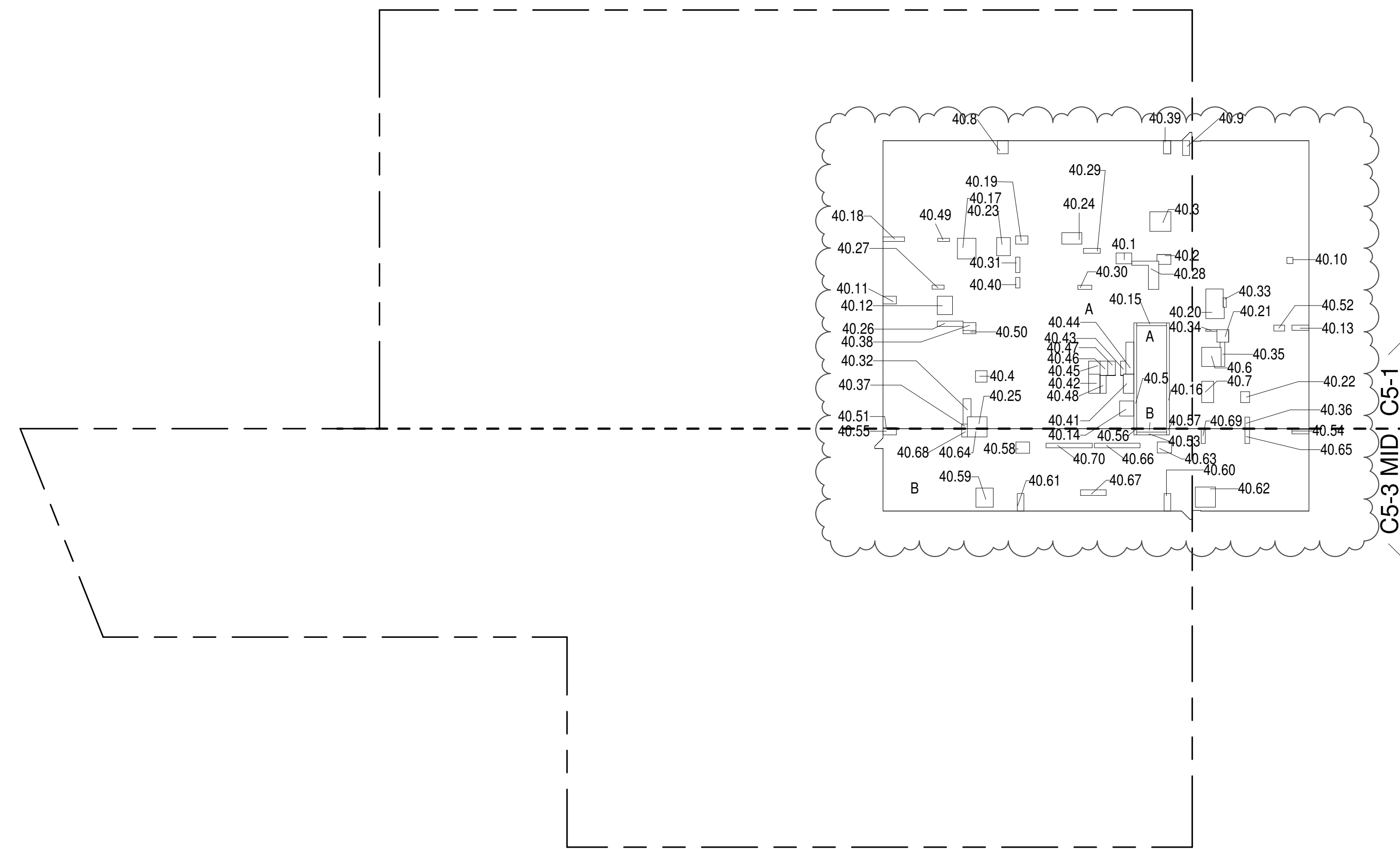
40TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	40.1	2'-7"	3'-9"	9.8
RESIDENTIAL	M	40.2	2'-11"	3'-7"	7.6
RESIDENTIAL	M	40.3	4'-8"	5'-1"	23.7
RESIDENTIAL	M	40.4	2'-9"	2'-9"	7.5
RESIDENTIAL	ST	40.5	0'-8"	25'-5"	16.9
RESIDENTIAL	M	40.6	4'-7"	4'-8"	21.4
RESIDENTIAL	M	40.7	2'-11"	5'-1"	14.8
RESIDENTIAL	M	40.8	2'-7"	3'-2"	8.1
RESIDENTIAL	M	40.9	1'-8"	3'-7"	6.0
RESIDENTIAL	M	40.10	1'-6"	1'-6"	2.2
RESIDENTIAL	M	40.11	1'-10"	3'-2"	5.8
RESIDENTIAL	M	40.12	3'-8"	4'-5"	16.1
RESIDENTIAL	M	40.13	1'-3"	4'-1"	5.1
RESIDENTIAL	M	40.14	3'-5"	3'-8"	12.5
RESIDENTIAL	ST	40.15	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	40.16	0'-8"	25'-5"	16.9
RESIDENTIAL	M	40.17	4'-5"	4'-11"	21.8
RESIDENTIAL	M	40.18	1'-1"	5'-2"	5.6
RESIDENTIAL	M	40.19	2'-0"	3'-0"	5.8
RESIDENTIAL	M	40.20	4'-0"	7'-6"	30.1
RESIDENTIAL	M	40.21	2'-10"	3'-0"	8.4
RESIDENTIAL	M	40.22	2'-2"	2'-8"	5.7
RESIDENTIAL	M	40.23	3'-3"	4'-4"	14.1
RESIDENTIAL	M	40.24	2'-9"	4'-10"	13.1
RESIDENTIAL	M	40.25	2'-10"	4'-9"	13.5
RESIDENTIAL	P	40.26	1'-3"	6'-2"	7.9
RESIDENTIAL	P	40.27	0'-11"	2'-11"	2.7
RESIDENTIAL	P	40.28	1'-10"	11'-5"	21.0
RESIDENTIAL	P	40.29	1'-2"	4'-0"	4.7
RESIDENTIAL	P	40.30	1'-0"	3'-4"	3.3
RESIDENTIAL	P	40.31	1'-1"	3'-8"	3.9
RESIDENTIAL	P	40.32	1'-7"	6'-5"	10.0
RESIDENTIAL	P	40.33	0'-9"	2'-4"	1.7
RESIDENTIAL	P	40.34	0'-5"	2'-8"	1.1
RESIDENTIAL	P	40.35	0'-11"	6'-1"	5.4
SUBTOTAL					

40TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	40.36	1'-1"	2'-9"	3.0
RESIDENTIAL	M	40.37	1'-1"	1'-4"	1.5
RESIDENTIAL	M	40.38	1'-11"	3'-1"	5.8
RESIDENTIAL	M	40.39	1'-8"	3'-2"	5.6
RESIDENTIAL	P	40.40	1'-1"	2'-6"	2.6
RESIDENTIAL	E	40.41	2'-7"	4'-7"	11.6
RESIDENTIAL	P	40.42	2'-9"	4'-7"	12.6
RESIDENTIAL	M	40.43	1'-2"	3'-6"	4.1
RESIDENTIAL	P	40.44	1'-11"	7'-8"	14.7
RESIDENTIAL	M	40.45	2'-9"	3'-1"	8.5
RESIDENTIAL	P	40.46	1'-10"	3'-5"	6.3
RESIDENTIAL	M	40.47	1'-10"	3'-5"	6.2
RESIDENTIAL	E	40.48	1'-5"	4'-3"	6.1
RESIDENTIAL	P	40.49	0'-9"	2'-10"	2.1
RESIDENTIAL	P	40.50	0'-9"	3'-1"	2.4
RESIDENTIAL	M	40.51	0'-3"	3'-2"	0.8
RESIDENTIAL	P	40.52	1'-5"	2'-7"	3.7
SUBTOTAL					456.6

40TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZEA (SF)
RESIDENTIAL		2,024	142	1,882
TOTAL		2,024	142	1,882

40TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	NO.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	40.53	0'-8"	7'-2"	4.8
RESIDENTIAL	M	40.54	1'-1"	4'-1"	4.4
RESIDENTIAL	M	40.55	1'-8"	3'-2"	4.8
RESIDENTIAL	ST	40.56	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	40.57	0'-8"	1'-6"	1.0
RESIDENTIAL	M	40.58	2'-9"	3'-4"	9.0
RESIDENTIAL	M	40.59	4'-2"	4'-7"	19.1
RESIDENTIAL	M	40.60	1'-7"	4'-2"	6.6
RESIDENTIAL	M	40.61	1'-8"	4'-2"	6.8
RESIDENTIAL	M	40.62	4'-10"	4'-10"	23.4
RESIDENTIAL	M	40.63	2'-8"	3'-6"	9.2
RESIDENTIAL	M	40.64	2'-0"	4'-9"	9.5
RESIDENTIAL	P	40.65	1'-1"	3'-6"	3.9
RESIDENTIAL	P	40.66	1'-1"	11'-0"	11.9
RESIDENTIAL	P	40.67	1'-5"	6'-2"	8.4
RESIDENTIAL	M	40.68	1'-4"	2'-0"	2.7
RESIDENTIAL	P	40.69	1'-0"	3'-6"	3.4
RESIDENTIAL	P	40.70	1'-1"	11'-1"	12.0
SUBTOTAL					141.9

40TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZEA (SF)
RESIDENTIAL		9,084	598	8,486
TOTAL		9,084	598	8,486



- ZONING AND DEDUCT LEGEND**
- DEDUCTIONS
 - M - MECHANICAL ROOM / RISER
 - E - ELECTRICAL SHAFT / RISER
 - P - PLUMBING RISER
 - BG - BELOW GRADE
 - O - OPENING TO BELOW
 - L - LOADING BAYS
 - ST - 44" RESI STAIR SHAFT (INCLUDING 6" PERIMETER)
 - G - GAP FROM ADJACENT BUILDING
 - DEVELOPMENT LOT LINE

* WHERE APPLICABLE, DOCUMENTED AND CALCULATED AREAS HAVE BEEN ROUNDED TO ITS NEXT SIGNIFICANT DIGIT.

** LENGTH AND WIDTH DIMENSIONS FOR COMPLEX SHAPES HAVE BEEN SIMPLIFIED TO ILLUSTRATE ONLY LARGEST OVERALL DIMENSION RESPECTIVELY. AREA DOCUMENTED IS THE EXACT AREA OF THE COMPLEX SHAPE

*** ELECTRICAL, DEDUCTIONS ARE ONLY FOR ELECTRICAL RISERS, AND CLOSETS. NO DEDUCTIONS TAKEN FOR TELEPHONE CLOSETS

40TH FLOOR (MFD:65TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS 364" = 1'-0" 1

41ST FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZEA (SF)
RESIDENTIAL		7,061	475	6,586
TOTAL		7,061	475	6,586

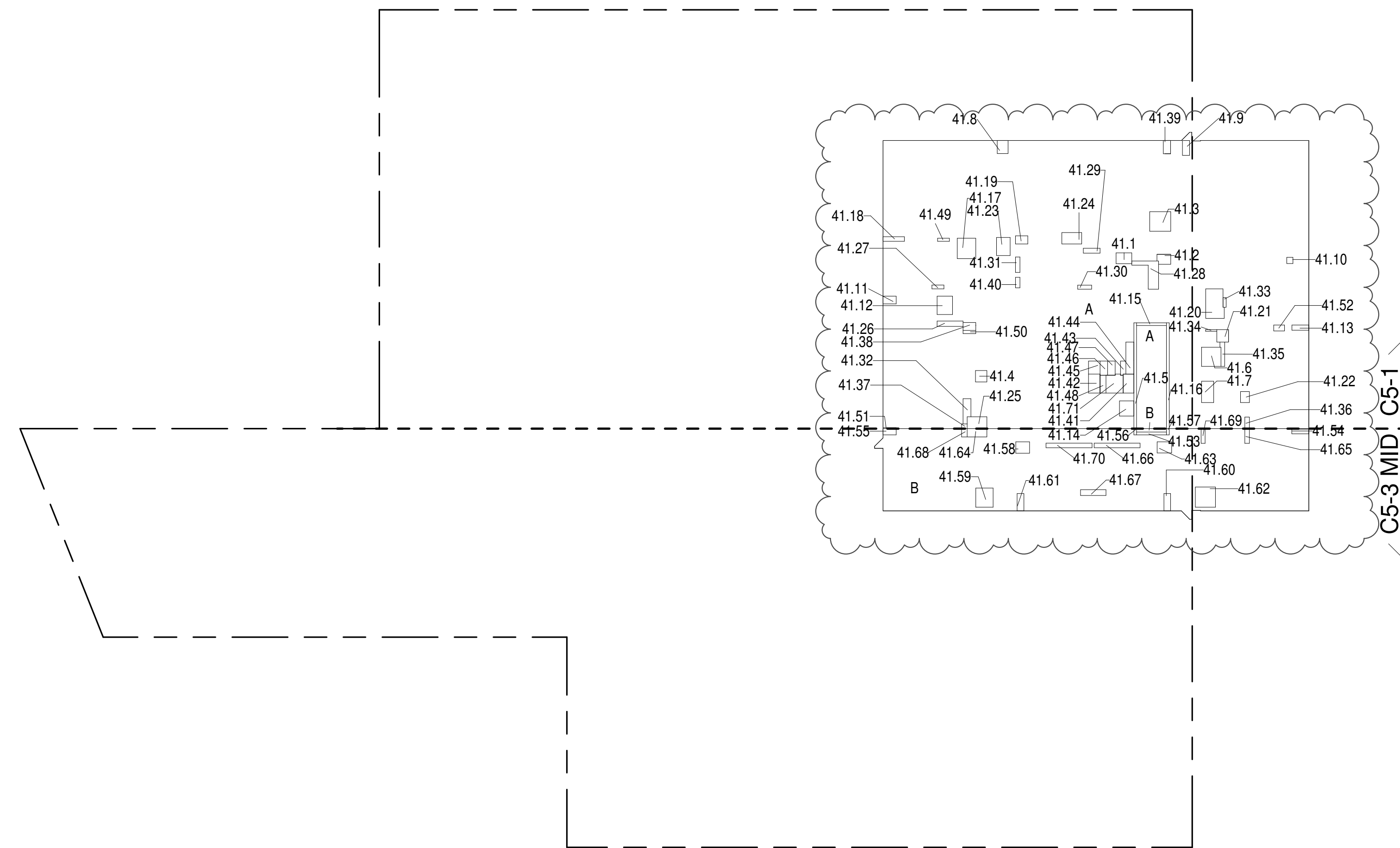
41ST FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	41.1	2'-7"	3'-9"	9.8
RESIDENTIAL	M	41.2	2'-11"	3'-7"	7.6
RESIDENTIAL	M	41.3	4'-8"	5'-1"	23.7
RESIDENTIAL	M	41.4	2'-9"	2'-9"	7.5
RESIDENTIAL	ST	41.5	0'-8"	25'-5"	16.9
RESIDENTIAL	M	41.6	4'-7"	4'-8"	21.4
RESIDENTIAL	M	41.7	2'-11"	5'-1"	14.8
RESIDENTIAL	M	41.8	2'-7"	3'-2"	8.1
RESIDENTIAL	M	41.9	1'-8"	3'-7"	6.0
RESIDENTIAL	M	41.10	1'-6"	1'-6"	2.2
RESIDENTIAL	M	41.11	1'-10"	3'-2"	5.8
RESIDENTIAL	M	41.12	3'-8"	4'-5"	16.1
RESIDENTIAL	M	41.13	1'-3"	4'-1"	5.1
RESIDENTIAL	M	41.14	3'-5"	3'-8"	12.5
RESIDENTIAL	ST	41.15	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	41.16	0'-8"	25'-5"	16.9
RESIDENTIAL	M	41.17	4'-5"	4'-11"	21.8
RESIDENTIAL	M	41.18	1'-1"	5'-2"	5.6
RESIDENTIAL	M	41.19	2'-0"	3'-0"	5.8
RESIDENTIAL	M	41.20	4'-0"	7'-6"	30.1
RESIDENTIAL	M	41.21	2'-10"	3'-0"	8.4
RESIDENTIAL	M	41.22	2'-2"	2'-8"	5.7
RESIDENTIAL	M	41.23	3'-3"	4'-4"	14.1
RESIDENTIAL	M	41.24	2'-9"	4'-10"	13.1
RESIDENTIAL	M	41.25	2'-10"	4'-9"	13.5
RESIDENTIAL	P	41.26	1'-3"	6'-2"	7.9
RESIDENTIAL	P	41.27	0'-11"	2'-11"	2.7
RESIDENTIAL	P	41.28	1'-10"	11'-5"	21.0
RESIDENTIAL	P	41.29	1'-2"	4'-0"	4.7
RESIDENTIAL	P	41.30	1'-0"	3'-4"	3.3
RESIDENTIAL	P	41.31	1'-1"	3'-8"	3.9
RESIDENTIAL	P	41.32	1'-7"	6'-5"	10.0
RESIDENTIAL	P	41.33	0'-9"	2'-4"	1.7
RESIDENTIAL	P	41.34	0'-5"	2'-8"	1.1
RESIDENTIAL	P	41.35	0'-11"	6'-1"	5.4
SUBTOTAL					474.6

41ST FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	41.36	1'-1"	2'-9"	3.0
RESIDENTIAL	M	41.37	1'-1"	1'-4"	1.5
RESIDENTIAL	M	41.38	1'-11"	3'-1"	5.8
RESIDENTIAL	M	41.39	1'-8"	3'-2"	5.6
RESIDENTIAL	P	41.40	1'-1"	2'-6"	2.6
RESIDENTIAL	E	41.41	2'-7"	4'-7"	11.6
RESIDENTIAL	P	41.42	2'-9"	4'-7"	12.6
RESIDENTIAL	M	41.43	1'-2"	3'-6"	4.1
RESIDENTIAL	P	41.44	1'-11"	7'-8"	14.7
RESIDENTIAL	M	41.45	2'-9"	3'-1"	8.5
RESIDENTIAL	P	41.46	1'-10"	3'-5"	6.3
RESIDENTIAL	M	41.47	1'-10"	3'-5"	6.2
RESIDENTIAL	E	41.48	1'-5"	4'-3"	6.1
RESIDENTIAL	P	41.49	0'-9"	2'-10"	2.1
RESIDENTIAL	P	41.50	0'-9"	3'-1"	2.4
RESIDENTIAL	M	41.51	0'-3"	3'-2"	0.8
RESIDENTIAL	P	41.52	1'-5"	2'-7"	3.7
RESIDENTIAL	E	41.71	3'-5"	5'-4"	18.0
SUBTOTAL					141.9

41ST FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZEA (SF)
RESIDENTIAL		2,024	142	1,882
TOTAL		2,024	142	1,882

41ST FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	NO.	LENGTH	WIDTH	AREA(SF)
RESIDENTIAL	ST	41.53	0'-8"	7'-2"	4.8
RESIDENTIAL	M	41.54	1'-1"	4'-1"	4.4
RESIDENTIAL	M	41.55	1'-8"	3'-2"	4.8
RESIDENTIAL	ST	41.56	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	41.57	0'-8"	1'-6"	1.0
RESIDENTIAL	M	41.58	2'-9"	3'-4"	9.0
RESIDENTIAL	M	41.59	4'-2"	4'-7"	19.1
RESIDENTIAL	M	41.60	1'-7"	4'-2"	6.6
RESIDENTIAL	M	41.61	1'-8"	4'-2"	6.8
RESIDENTIAL	M	41.62	4'-10"	4'-10"	23.4
RESIDENTIAL	M	41.63	2'-8"	3'-6"	9.2
RESIDENTIAL	M	41.64	2'-0"	4'-9"	9.5
RESIDENTIAL	P	41.65	1'-1"	3'-6"	3.9
RESIDENTIAL	P	41.66	1'-1"	11'-0"	11.9
RESIDENTIAL	P	41.67	1'-5"	6'-2"	8.4
RESIDENTIAL	M	41.68	1'-4"	2'-0"	2.7
RESIDENTIAL	P	41.69	1'-0"	3'-6"	3.4
RESIDENTIAL	P	41.70	1'-1"	11'-1"	12.0
SUBTOTAL					141.9

41ST FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZEA (SF)
RESIDENTIAL		9,084	616	8,468
TOTAL		9,084	616	8,468



- ZONING AND DEDUCT LEGEND**
- DEDUCTIONS
 - M - MECHANICAL ROOM / RISER
 - E - ELECTRICAL SHAFT / RISER
 - P - PLUMBING RISER
 - BG - BELOW GRADE
 - O - OPENING TO BELOW
 - L - LOADING BAYS
 - ST - 44" RESI STAIR SHAFT (INCLUDING 6" PERIMETER)
 - G - GAP FROM ADJACENT BUILDING
 - DEVELOPMENT LOT LINE

* WHERE APPLICABLE, DOCUMENTED AND CALCULATED AREAS HAVE BEEN ROUNDED TO ITS NEXT SIGNIFICANT DIGIT.

** LENGTH AND WIDTH DIMENSIONS FOR COMPLEX SHAPES HAVE BEEN SIMPLIFIED TO ILLUSTRATE ONLY LARGEST OVERALL DIMENSION RESPECTIVELY. AREA DOCUMENTED IS THE EXACT AREA OF THE COMPLEX SHAPE

*** ELECTRICAL, DEDUCTIONS ARE ONLY FOR ELECTRICAL RISERS, AND CLOSETS. NO DEDUCTIONS TAKEN FOR TELEPHONE CLOSETS

41ST FLOOR (MFD:66TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS 364" = 1'-0" 2

42ND FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZEA (SF)
RESIDENTIAL		7,061	457	6,604
TOTAL		7,061	457	6,604

42ND FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	42.1	2'-7"	3'-9"	9.8
RESIDENTIAL	M	42.2	2'-1"	3'-7"	7.6
RESIDENTIAL	M	42.3	4'-8"	5'-1"	23.7
RESIDENTIAL	M	42.4	2'-9"	2'-9"	6.8
RESIDENTIAL	ST	42.5	8'-8"	29'-5"	163.9
RESIDENTIAL	M	42.6	4'-7"	4'-8"	21.4
RESIDENTIAL	M	42.7	2'-11"	5'-1"	5.9
RESIDENTIAL	M	42.8	2'-7"	3'-2"	2.2
RESIDENTIAL	M	42.9	1'-8"	3'-7"	6.0
RESIDENTIAL	M	43.0	1'-10"	6'-6"	2.2
RESIDENTIAL	M	43.1	1'-10"	3'-2"	5.6
RESIDENTIAL	M	43.2	3'-8"	4'-5"	16.7
RESIDENTIAL	M	43.3	1'-3"	4'-1"	5.1
RESIDENTIAL	M	43.4	3'-5"	3'-8"	12.9
RESIDENTIAL	ST	43.5	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	43.6	0'-8"	25'-5"	16.9
RESIDENTIAL	M	43.7	4'-5"	4'-11"	21.8
RESIDENTIAL	M	43.8	1'-1"	5'-2"	5.6
RESIDENTIAL	M	43.9	2'-0"	3'-0"	5.8
RESIDENTIAL	M	42.0	4'-0"	7'-6"	30.1
RESIDENTIAL	P	42.1	2'-10"	3'-0"	6.3
RESIDENTIAL	P	42.2	2'-10"	2'-8"	5.8
RESIDENTIAL	M	42.3	2'-5"	2'-4"	14.1
RESIDENTIAL	M	42.4	2'-9"	4'-10"	13.1
RESIDENTIAL	M	42.5	2'-9"	4'-9"	13.0
RESIDENTIAL	P	42.6	1'-3"	6'-2"	7.5
RESIDENTIAL	P	42.7	0'-11"	2'-11"	2.1
RESIDENTIAL	P	42.8	1'-10"	11'-5"	21.0
RESIDENTIAL	P	42.9	1'-2"	4'-0"	4.7
RESIDENTIAL	P	43.0	1'-0"	3'-4"	3.3
RESIDENTIAL	P	43.1	1'-1"	3'-6"	3.5
RESIDENTIAL	P	43.2	1'-7"	16'-5"	10.7
RESIDENTIAL	P	43.3	0'-9"	9'-4"	1.1
RESIDENTIAL	P	43.4	0'-5"	2'-8"	0.8
RESIDENTIAL	P	43.5	0'-11"	6'-1"	5.4
SUBTOTAL					

43RD FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZEA (SF)
RESIDENTIAL		7,061	457	6,604
TOTAL		7,061	457	6,604

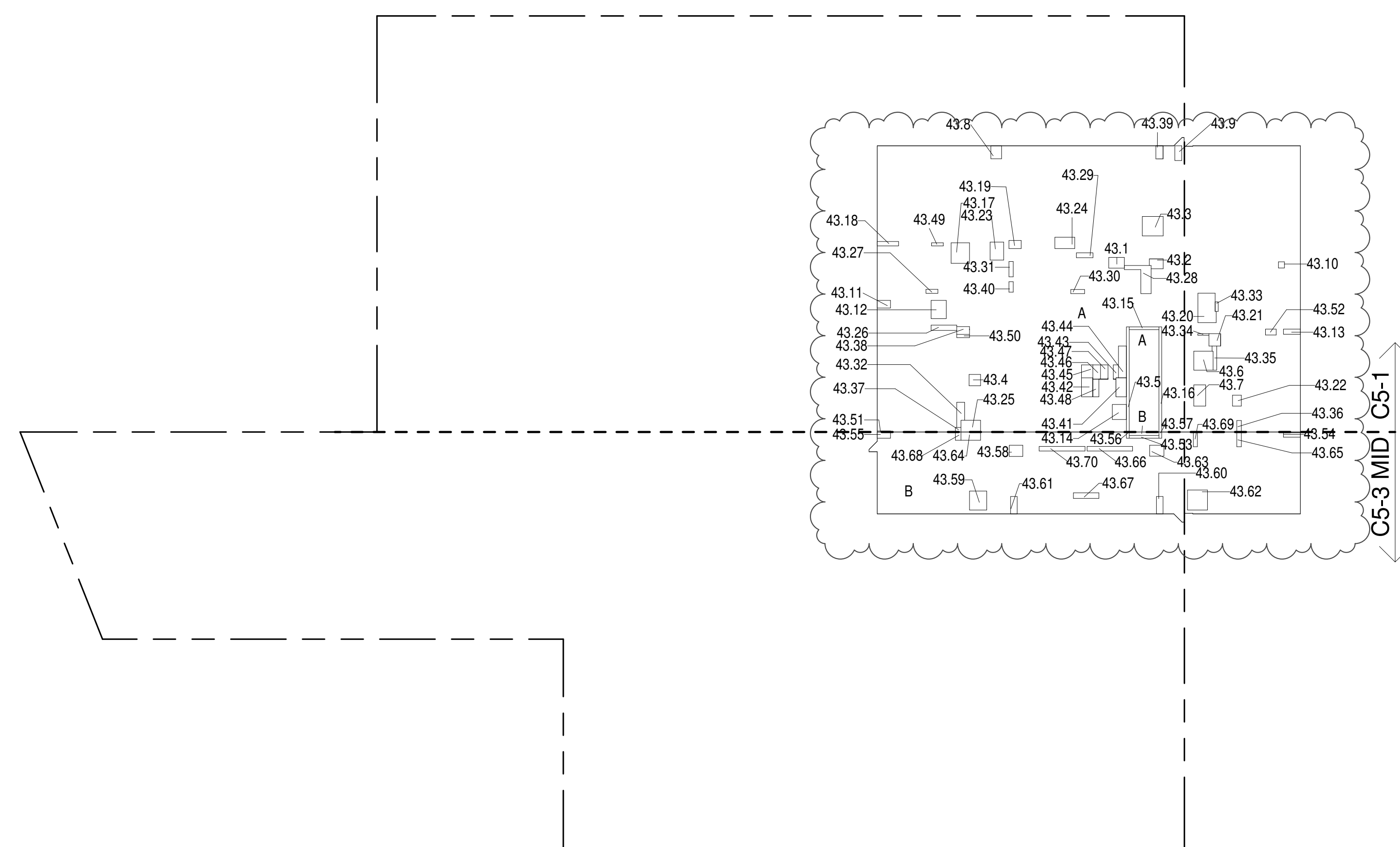
43RD FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	43.1	2'-7"	3'-9"	9.8
RESIDENTIAL	M	43.2	2'-1"	3'-7"	7.6
RESIDENTIAL	M	43.3	4'-8"	5'-1"	23.7
RESIDENTIAL	M	43.4	2'-9"	3'-2"	8.1
RESIDENTIAL	ST	43.5	0'-8"	25'-5"	16.9
RESIDENTIAL	M	43.6	4'-7"	4'-8"	21.4
RESIDENTIAL	M	43.7	2'-11"	5'-1"	14.8
RESIDENTIAL	M	43.8	2'-7"	3'-2"	8.1
RESIDENTIAL	M	43.9	1'-8"	3'-7"	6.0
RESIDENTIAL	M	43.10	1'-6"	1'-6"	2.2
RESIDENTIAL	M	43.11	1'-10"	3'-2"	5.8
RESIDENTIAL	M	43.12	3'-8"	4'-5"	16.1
RESIDENTIAL	M	43.13	1'-3"	4'-1"	5.1
RESIDENTIAL	M	43.14	3'-5"	3'-8"	12.5
RESIDENTIAL	ST	43.15	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	43.16	0'-8"	25'-5"	16.9
RESIDENTIAL	M	43.17	4'-5"	4'-11"	21.8
RESIDENTIAL	M	43.18	1'-1"	5'-2"	5.6
RESIDENTIAL	M	43.19	2'-0"	3'-0"	5.8
RESIDENTIAL	M	43.20	4'-0"	7'-6"	30.1
RESIDENTIAL	M	43.21	2'-10"	3'-0"	8.4
RESIDENTIAL	M	43.22	2'-2"	2'-8"	5.7
RESIDENTIAL	M	43.23	3'-3"	4'-4"	14.1
RESIDENTIAL	M	43.24	2'-9"	4'-10"	13.1
RESIDENTIAL	M	43.25	2'-10"	4'-9"	13.5
RESIDENTIAL	P	43.26	1'-3"	6'-2"	7.9
RESIDENTIAL	P	43.27	0'-11"	2'-11"	2.7
RESIDENTIAL	P	43.28	1'-10"	11'-5"	21.0
RESIDENTIAL	P	43.29	1'-2"	4'-0"	4.7
RESIDENTIAL	P	43.30	1'-0"	3'-1"	3.3
RESIDENTIAL	P	43.31	1'-1"	3'-8"	3.9
RESIDENTIAL	P	43.32	1'-7"	6'-5"	10.0
RESIDENTIAL	P	43.33	0'-9"	2'-4"	1.7
RESIDENTIAL	P	43.34	0'-5"	2'-8"	1.1
RESIDENTIAL	P	43.35	0'-11"	6'-1"	5.4
SUBTOTAL					

43RD FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA(SF)
RESIDENTIAL	P	43.36	1'-1"	2'-9"	3.0
RESIDENTIAL	M	43.37	1'-1"	1'-4"	1.5
RESIDENTIAL	M	43.38	1'-11"	3'-1"	5.8
RESIDENTIAL	M	43.39	1'-9"	3'-2"	5.6
RESIDENTIAL	P	43.40	1'-1"	2'-6"	2.6
RESIDENTIAL	E	43.41	2'-7"	4'-7"	11.6
RESIDENTIAL	P	43.42	2'-9"	4'-7"	12.6
RESIDENTIAL	M	43.43	1'-2"	3'-6"	4.1
RESIDENTIAL	P	43.44	1'-11"	7'-8"	14.7
RESIDENTIAL	M	43.45	2'-9"	3'-1"	8.5
RESIDENTIAL	P	43.46	1'-10"	3'-5"	6.3
RESIDENTIAL	M	43.47	1'-10"	3'-5"	6.2
RESIDENTIAL	E	43.48	1'-5"	4'-3"	6.1
RESIDENTIAL	P	43.49	0'-9"	2'-10"	2.1
RESIDENTIAL	P	43.50	0'-9"	3'-1"	2.4
RESIDENTIAL	M	43.51	0'-3"	3'-2"	0.8
RESIDENTIAL	P	43.52	1'-5"	2'-7"	3.7
SUBTOTAL					456.6

43RD FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZEA (SF)
RESIDENTIAL		2,024	142	1,882
TOTAL		2,024	142	1,882

43RD FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	NO.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	43.53	0'-8"	7'-2"	4.8
RESIDENTIAL	M	43.54	1'-1"	4'-1"	4.4
RESIDENTIAL	M	43.55	1'-6"	3'-2"	4.8
RESIDENTIAL	ST	43.56	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	43.57	0'-8"	1'-6"	1.0
RESIDENTIAL	M	43.58	2'-9"	3'-4"	9.0
RESIDENTIAL	M	43.59	4'-2"	4'-7"	19.1
RESIDENTIAL	M	43.60	1'-7"	4'-2"	6.6
RESIDENTIAL	M	43.61	1'-8"	4'-2"	6.8
RESIDENTIAL	M	43.62	4'-10"	4'-10"	23.4
RESIDENTIAL	M	43.63	2'-8"	3'-6"	9.2
RESIDENTIAL	M	43.64	2'-0"	4'-9"	9.5
RESIDENTIAL	P	43.65	1'-1"	3'-6"	3.9
RESIDENTIAL	P	43.66	1'-1"	11'-0"	11.9
RESIDENTIAL	P	43.67	1'-5"	6'-2"	8.4
RESIDENTIAL	M	43.68	1'-4"	2'-0"	2.7
RESIDENTIAL	P	43.69	1'-0"	3'-6"	3.4
RESIDENTIAL	P	43.70	1'-1"	11'-1"	12.1
SUBTOTAL					141.9

43RD FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZEA (SF)
RESIDENTIAL		9,084	598	8,486
TOTAL		9,084	598	8,486

43RD FLOOR (MFD:68TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS
364' x 1'-0"

ZONING AND DEDUCT LEGEND	
<input type="checkbox"/>	DEDUCTIONS
M	MECHANICAL ROOM / RISER
E	ELECTRICAL SHAFT / RISER
P	PLUMBING RISER
BG	BELOW GRADE
O	OPENING TO BELOW
L	LOADING BAYS
ST	44" RESI STAIR SHAFT (INCLUDING 6" PERIMETER)
G	GAP FROM ADJACENT BUILDING
---	DEVELOPMENT LOT LINE

* WHERE APPLICABLE, DOCUMENTED AND CALCULATED AREAS HAVE BEEN ROUNDED TO ITS NEXT SIGNIFICANT DIGIT.

** LENGTH AND WIDTH DIMENSIONS FOR COMPLEX SHAPES HAVE BEEN SIMPLIFIED TO ILLUSTRATE ONLY LARGEST OVERALL DIMENSION RESPECTIVELY. AREAS DOCUMENTED IS THE EXACT AREA OF THE COMPLEX SHAPE

*** ELECTRICAL DEDUCTIONS ARE ONLY FOR ELECTRICAL RISERS, AND CLOSETS. NO DEDUCTIONS TAKEN FOR TELEPHONE CLOSETS

KEY PLAN:	
PROJECT 001 - 217 WEST 57TH STREET	
PROJECT NORTH	
DEVELOPER:	
EXTELL DEVELOPMENT COMPANY	
805 THIRD AVENUE, 7TH FLOOR	
NEW YORK, NY 10022 USA	
TEL: 212 712 6000 FAX: 212 712 6100	
DESIGN ARCHITECT:	
Base Building Shell & Core	
ADRIAN SMITH + GORDON GILL ARCHITECTURE	
111 WEST MONROE STREET SUITE 2300	
CHICAGO IL 60603	
TEL: 312 920 1888 FAX: 312 920 1775	
ARCHITECT OF RECORD:	
Base Building Shell & Core	
AAI ARCHITECTS, P.C.	
401 Wellington St. W., 3rd Floor	
Toronto, ON M5V 1E7 Canada	
TEL: 416 967 1500 FAX: 416 967 7150	
STRUCTURAL ENGINEERS:	
WSP CANTOR SENIUK	
228 EAST 46th Street	
New York, NY 10017 USA	
TEL: 212 687 9888 FAX: 646 487 5501	
MEP ENGINEERS:	
AKF GROUP	
1501 Broadway	
New York, NY 10036 USA	
TEL: 212 354 5656 FAX: 212 354 5668	
GEOTECHNICAL ENGINEERS:	
Langan Engineering & Environmental Services	
21 Fern Plaza, 380 West 31st Street, 8th Floor	
New York, NY 10001-2727	
TEL: 212 479 5400 FAX: 212 479 5444	
CODE CONSULTANTS:	
Construction Consulting Associates	
100 Church Street	
New York, NY 10007	
TEL: 212 385 1818 FAX: 212 385 1911	
CURTAINWALL CONSULTANT:	
A.J.P. Consulting	
40 Worth Street, Suite 808	
New York, NY 10013	
TEL: 212 757 5659 FAX: 646 219 8508	
LANDMARK/PRESERVATION CONSULTANT:	
Higgins Quasebath & Partners LLC	
11 Hanover Square, 16th Floor	
New York, NY 10005	
TEL: 212 274 9498 FAX: 646 274 9380	
LANDMARK/PRESERVATION CONSULTANT:	
Jan Hird Pokorny Associates, Inc.	
59 West 37th Street, 12th	
New York, NY 10018	
TEL: 212 759 6462 FAX: 212 759 6540	
No. DESCRIPTION: DATE:	
1 D.O.B. SUBMISSION	05 DEC 14
2 D.O.B. SUBMISSION	18 FEB 15
D.O.B. SUBMISSION	27 APR 14
D.O.B. AMENDMENT 2	21 SEP 15
D.O.B. AMENDMENT 3	03 OCT 16

44TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZEA (SF)
RESIDENTIAL		7,061	475	6,586
TOTAL		7,061	475	6,586

44TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	44.1	2'-7"	3'-9"	9.8
RESIDENTIAL	M	44.2	2'-1"	3'-7"	7.6
RESIDENTIAL	M	44.3	4'-8"	5'-1"	23.7
RESIDENTIAL	M	44.4	2'-9"	3'-2"	8.1
RESIDENTIAL	ST	44.5	0'-8"	25'-5"	16.9
RESIDENTIAL	M	44.6	4'-7"	4'-8"	21.4
RESIDENTIAL	M	44.7	2'-11"	5'-1"	14.8
RESIDENTIAL	M	44.8	2'-7"	3'-2"	8.1
RESIDENTIAL	M	44.9	1'-8"	3'-7"	6.0
RESIDENTIAL	M	44.10	1'-6"	1'-6"	2.2
RESIDENTIAL	M	44.11	1'-10"	3'-2"	5.8
RESIDENTIAL	M	44.12	3'-8"	4'-5"	16.1
RESIDENTIAL	M	44.13	1'-3"	4'-1"	5.1
RESIDENTIAL	M	44.14	3'-5"	3'-8"	12.5
RESIDENTIAL	ST	44.15	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	44.16	0'-8"	25'-5"	16.9
RESIDENTIAL	M	44.17	4'-5"	4'-11"	21.8
RESIDENTIAL	M	44.18	1'-1"	5'-2"	5.6
RESIDENTIAL	M	44.19	2'-0"	3'-0"	5.8
RESIDENTIAL	M	44.20	4'-0"	7'-6"	30.1
RESIDENTIAL	M	44.21	2'-10"	3'-0"	8.4
RESIDENTIAL	M	44.22	2'-2"	2'-8"	5.7
RESIDENTIAL	M	44.23	3'-3"	4'-4"	14.1
RESIDENTIAL	M	44.24	2'-9"	4'-10"	13.1
RESIDENTIAL	M	44.25	2'-10"	4'-9"	13.5
RESIDENTIAL	P	44.26	1'-3"	6'-2"	7.9
RESIDENTIAL	P	44.27	0'-11"	2'-11"	2.7
RESIDENTIAL	P	44.28	1'-10"	11'-5"	21.0
RESIDENTIAL	P	44.29	1'-2"	4'-0"	4.7
RESIDENTIAL	P	44.30	1'-0"	3'-1"	3.3
RESIDENTIAL	P	44.31	1'-1"	3'-8"	3.9
RESIDENTIAL	P	44.32	1'-7"	6'-5"	10.0
RESIDENTIAL	P	44.33	0'-9"	2'-4"	1.7
RESIDENTIAL	P	44.34	0'-5"	2'-8"	1.1
RESIDENTIAL	P	44.35	0'-11"	6'-1"	5.4
SUBTOTAL					

44TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	44.36	1'-1"	2'-9"	3.0
RESIDENTIAL	M	44.37	1'-1"	1'-4"	1.5
RESIDENTIAL	M	44.38	1'-11"	3'-1"	5.8
RESIDENTIAL	M	44.39	1'-9"	3'-2"	5.6
RESIDENTIAL	P	44.40	1'-1"	2'-6"	2.6
RESIDENTIAL	E	44.41	2'-7"	4'-7"	11.6
RESIDENTIAL	P	44.42	2'-9"	4'-7"	12.6
RESIDENTIAL	M	44.43	1'-2"	3'-6"	4.1
RESIDENTIAL	P	44.44	1'-11"	7'-8"	14.7
RESIDENTIAL	M	44.45	2'-9"	3'-1"	8.5
RESIDENTIAL	P	44.46	1'-10"	3'-5"	6.3
RESIDENTIAL	M	44.47	1'-10"	3'-5"	6.2
RESIDENTIAL	E	44.48	1'-5"	4'-3"	6.1
RESIDENTIAL	P	44.49	0'-9"	2'-10"	2.1
RESIDENTIAL	P	44.50	0'-9"	3'-1"	2.4
RESIDENTIAL	M	44.51	0'-3"	3'-2"	0.8
RESIDENTIAL	P	44.52	1'-5"	2'-7"	3.7
RESIDENTIAL	E	44.71	3'-5"	5'-4"	18.0
SUBTOTAL					474.6

44TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZEA (SF)
RESIDENTIAL		2,024	142	1,882
TOTAL		2,024	142	1,882

44TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	NO.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	44.53	0'-8"	7'-2"	4.8
RESIDENTIAL	M	44.54	1'-1"	4'-1"	4.4
RESIDENTIAL	M	44.55	1'-6"	3'-2"	4.8
RESIDENTIAL	ST	44.56	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	44.57	0'-8"	1'-6"	1.0
RESIDENTIAL	M	44.58	2'-9"	3'-4"	9.0
RESIDENTIAL	M	44.59	4'-2"	4'-7"	19.1
RESIDENTIAL	M	44.60	1'-7"	4'-2"	6.6
RESIDENTIAL	M	44.61	1'-8"	4'-2"	6.8
RESIDENTIAL	M	44.62	4'-10"	4'-10"	23.4
RESIDENTIAL	M	44.63	2'-8"	3'-6"	9.2
RESIDENTIAL	M	44.64	2'-0"	4'-9"	9.5
RESIDENTIAL	R	44.65	1'-1"	3'-6"	3.9
RESIDENTIAL	R	44.66	1'-1"	3'-6"	3.9
RESIDENTIAL	R	44.67	1'-5"	6'-2"	8.4
RESIDENTIAL	M	44.68	1'-4"	2'-0"	2.7
RESIDENTIAL	R	44.69	4'-0"	3'-6"	3.4
RESIDENTIAL	P	44.70	1'-1"	11'-1"	14.1
SUBTOTAL					120.9

46TH FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	A	6,929	6,929	0	
TOTAL		6,929	6,929	0	

46TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	A	65'-6"	105'-9"	6,929.3
SUBTOTAL					6,929.3

46TH FLOOR AREA CALCULATIONS					
ZONE C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	B	1,960	1,960	0	
TOTAL		1,960	1,960	0	

46TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	B	18'-9"	104'-8"	1,959.9
SUBTOTAL					1,959.9

46TH FLOOR AREA CALCULATIONS					
ZONE C5-1 AND C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		8,889	8,889	0	
TOTAL		8,889	8,889	0	

ZONING AND DEDUCT LEGEND

DEDUCTIONS

M - MECHANICAL ROOM / RISER

E - ELECTRICAL SHAFT / RISER

P - PLUMBING RISER

BG - BELOW GRADE

O - OPENING TO BELOW

L - LOADING BAYS

ST - 44" RESI STAIR SHAFT (INCLUDING 8" PERIMETER)

G - GAP FROM ADJACENT BUILDING

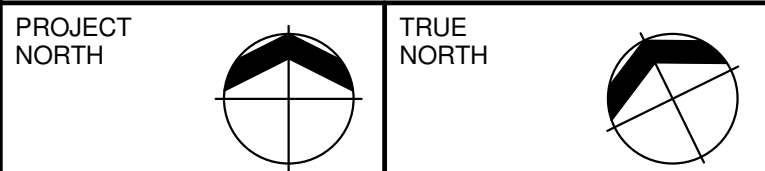
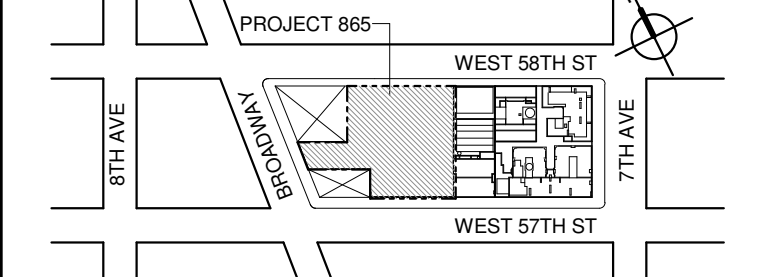
--- DEVELOPMENT LOT LINE

* WHERE APPLICABLE, DOCUMENTED AND CALCULATED AREAS HAVE BEEN ROUNDED TO ITS NEXT SIGNIFICANT DIGIT.

** LENGTH AND WIDTH DIMENSIONS FOR COMPLEX SHAPES HAVE BEEN SIMPLIFIED TO ILLUSTRATE ONLY LARGEST OVERALL DIMENSION RESPECTIVELY. AREA DOCUMENTED IS THE EXACT AREA OF THE COMPLEX SHAPE

*** ELECTRICAL DEDUCTIONS ARE ONLY FOR ELECTRICAL RISERS, AND CLOSETS. NO DEDUCTIONS TAKEN FOR TELEPHONE CLOSETS

KEY PLAN:



DEVELOPER:

EXTELL DEVELOPMENT COMPANY

805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT:

Base Building Shell & Core

ADRIAN SMITH + GORDON GILL ARCHITECTURE

111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

ARCHITECT OF RECORD:

Base Building Shell & Core

AAI ARCHITECTS, P.C.

4011 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

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228 EAST 46th Street
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CURTAINWALL CONSULTANT:

AJLP Consulting

40 Worth Street, Suite 808
New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:

Higgins Quasebarth & Partners LLC

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TEL: 212 274 9468 FAX: 646 274 9380

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59 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No. DESCRIPTION: DATE:

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2 D.O.B. SUBMISSION 18 FEB 15

D.O.B. SUBMISSION 27 APR 14

D.O.B. AMENDMENT 2 21 SEP 15

D.O.B. AMENDMENT 3 03 OCT 16

47TH FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		6,784	422	6,342	
TOTAL		6,784	422	6,342	

47TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	47.1	0'-8"	26'-1"	17.4
RESIDENTIAL	M	47.2	3'-5"	3'-8"	12.5
RESIDENTIAL	M	47.3	2'-2"	3'-2"	6.9
RESIDENTIAL	M	47.4	2'-10"	5'-9"	16.1
RESIDENTIAL	M	47.5	2'-3"	2'-10"	6.4
RESIDENTIAL	M	47.6	2'-3"	2'-10"	6.3
RESIDENTIAL	M	47.7	2'-6"	3'-1"	7.6
RESIDENTIAL	M	47.8	2'-2"	4'-6"	9.8
RESIDENTIAL	ST	47.9	0'-8"	26'-1"	17.4
RESIDENTIAL	M	47.10	5'-1"	7'-2"	36.2
RESIDENTIAL	M	47.11	3'-7"	3'-11"	13.8
RESIDENTIAL	M	47.12	1'-7"	2'-9"	4.4
RESIDENTIAL	P	47.13	0'-7"	4'-9"	2.6
RESIDENTIAL	P	47.14	1'-6"	6'-1"	9.2
RESIDENTIAL	P	47.15	2'-6"	5'-5"	13.6
RESIDENTIAL	P	47.16	1'-2"	1'-2"	1.3
RESIDENTIAL	P	47.17	0'-8"	5'-1"	3.5
RESIDENTIAL	P	47.18	1'-1"	6'-5"	7.1
RESIDENTIAL	P	47.19	1'-0"	6'-10"	7.0
RESIDENTIAL	P	47.20	1'-1"	2'-4"	2.6
SUBTOTAL					422.2

47TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	47.21	0'-9"	4'-10"	2.2
RESIDENTIAL	M	47.22	1'-5"	4'-6"	6.3
RESIDENTIAL	M	47.23	2'-8"	2'-11"	7.5
RESIDENTIAL	M	47.24	2'-8"	5'-4"	14.0
RESIDENTIAL	M	47.25	2'-11"	3'-5"	10.5
RESIDENTIAL	P	47.26	0'-8"	3'-7"	2.5
RESIDENTIAL	M	47.27	3'-4"	4'-4"	14.3
RESIDENTIAL	M	47.28	1'-2"	1'-5"	1.7
RESIDENTIAL	M	47.29	4'-2"	4'-10"	20.0
RESIDENTIAL	M	47.30	4'-7"	4'-7"	20.8
RESIDENTIAL	M	47.31	4'-1"	4'-10"	19.6
RESIDENTIAL	M	47.32	4'-8"	5'-3"	24.4
RESIDENTIAL	ST	47.33	0'-8"	7'-2"	4.8
RESIDENTIAL	E	47.34	2'-7"	4'-7"	11.6
RESIDENTIAL	P	47.35	2'-9"	4'-7"	12.6
RESIDENTIAL	M	47.36	1'-2"	3'-6"	4.1
RESIDENTIAL	P	47.37	1'-11"	7'-8"	14.7
RESIDENTIAL	M	47.38	2'-9"	3'-1"	8.5
RESIDENTIAL	P	47.39	1'-10"	3'-5"	6.3
RESIDENTIAL	M	47.40	1'-10"	3'-5"	6.2
RESIDENTIAL	E	47.41	1'-5"	4'-3"	6.1
RESIDENTIAL	P	47.42	1'-2"	1'-6"	1.7
SUBTOTAL					422.2

47TH FLOOR AREA CALCULATIONS					
ZONE C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		2,024	103	1,921	
TOTAL		2,024	103	1,921	

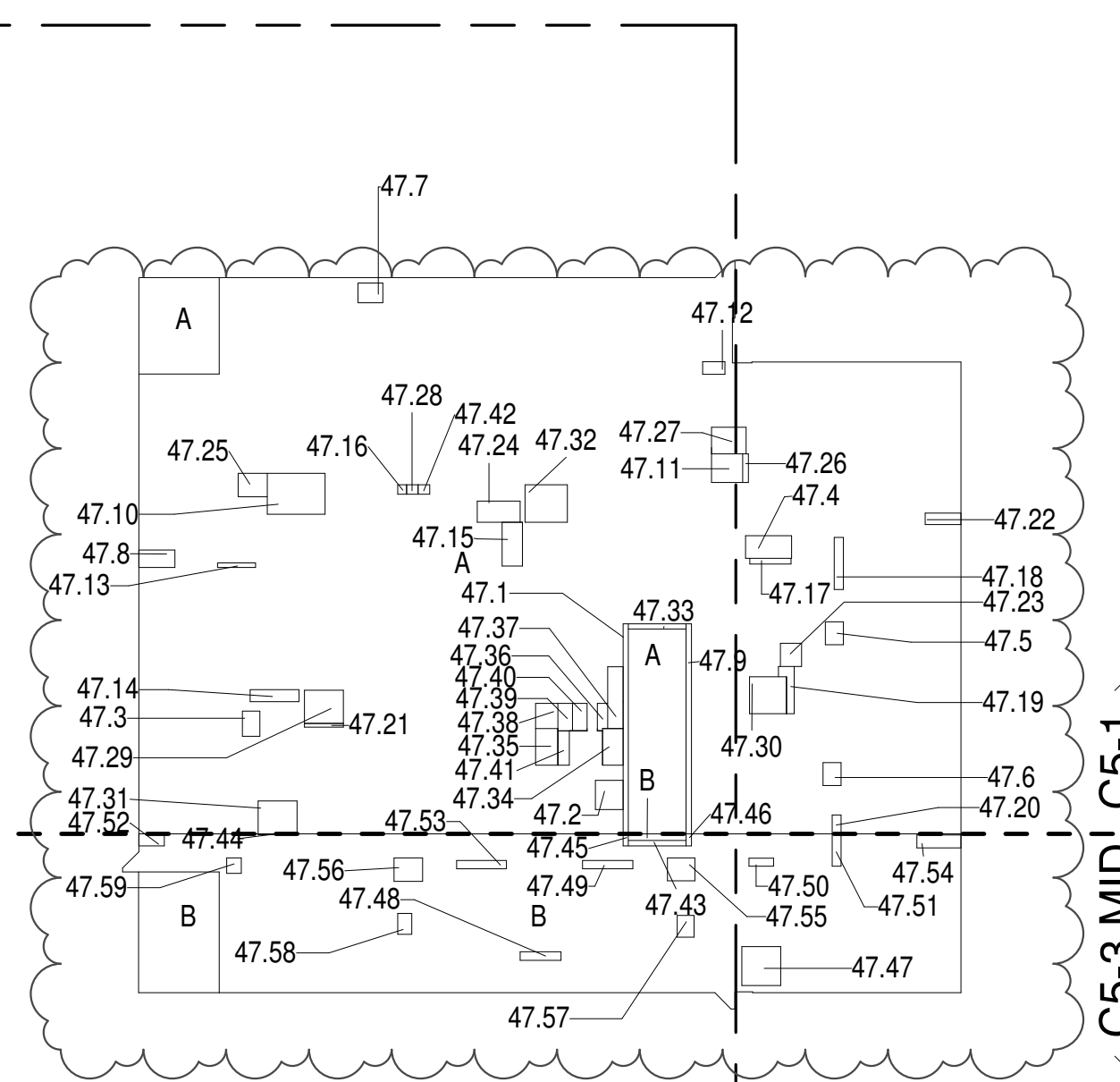
47TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	47.43	0'-8"	7'-2"	4.8
RESIDENTIAL	M	47.44	0'-2"	4'-10"	0.7
RESIDENTIAL	ST	47.45	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	47.46	0'-8"	1'-6"	1.0
RESIDENTIAL	M	47.47	4'-10"	4'-10"	23.4
RESIDENTIAL	P	47.48	1'-1"	5'-1"	5.3
RESIDENTIAL	P	47.49	1'-0"	6'-2"	6.3
RESIDENTIAL	P	47.50	1'-0"	3'-1"	3.0
RESIDENTIAL	P	47.51	1'-1"	4'-0"	4.4
RESIDENTIAL	M	47.52	1'-6"	3'-2"	4.8
RESIDENTIAL	P	47.53	1'-0"	6'-2"	6.2
RESIDENTIAL	M	47.54	1'-7"	5'-6"	8.7
RESIDENTIAL	M	47.55	2'-10"	3'-5"	9.6
RESIDENTIAL	M	47.56	2'-11"	3'-7"	10.4
RESIDENTIAL	M	47.57	2'-1"	2'-8"	5.6
RESIDENTIAL	M	47.58	1'-9"	2'-7"	4.6
RESIDENTIAL	M	47.59	1'-10"	1'-11"	3.5
SUBTOTAL					103.1

47TH FLOOR AREA CALCULATIONS					
ZONE C5-1 AND C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		8,788	525	8,263	
TOTAL		8,788	525	8,263	

46TH FLOOR MEP (MFD:71ST FLOOR)

364' = 1'-0"

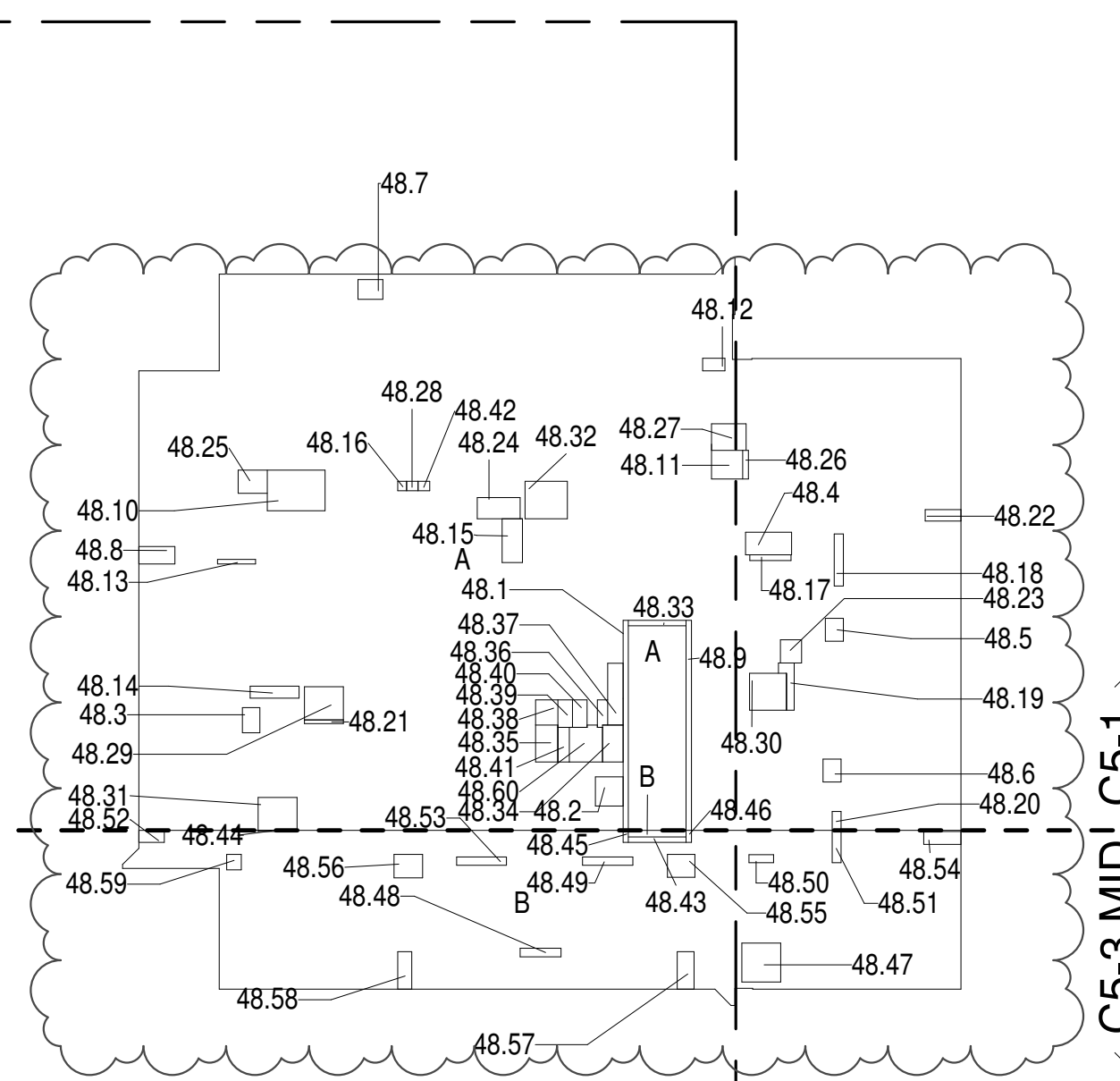
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47TH FLOOR (MFD:77TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS

364' = 1'-0"

2



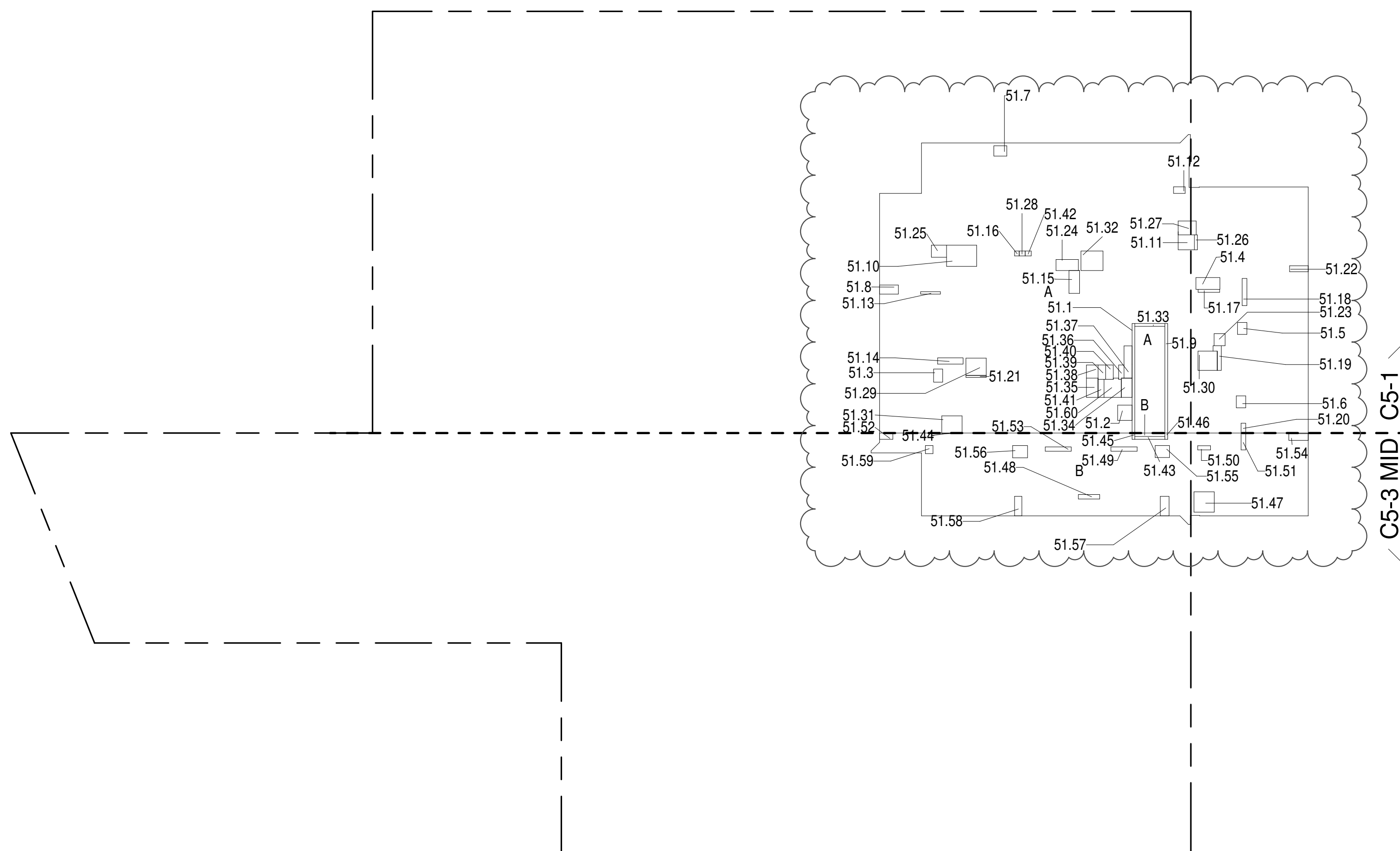
48TH FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		6,644	440	6,204	
TOTAL		6,644	440	6,204	

48TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	48.1	0'-8"	26'-1"	17.4
RESIDENTIAL	M	48.2	3'-5"	3'-8"	12.5
RESIDENTIAL	M	48.3	2'-2"	3'-2"	6.9
RESIDENTIAL	M	48.4	2'-10"	5'-9"	16.1
RESIDENTIAL	M	48.5	2'-3"	2'-10"	6.4
RESIDENTIAL	M	48.6	2'-3"	3'-10"	6.9
RESIDENTIAL	M	48.7	2'-1"	5'-10"	10.9
RESIDENTIAL	M	48.8	2'-2"	4'-6"	9.7
RESIDENTIAL	ST	48.9	0'-8"	26'-1"	17.4
RESIDENTIAL	M	48.10	5'-1"	7'-1"	35.2
RESIDENTIAL	M	48.11	3'-7"	3'-12"	13.0
RESIDENTIAL	M	48.12	1'-7"	2'-9"	4.9
RESIDENTIAL	M	48.13	1'-7"	2'-9"	4.9
RESIDENTIAL	P	48.14	1'-6"	6'-1"	9.1
RESIDENTIAL	P	48.15	2'-6"	5'-5"	13.0
RESIDENTIAL	P	48.16	1'-2"	1'-2"	1.1
RESIDENTIAL	P	48.17	0'-8"	5'-1"	3.0
RESIDENTIAL	P	48.18	1'-1"	6'-5"	7.0
RESIDENTIAL	P	48.19	1'-1"	6'-5"	7.0
RESIDENTIAL	P	48.20	1'-1"	2'-4"	2.1
SUBTOTAL					

49TH FLOOR (MFD:79TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS

50TH FLOOR (MFD:80TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS 3/64" = 1'-0" 2

51ST FLOOR (MFD:81ST FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS 3



- * WHERE APPLICABLE, DOCUMENTED AND CALCULATED AREAS HAVE BEEN ROUNDED TO ITS NEXT SIGNIFICANT DIGIT.
- ** LENGTH AND WIDTH DIMENSIONS FOR COMPLEX SHAPES HAVE BEEN SIMPLIFIED TO ILLUSTRATE ONLY LARGEST OVERALL DIMENSION RESPECTIVELY. AREA DOCUMENTED IS THE EXACT AREA OF THE COMPLEX SHAPE
- *** ELECTRICAL DEDUCTIONS ARE ONLY FOR ELECTRICAL RISERS, AND CLOSETS. NO DEDUCTIONS TAKEN FOR TELEPHONE CLOSETS



1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100	101	102	103	104	105	106	107	108	109	110	111	112	113	114	115	116	117	118	119	120	121	122	123	124	125	126	127	128	129	130	131	132	133	134	135	136	137	138	139	140	141	142	143	144	145	146	147	148	149	150	151	152	153	154	155	156	157	158	159	160	161	162	163	164	165	166	167	168	169	170	171	172	173	174	175	176	177	178	179	180	181	182	183	184	185	186	187	188	189	190	191	192	193	194	195	196	197	198	199	200	201	202	203	204	205	206	207	208	209	210	211	212	213	214	215	216	217	218	219	220	221	222	223	224	225	226	227	228	229	230	231	232	233	234	235	236	237	238	239	240	241	242	243	244	245	246	247	248	249	250	251	252	253	254	255	256	257	258	259	260	261	262	263	264	265	266	267	268	269	270	271	272	273	274	275	276	277	278	279	280	281	282	283	284	285	286	287	288	289	290	291	292	293	294	295	296	297	298	299	300	301	302	303	304	305	306	307	308	309	310	311	312	313	314	315	316	317	318	319	320	321	322	323	324	325	326	327	328	329	330	331	332	333	334	335	336	337	338	339	340	341	342	343	344	345	346	347	348	349	350	351	352	353	354	355	356	357	358	359	360	361	362	363	364	365	366	367	368	369	370	371	372	373	374	375	376	377	378	379	380	381	382	383	384	385	386	387	388	389	390	391	392	393	394	395	396	397	398	399	400	401	402	403	404	405	406	407	408	409	410	411	412	413	414	415	416	417	418	419	420	421	422	423	424	425	426	427	428	429	430	431	432	433	434	435	436	437	438	439	440	441	442	443	444	445	446	447	448	449	450	451	452	453	454	455	456	457	458	459	460	461	462	463	464	465	466
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52ND FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	6,644	422	6,222	
TOTAL	6,644	422	6,222	

52ND FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	52.1	0'-8"	26'-1"	17.4
RESIDENTIAL	M	52.2	3'-5"	3'-8"	12.5
RESIDENTIAL	M	52.3	2'-2"	3'-2"	6.9
RESIDENTIAL	M	52.4	2'-10"	5'-9"	16.1
RESIDENTIAL	M	52.5	2'-3"	2'-10"	6.4
RESIDENTIAL	M	52.6	2'-3"	2'-10"	6.3
RESIDENTIAL	M	52.7	2'-6"	3'-1"	7.6
RESIDENTIAL	M	52.8	2'-2"	4'-6"	9.8
RESIDENTIAL	ST	52.9	0'-8"	26'-1"	17.4
RESIDENTIAL	M	52.10	5'-1"	7'-2"	36.2
RESIDENTIAL	M	52.11	3'-7"	3'-11"	13.8
RESIDENTIAL	M	52.12	1'-7"	2'-9"	4.4
RESIDENTIAL	P	52.13	0'-7"	4'-9"	2.6
RESIDENTIAL	P	52.14	1'-6"	6'-1"	9.2
RESIDENTIAL	P	52.15	2'-6"	5'-5"	13.6
RESIDENTIAL	P	52.16	1'-2"	1'-2"	1.3
RESIDENTIAL	P	52.17	0'-8"	5'-1"	3.5
RESIDENTIAL	P	52.18	1'-1"	6'-5"	7.1
RESIDENTIAL	P	52.19	1'-0"	6'-10"	7.0
RESIDENTIAL	P	52.20	1'-1"	2'-4"	2.6
RESIDENTIAL	P	52.21	0'-5"	4'-10"	2.2
RESIDENTIAL	M	52.22	1'-5"	4'-6"	6.3
RESIDENTIAL	M	52.23	2'-8"	2'-11"	7.5
RESIDENTIAL	M	52.24	2'-8"	5'-4"	14.0
RESIDENTIAL	M	52.25	2'-11"	3'-8"	10.5
RESIDENTIAL	P	52.26	0'-8"	3'-7"	2.5
RESIDENTIAL	M	52.27	3'-4"	4'-4"	14.3
RESIDENTIAL	M	52.28	1'-2"	1'-5"	1.7
RESIDENTIAL	M	52.29	4'-2"	4'-10"	20.0
RESIDENTIAL	M	52.30	4'-7"	4'-7"	20.8
RESIDENTIAL	M	52.31	4'-1"	4'-10"	19.6
RESIDENTIAL	M	52.32	4'-8"	5'-3"	24.4
RESIDENTIAL	ST	52.33	0'-8"	7'-2"	4.8
RESIDENTIAL	E	52.34	2'-7"	4'-7"	11.6
RESIDENTIAL	P	52.35	2'-9"	4'-7"	12.6
SUBTOTAL					

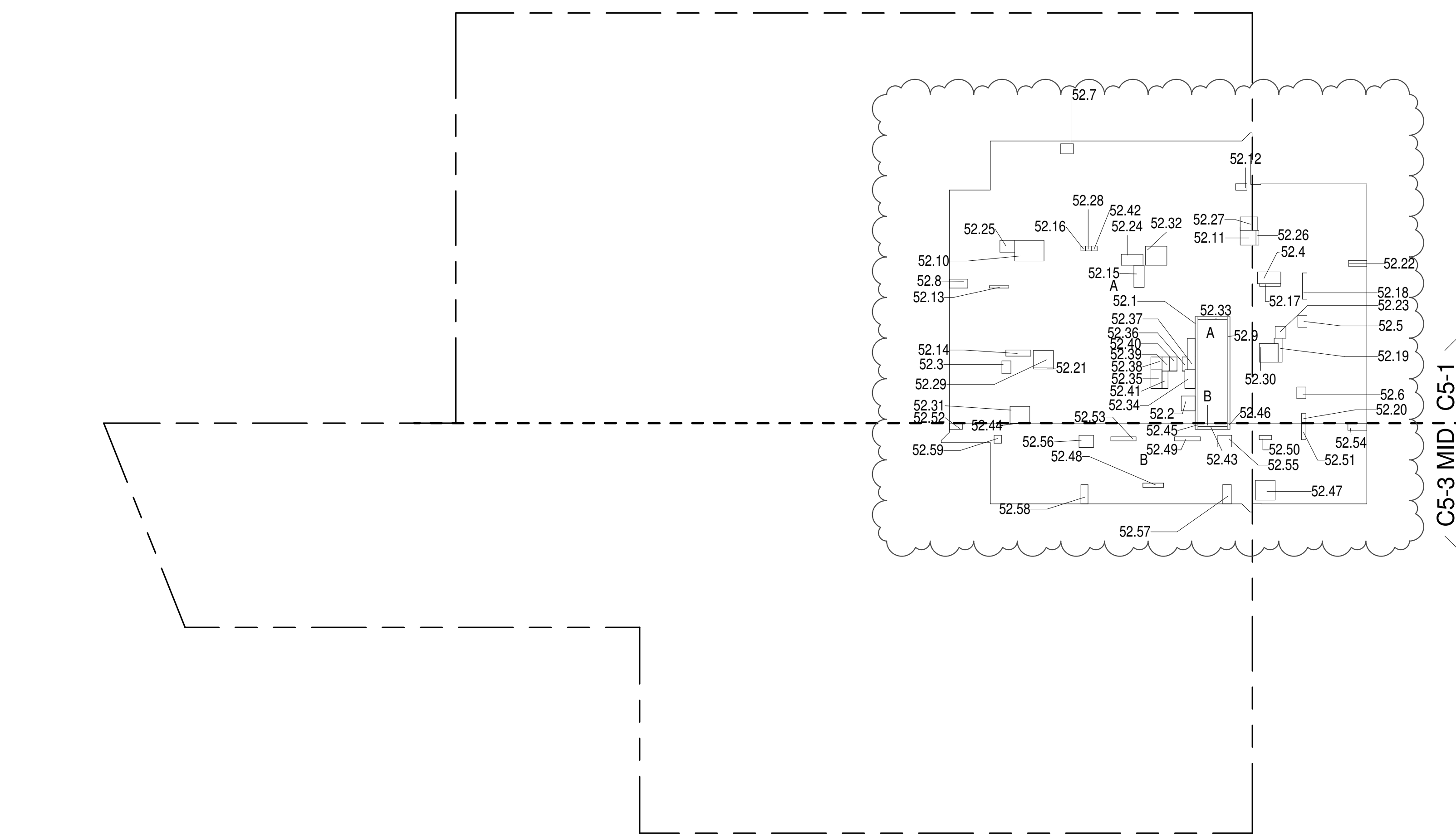
52ND FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No	LENGTH	WOTH	AREA (SF)
RESIDENTIAL	M	52.36	1'-2"	3'-6"	4.1
RESIDENTIAL	P	52.37	1'-11"	7'-8"	14.7
RESIDENTIAL	M	52.38	2'-9"	3'-1"	8.5
RESIDENTIAL	P	52.39	1'-10"	3'-5"	6.3
RESIDENTIAL	M	52.40	1'-10"	3'-5"	6.2
RESIDENTIAL	E	52.41	1'-5"	4'-3"	6.1
RESIDENTIAL	P	52.42	1'-2"	1'-6"	1.7
SUBTOTAL					42.2

52ND FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	1,874	110	1,764	
TOTAL	1,874	110	1,764	

52ND FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	NO	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	52.43	0'-8"	7'-2"	4.8
RESIDENTIAL	M	52.44	0'-2"	4'-10"	0.7
RESIDENTIAL	ST	52.45	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	52.46	0'-8"	1'-6"	1.0
RESIDENTIAL	M	52.47	4'-10"	4'-10"	23.4
RESIDENTIAL	P	52.48	1'-1"	5'-1"	5.3
RESIDENTIAL	P	52.49	1'-0"	6'-3"	6.3
RESIDENTIAL	P	52.50	1'-0"	3'-1"	3.0
RESIDENTIAL	P	52.51	1'-1"	4'-0"	4.4
RESIDENTIAL	M	52.52	1'-6"	3'-2"	4.8
RESIDENTIAL	P	52.53	1'-0"	6'-2"	6.2
RESIDENTIAL	M	52.54	1'-7"	4'-8"	7.3
RESIDENTIAL	M	52.55	2'-10"	3'-5"	9.6
RESIDENTIAL	M	52.56	2'-11"	3'-7"	10.4
RESIDENTIAL	M	52.57	2'-1"	4'-8"	9.8
RESIDENTIAL	M	52.58	1'-9"	4'-8"	8.2
RESIDENTIAL	M	52.59	1'-10"	1'-11"	3.5
SUBTOTAL					109.6

52ND FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	8,518	532	7,986	
TOTAL	8,518	532	7,986	

52ND FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	53.43	0'-8"	7'-2"	4.8
RESIDENTIAL	M	53.44	0'-2"	4'-10"	0.7
RESIDENTIAL	ST	53.45	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	53.46	0'-8"	1'-6"	1.0
RESIDENTIAL	M	53.47	4'-10"	4'-10"	23.4
RESIDENTIAL	P	53.48	1'-1"	5'-1"	5.3
RESIDENTIAL	P	53.49	1'-0"	6'-3"	6.3
RESIDENTIAL	P	53.50	1'-0"	3'-1"	3.0
RESIDENTIAL	P	53.51	1'-1"	4'-0"	4.4
RESIDENTIAL	M	53.52	1'-6"	3'-2"	4.8
RESIDENTIAL	P	53.53	1'-0"	6'-2"	6.2
RESIDENTIAL	M	53.54	1'-7"	4'-8"	7.3
RESIDENTIAL	M	53.55	2'-10"	3'-5"	9.6
RESIDENTIAL	M	53.56	2'-11"	3'-7"	10.4
RESIDENTIAL	M	53.57	2'-1"	4'-8"	9.8
RESIDENTIAL	M	53.58	1'-9"	4'-8"	8.2
RESIDENTIAL	M	53.59	1'-10"	1'-11"	3.5
SUBTOTAL					



ZONING AND DEDUCT LEGEND

DEDUCTIONS

M - MECHANICAL ROOM / RISER

E - ELECTRICAL SHAFT / RISER

P - PLUMBING RISER

BG - BELOW GRADE

O - OPENING TO BELOW

L - LOADING BAYS

ST - 44" RESI STAIR SHAFT (INCLUDING 8" PERIMETER)

G - GAP FROM ADJACENT BUILDING

DEVELOPMENT LOT LINE

* WHERE APPLICABLE, DOCUMENTED AND CALCULATED AREAS HAVE BEEN ROUNDED TO ITS NEXT SIGNIFICANT DIGIT.

** LENGTH AND WIDTH DIMENSIONS FOR COMPLEX SHAPES HAVE BEEN SIMPLIFIED TO ILLUSTRATE ONLY LARGEST OVERALL DIMENSION RESPECTIVELY. AREA DOCUMENTED IS THE EXACT AREA OF THE COMPLEX SHAPE

*** ELECTRICAL DEDUCTIONS ARE ONLY FOR ELECTRICAL RISERS, AND CLOSETS. NO DEDUCTIONS TAKEN FOR TELEPHONE CLOSETS

52ND FLOOR (MFD:82ND FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS 364' = 1'-0' 1

53RD FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	6,644	422	6,222	
TOTAL	6,644	422	6,222	

53RD FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	53.1	0'-8"	26'-1"	17.4
RESIDENTIAL	M	53.2	3'-5"	3'-8"	12.5
RESIDENTIAL	M	53.3	2'-2"	3'-2"	6.9
RESIDENTIAL	M	53.4	2'-10"	5'-9"	16.1
RESIDENTIAL	M	53.5	2'-3"	2'-10"	6.4
RESIDENTIAL	M	53.6	2'-3"	2'-10"	6.3
RESIDENTIAL	M	53.7	2'-6"	3'-1"	7.6
RESIDENTIAL	M	53.8	2'-2"	4'-6"	9.8
RESIDENTIAL	ST	53.9	0'-8"	26'-1"	17.4
RESIDENTIAL	M	53.10	5'-1"	7'-2"	36.2
RESIDENTIAL	M	53.11	3'-7"	3'-11"	13.8
RESIDENTIAL	M	53.12	1'-7"	2'-9"	4.4
RESIDENTIAL	P	53.13	0'-7"	4'-9"	2.6
RESIDENTIAL	P	53.14	1'-6"	6'-1"	9.2
RESIDENTIAL	P	53.15	2'-6"	5'-5"	13.6
RESIDENTIAL	P	53.16	1'-2"	1'-2"	1.3
RESIDENTIAL	P	53.17	0'-8"	5'-1"	3.5
RESIDENTIAL	P	53.18	1'-1"	6'-5"	7.1
RESIDENTIAL	P	53.19	1'-0"	6'-10"	7.0
RESIDENTIAL	P	53.20	1'-1"	2'-4"	2.6
RESIDENTIAL	P	53.21	0'-5"	4'-10"	2.2
RESIDENTIAL	M	53.22	1'-5"	4'-6"	6.3
RESIDENTIAL	M	53.23	2'-8"	2'-11"	7.5
RESIDENTIAL	M	53.24	2'-8"	5'-4"	14.0
RESIDENTIAL	M	53.25	2'-11"	3'-8"	10.5
RESIDENTIAL	P	53.26	0'-8"	3'-7"	2.5
RESIDENTIAL	M	53.27	3'-4"	4'-4"	14.3
RESIDENTIAL	M	53.28	1'-2"	1'-5"	1.7
RESIDENTIAL	M	53.29	4'-2"	4'-10"	20.0
RESIDENTIAL	M	53.30	4'-7"	4'-7"	20.8
RESIDENTIAL	M	53.31	4'-1"	4'-10"	19.6
RESIDENTIAL	M	53.32	4'-8"	5'-3"	24.4
RESIDENTIAL	ST	53.33	0'-8"	7'-2"	4.8
RESIDENTIAL	E	53.34	2'-7"	4'-7"	11.6
RESIDENTIAL	P	53.35	2'-9"	4'-7"	12.6
SUBTOTAL					

53RD FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	53.36	1'-2"	3'-6"	4.1
RESIDENTIAL	P	53.37	1'-11"	7'-8"	14.7
RESIDENTIAL	M	53.38	2'-9"	3'-1"	8.5
RESIDENTIAL	P	53.39	1'-10"	3'-5"	6.3
RESIDENTIAL	M	53.40	1'-10"	3'-5"	6.2
RESIDENTIAL	E	53.41	1'-5"	4'-3"	6.1
RESIDENTIAL	P	53.42	1'-2"	1'-6"	1.7
SUBTOTAL					422.2

53RD FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	1,874	110	1,764	
TOTAL	1,874	110	1,764	

53RD FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	NO.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	53.43	0'-8"	7'-2"	4.8
RESIDENTIAL	M	53.44	0'-2"	4'-10"	0.7
RESIDENTIAL	ST	53.45	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	53.46	0'-8"	1'-6"	1.0
RESIDENTIAL	M	53.47	4'-10"	4'-10"	23.4
RESIDENTIAL	P	53.48	1'-1"	5'-1"	5.3
RESIDENTIAL	P	53.49	1'-0"	6'-3"	6.3
RESIDENTIAL	P	53.50	1'-0"	3'-1"	3.0
RESIDENTIAL	P	53.51	1'-1"	4'-0"	4.4
RESIDENTIAL	M	53.52	1'-6"	3'-2"	4.8
RESIDENTIAL	P	53.53	1'-0"	6'-2"	6.2
RESIDENTIAL	M	53.54	1'-7"	4'-8"	7.3
RESIDENTIAL	M	53.55	2'-10"	3'-5"	9.6
RESIDENTIAL	M	53.56	2'-11"	3'-7"	10.4
RESIDENTIAL	M	53.57	2'-1"	4'-8"	9.8
RESIDENTIAL	M	53.58	1'-9"	4'-8"	8.2
RESIDENTIAL	M	53.59	1'-10"	1'-11"	3.5
SUBTOTAL					109.6

53RD FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	8,518	532	7,986	
TOTAL	8,518	532	7,986	

53RD FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	53.43	0'-8"	7'-2"	4.8
RESIDENTIAL	M	53.44	0'-2"	4'-10"	0.7
RESIDENTIAL	ST	53.45	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	53.46	0'-8"	1'-6"	1.0
RESIDENTIAL	M	53.47	4'-10"	4'-10"	23.4
RESIDENTIAL	P	53.48	1'-1"	5'-1"	5.3
RESIDENTIAL	P	53.49	1'-0"	6'-3"	6.3
RESIDENTIAL	P	53.50	1'-0"	3'-1"	3.0
RESIDENTIAL	P	53.51	1'-1"	4'-0"	4.4
RESIDENTIAL	M	53.52	1'-6"	3'-2"	4.8
RESIDENTIAL	P	53.53	1'-0"	6'-2"	6.2
RESIDENTIAL	M	53.54	1'-7"	4'-8"	7.3
RESIDENTIAL	M	53.55	2'-10"	3'-5"	9.6
RESIDENTIAL	M	53.56	2'-11"	3'-7"	10.4
RESIDENTIAL	M	53.57	2'-1"	4'-8"	9.8
RESIDENTIAL	M	53.58	1'-9"	4'-8"	8.2
RESIDENTIAL	M	53.59	1'-10"	1'-11"	1.7

55TH FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		6,644	422	6,222	
TOTAL		6,644	422	6,222	

55TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	55.1	0'-8"	26'-1"	17.4
RESIDENTIAL	M	55.2	3'-5"	3'-8"	12.5
RESIDENTIAL	M	55.3	2'-2"	3'-2"	6.9
RESIDENTIAL	M	55.4	2'-10"	5'-9"	16.1
RESIDENTIAL	M	55.5	2'-3"	2'-10"	6.4
RESIDENTIAL	M	55.6	2'-3"	2'-10"	6.3
RESIDENTIAL	M	55.7	2'-6"	3'-1"	7.6
RESIDENTIAL	M	55.8	2'-2"	4'-6"	9.8
RESIDENTIAL	ST	55.9	0'-8"	26'-1"	17.4
RESIDENTIAL	M	55.10	5'-1"	7'-2"	36.2
RESIDENTIAL	M	55.11	3'-7"	3'-11"	13.8
RESIDENTIAL	M	55.12	1'-7"	2'-9"	4.4
RESIDENTIAL	P	55.13	0'-7"	4'-9"	2.6
RESIDENTIAL	P	55.14	1'-6"	6'-1"	9.2
RESIDENTIAL	P	55.15	2'-6"	5'-5"	13.6
RESIDENTIAL	P	55.16	1'-2"	1'-2"	1.3
RESIDENTIAL	P	55.17	0'-8"	5'-1"	3.5
RESIDENTIAL	P	55.18	1'-1"	6'-5"	7.1
RESIDENTIAL	P	55.19	1'-0"	6'-10"	7.0
RESIDENTIAL	P	55.20	1'-1"	2'-4"	2.6
RESIDENTIAL	P	55.21	0'-5"	4'-10"	2.2
RESIDENTIAL	M	55.22	1'-5"	4'-6"	6.3
RESIDENTIAL	M	55.23	2'-8"	2'-11"	7.5
RESIDENTIAL	M	55.24	2'-8"	5'-4"	14.0
RESIDENTIAL	M	55.25	2'-11"	3'-8"	10.5
RESIDENTIAL	P	55.26	0'-8"	3'-7"	2.5
RESIDENTIAL	M	55.27	3'-4"	4'-4"	14.3
RESIDENTIAL	M	55.28	1'-2"	1'-5"	1.7
RESIDENTIAL	M	55.29	4'-2"	4'-10"	20.0
RESIDENTIAL	M	55.30	4'-7"	4'-7"	20.8
RESIDENTIAL	M	55.31	4'-1"	4'-10"	19.6
RESIDENTIAL	M	55.32	4'-8"	5'-3"	24.4
RESIDENTIAL	ST	55.33	0'-8"	7'-2"	4.8
RESIDENTIAL	E	55.34	2'-7"	4'-7"	11.6
RESIDENTIAL	P	55.35	2'-9"	4'-7"	12.6
SUBTOTAL					

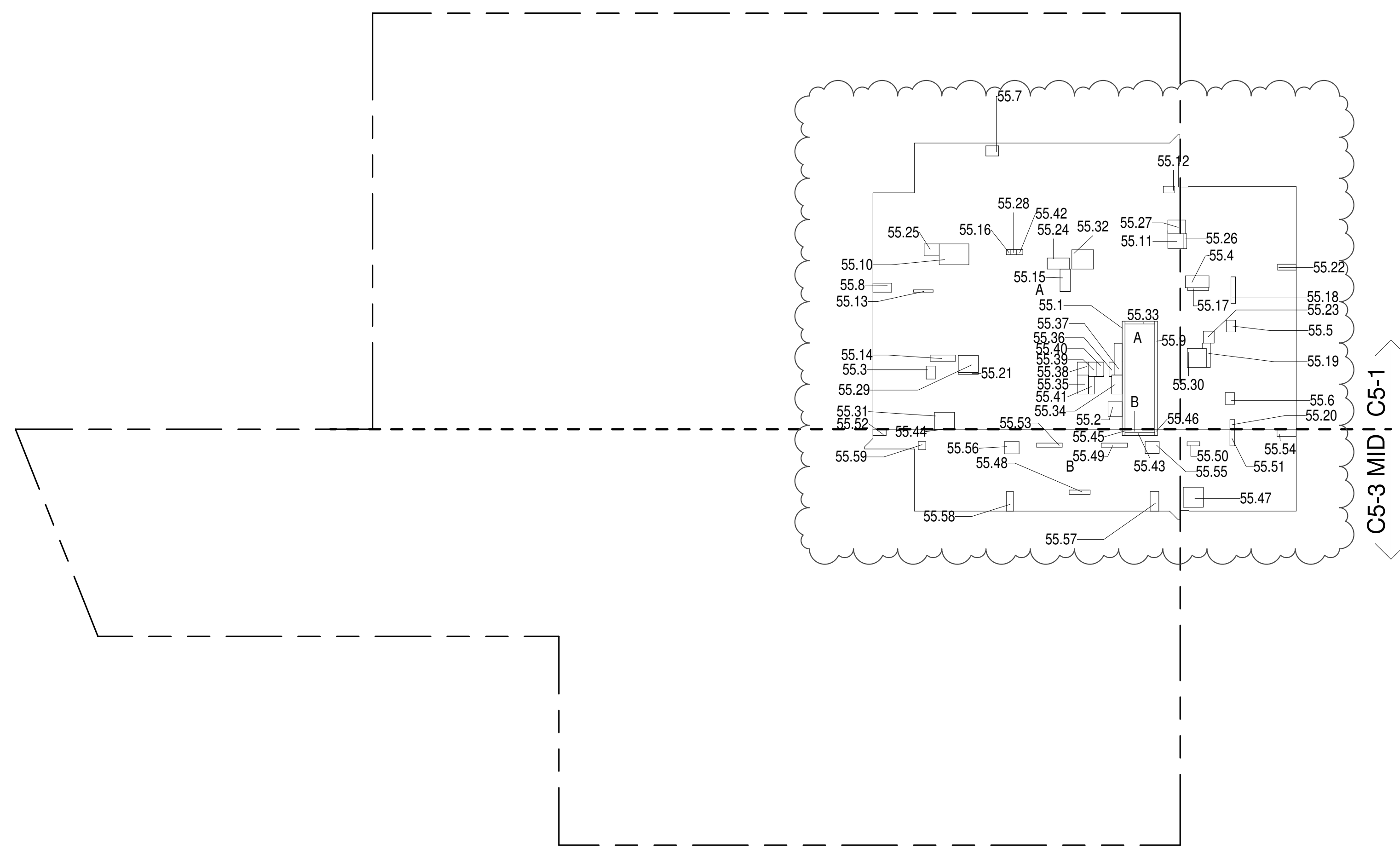
55TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	55.36	1'-2"	3'-6"	4.1
RESIDENTIAL	P	55.37	1'-11"	7'-8"	14.7
RESIDENTIAL	M	55.38	2'-9"	3'-1"	8.5
RESIDENTIAL	P	55.39	1'-10"	3'-5"	6.3
RESIDENTIAL	M	55.40	1'-10"	3'-5"	6.2
RESIDENTIAL	E	55.41	1'-5"	4'-3"	6.1
RESIDENTIAL	P	55.42	1'-2"	1'-6"	1.7
SUBTOTAL					

55TH FLOOR AREA CALCULATIONS					
ZONE C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		1,874	110	1,764	
TOTAL		1,874	110	1,764	

55TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	55.43	0'-8"	7'-2"	4.8
RESIDENTIAL	M	55.44	0'-2"	4'-10"	0.7
RESIDENTIAL	ST	55.45	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	55.46	0'-8"	1'-6"	1.0
RESIDENTIAL	M	55.47	4'-10"	4'-10"	23.4
RESIDENTIAL	P	55.48	1'-1"	5'-1"	5.3
RESIDENTIAL	P	55.49	1'-0"	6'-3"	6.3
RESIDENTIAL	P	55.50	1'-0"	3'-1"	3.0
RESIDENTIAL	P	55.51	1'-1"	4'-0"	4.4
RESIDENTIAL	M	55.52	1'-6"	3'-2"	4.8
RESIDENTIAL	P	55.53	1'-0"	6'-2"	6.2
RESIDENTIAL	M	55.54	1'-7"	4'-8"	7.3
RESIDENTIAL	M	55.55	2'-10"	3'-5"	9.6
RESIDENTIAL	M	55.56	2'-11"	3'-7"	10.4
RESIDENTIAL	M	55.57	2'-1"	4'-8"	9.8
RESIDENTIAL	M	55.58	1'-9"	4'-8"	8.2
RESIDENTIAL	M	55.59	1'-10"	1'-11"	3.5
SUBTOTAL					

55TH FLOOR AREA CALCULATIONS					
ZONE C5-1 AND C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		8,518	532	7,986	
TOTAL		8,518	532	7,986	

55TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	55.43	0'-8"	7'-2"	4.8
RESIDENTIAL	M	55.44	0'-2"	4'-10"	0.7
RESIDENTIAL	ST	55.45	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	55.46	0'-8"	1'-6"	1.0
RESIDENTIAL	M	55.47	4'-10"	4'-10"	23.4
RESIDENTIAL	P	55.48	1'-1"	5'-1"	5.3
RESIDENTIAL	P	55.49	1'-0"	6'-3"	6.3
RESIDENTIAL	P	55.50	1'-0"	3'-1"	3.0
RESIDENTIAL	P	55.51	1'-1"	4'-0"	4.4
RESIDENTIAL	M	55.52	1'-6"	3'-2"	4.8
RESIDENTIAL	P	55.53	1'-0"	6'-2"	6.2
RESIDENTIAL	M	55.54	1'-7"	4'-8"	7.3
RESIDENTIAL	M	55.55	2'-10"	3'-5"	9.6
RESIDENTIAL	M	55.56	2'-11"	3'-7"	10.4
RESIDENTIAL	M	55.57	2'-1"	4'-8"	9.8
RESIDENTIAL	M	55.58	1'-9"	4'-8"	8.2
RESIDENTIAL	M	55.59	1'-10"	1'-11"	3.5
SUBTOTAL					



55TH FLOOR (MFD:85TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS

364' ± 1'-0"

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ZONING AND DEDUCT LEGEND

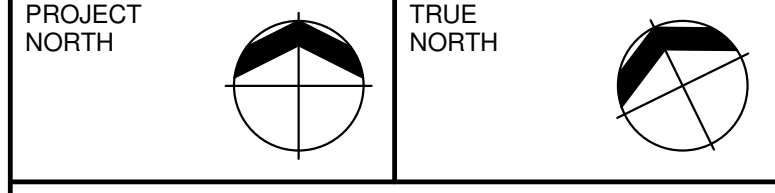
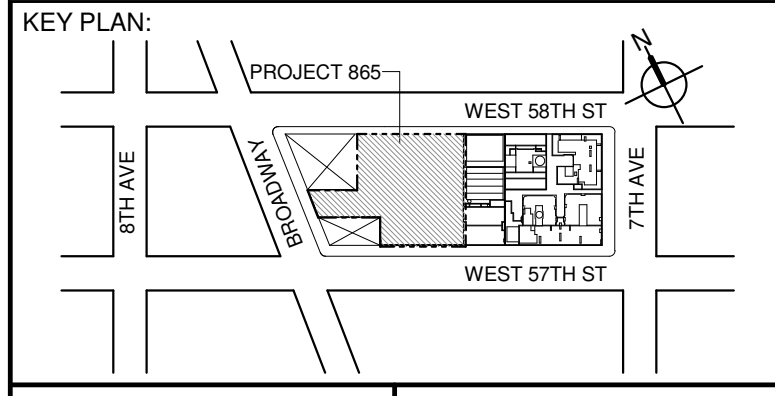
DEDUCTIONS

M - MECHANICAL ROOM / RISER
E - ELECTRICAL SHAFT / RISER
P - PLUMBING RISERBG - BELOW GRADE
O - OPENING TO BELOW
L - LOADING BAYS
ST - 44" RESI STAIR SHAFT (INCLUDING 8" PERIMETER)
G - GAP FROM ADJACENT BUILDING

DEVELOPMENT LOT LINE

* WHERE APPLICABLE, DOCUMENTED AND CALCULATED AREAS HAVE BEEN ROUNDED TO ITS NEXT SIGNIFICANT DIGIT.
** LENGTH AND WIDTH DIMENSIONS FOR COMPLEX SHAPES HAVE BEEN SIMPLIFIED TO ILLUSTRATE ONLY LARGEST OVERALL DIMENSION RESPECTIVELY. AREA DOCUMENTED IS THE EXACT AREA OF THE COMPLEX SHAPE

*** ELECTRICAL DEDUCTIONS ARE ONLY FOR ELECTRICAL RISERS, AND CLOSETS. NO DEDUCTIONS TAKEN FOR TELEPHONE CLOSETS

DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 17TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775ARCHITECT OF RECORD: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150STRUCTURAL ENGINEERS:
WSP CANTOR SEINUK
228 EAST 46th Street
New York, NY 10017 USA
TEL: 212 687 9888 FAX: 646 487 5501MEP ENGINEERS:
AKF GROUP
1501 Broadway
New York, NY 10036 USA
TEL: 212 354 5656 FAX: 212 354 5668GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Fern Plaza, 380 West 31st Street, 8th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 808
New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508LANDMARK/PRESERVATION CONSULTANT:
Higgins Quasebarth & Partners LLC
11 Hanover Square, 16th Floor
New York, NY 10005
TEL: 212 274 9468 FAX: 646 274 9380LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
59 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION:	DATE:
1	D.O.B. SUBMISSION	05 DEC 14
2	D.O.B. SUBMISSION	18 FEB 15
	D.O.B. SUBMISSION	27 APR 14
	D.O.B. AMENDMENT 2	21 SEP 15
	D.O.B. AMENDMENT 3	03 OCT 16

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:

PROJECT:

DRAWING TITLE:

ZONING FLOOR AREA PLAN AND DEDUCTIONS

55TH, 56TH, 57TH FLOOR

SCALE: 3/64" = 1'-0"

DWG No:

Z-027.02

DOB PAGE No: 26 of 454

DOB EMPLOYEE STAMP:

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58TH FLOOR AREA CALCULATIONS			
ZONE C5-1 AND C5-3 MID			
USE	* GFA	* DEDUCTIONS	* ZFA (SF)
RESIDENTIAL	8,518	532	7,986
TOTAL	8,518	532	7,986

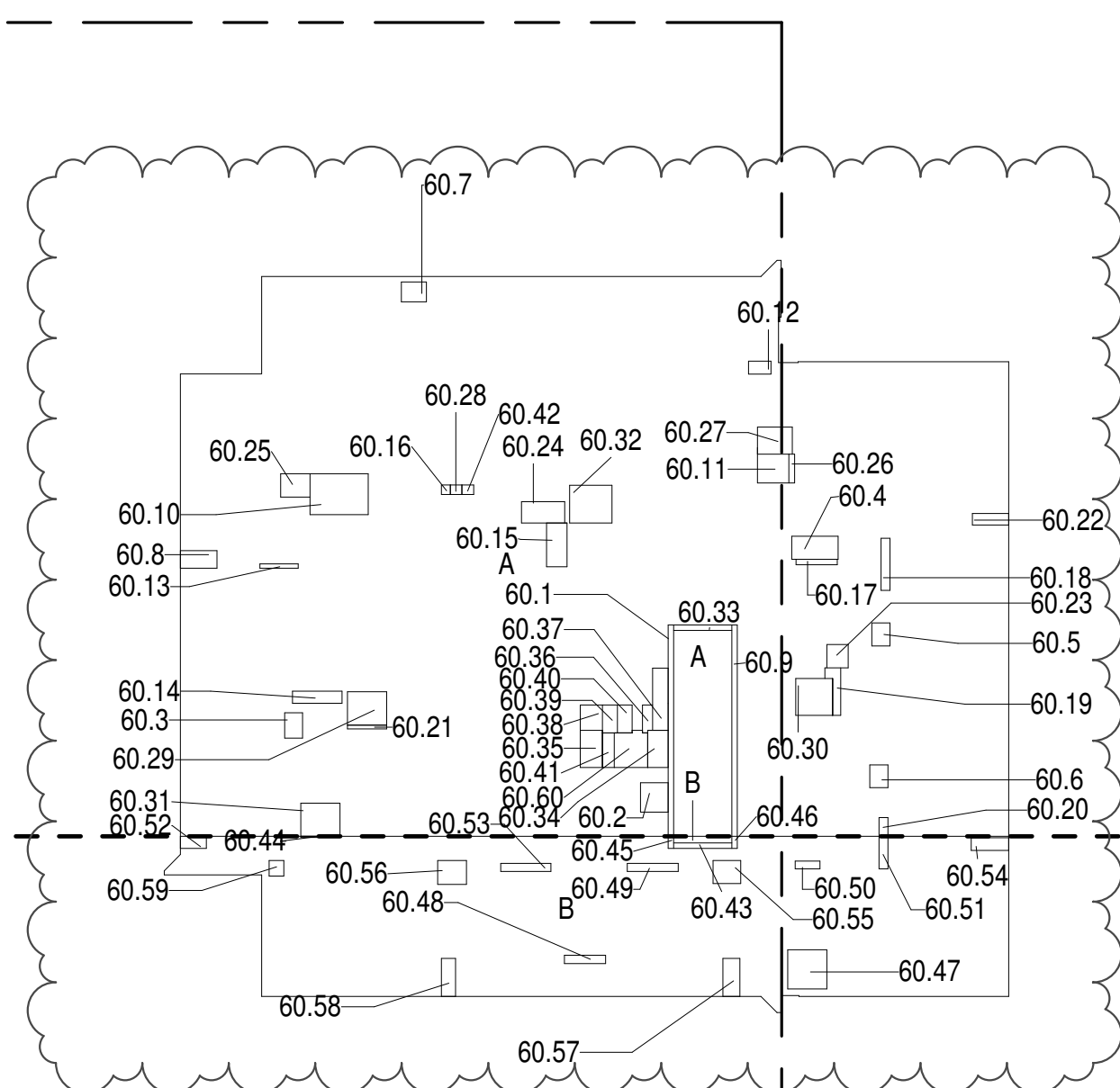
58TH FLOOR (MFD:88TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS

59TH FLOOR AREA CALCULATIONS			
ZONE C5-1 AND C5-3 MID			
USE	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	8,518	532	7,986
TOTAL	8,518	532	7,986

59TH FLOOR (MFD:89TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS

60TH FLOOR AREA CALCULATIONS			
ZONE C5-1 AND C5-3 MID			
USE	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	8,518	550	7,968
TOTAL	8,518	550	7,968

60TH FLOOR (MFD:90TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS



- * WHERE APPLICABLE, DOCUMENTED AND CALCULATED AREAS HAVE BEEN ROUNDED TO ITS NEXT SIGNIFICANT DIGIT.
- ** LENGTH AND WIDTH DIMENSIONS FOR COMPLEX SHAPES HAVE BEEN SIMPLIFIED TO ILLUSTRATE ONLY LARGEST OVERALL DIMENSION RESPECTIVELY. AREA DOCUMENTED IS THE EXACT AREA OF THE COMPLEX SHAPE
- *** ELECTRICAL DEDUCTIONS ARE ONLY FOR ELECTRICAL RISERS, AND CLOSETS. NO DEDUCTIONS TAKEN FOR TELEPHONE CLOSETS

	D.O.B. AMENDMENT 2	21 SEP 15
	D.O.B. AMENDMENT 3	03 OCT 16


[illegible]


D.O.B. SUBMISSION

AAI
ARCHITECTS, P.C.

DRAWING TITLE:

ZONING FLOOR AREA PLAN AND

SEAL & SIGNATURE:	DATE:	05 DEC 14
	PROJECT No:	1216-00



DWG No:
Z-028.02

DOB PAGE No: 25 of 454	
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66TH FLOOR (MFD:96TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS 3/64" = 1'-0" 3

69TH FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		6,285	319	5,966	
TOTAL		6,285	319	5,966	

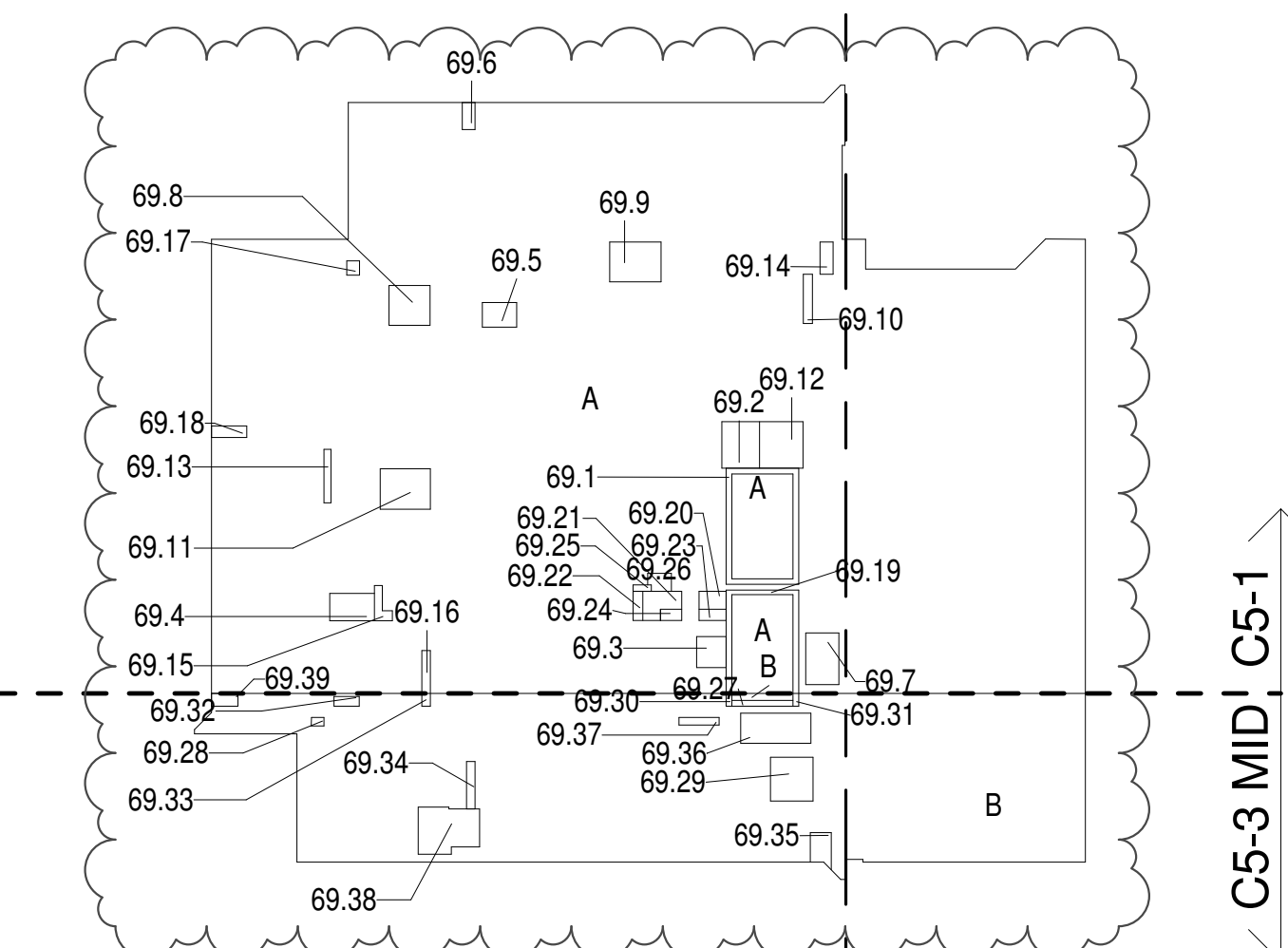
69TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	69.1	1'-4"	20'-9"	27.7
RESIDENTIAL	P	69.2	4'-5"	5'-5"	24.0
RESIDENTIAL	M	69.3	3'-5"	3'-8"	12.5
RESIDENTIAL	M	69.4	3'-3"	5'-3"	16.8
RESIDENTIAL	M	69.5	2'-11"	4'-0"	11.6
RESIDENTIAL	M	69.6	1'-6"	3'-2"	4.8
RESIDENTIAL	M	69.7	3'-10"	6'-1"	23.3
RESIDENTIAL	M	69.8	4'-8"	4'-10"	22.5
RESIDENTIAL	M	69.9	4'-8"	6'-0"	28.0
RESIDENTIAL	P	69.10	1'-1"	5'-9"	6.1
RESIDENTIAL	M	69.11	4'-9"	5'-10"	27.7
RESIDENTIAL	M	69.12	5'-1"	5'-5"	27.6
RESIDENTIAL	P	69.13	0'-10"	6'-3"	5.2
RESIDENTIAL	M	69.14	1'-6"	3'-9"	5.6
RESIDENTIAL	P	69.15	1'-0"	5'-2"	5.1
RESIDENTIAL	P	69.16	1'-0"	5'-0"	5.0
RESIDENTIAL	M	69.17	1'-6"	1'-5"	2.4
RESIDENTIAL	M	69.18	1'-4"	4'-1"	5.5
RESIDENTIAL	ST	69.19	0'-8"	31'-6"	20.1
RESIDENTIAL	M	69.20	2'-1"	3'-2"	6.7
RESIDENTIAL	M	69.21	2'-1"	5'-11"	12.4
RESIDENTIAL	P	69.22	1'-1"	3'-5"	3.8
RESIDENTIAL	E	69.23	1'-4"	3'-2"	4.2
RESIDENTIAL	E	69.24	1'-4"	2'-6"	3.3
RESIDENTIAL	E	69.25	0'-9"	2'-2"	1.6
RESIDENTIAL	E	69.26	1'-9"	3'-1"	5.5
SUBTOTAL					318.9

69TH FLOOR AREA CALCULATIONS					
ZONE C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		1,873	127	1,746	
TOTAL		1,873	127	1,746	

69TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	69.27	0'-8"	7'-2"	4.8
RESIDENTIAL	M	69.28	1'-0"	1'-6"	1.5
RESIDENTIAL	M	69.29	5'-0"	5'-1"	25.4
RESIDENTIAL	ST	69.30	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	69.31	0'-8"	1'-6"	1.0
RESIDENTIAL	P	69.32	1'-1"	2'-11"	3.3
RESIDENTIAL	P	69.33	1'-0"	1'-6"	1.5
RESIDENTIAL	P	69.34	1'-0"	5'-0"	5.0
RESIDENTIAL	M	69.35	1'-11"	4'-8"	9.0
RESIDENTIAL	M	69.36	3'-6"	8'-3"	28.9
RESIDENTIAL	P	69.37	0'-11"	4'-8"	4.1
RESIDENTIAL	M	69.38	4'-3"	8'-5"	35.9
RESIDENTIAL	M	69.39	1'-6"	3'-1"	4.6
SUBTOTAL					126.6

69TH FLOOR AREA CALCULATIONS					
ZONE C5-1 AND C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		8,158	445	7,712	
TOTAL		8,158	445	7,712	

69TH FLOOR DEDUCTIONS					
ZONE C5-1 AND C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	69.27	0'-8"	7'-2"	4.8
RESIDENTIAL	M	69.28	1'-0"	1'-6"	1.5
RESIDENTIAL	M	69.29	5'-0"	5'-1"	25.4
RESIDENTIAL	ST	69.30	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	69.31	0'-8"	1'-6"	1.0
RESIDENTIAL	P	69.32	1'-1"	2'-11"	3.3
RESIDENTIAL	P	69.33	1'-0"	1'-6"	1.5
RESIDENTIAL	P	69.34	1'-0"	5'-0"	5.0
RESIDENTIAL	M	69.35	1'-11"	4'-8"	9.0
RESIDENTIAL	M	69.36	3'-6"	8'-3"	28.9
RESIDENTIAL	P	69.37	0'-11"	4'-8"	4.1
RESIDENTIAL	M	69.38	4'-3"	8'-5"	35.9
RESIDENTIAL	M	69.39	1'-6"	3'-1"	4.6
SUBTOTAL					126.6



69TH FLOOR (MFD:107TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS
3/64" = 1'-0"

70TH FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		6,284	2,032	4,252	
TOTAL		6,284	2,032	4,252	

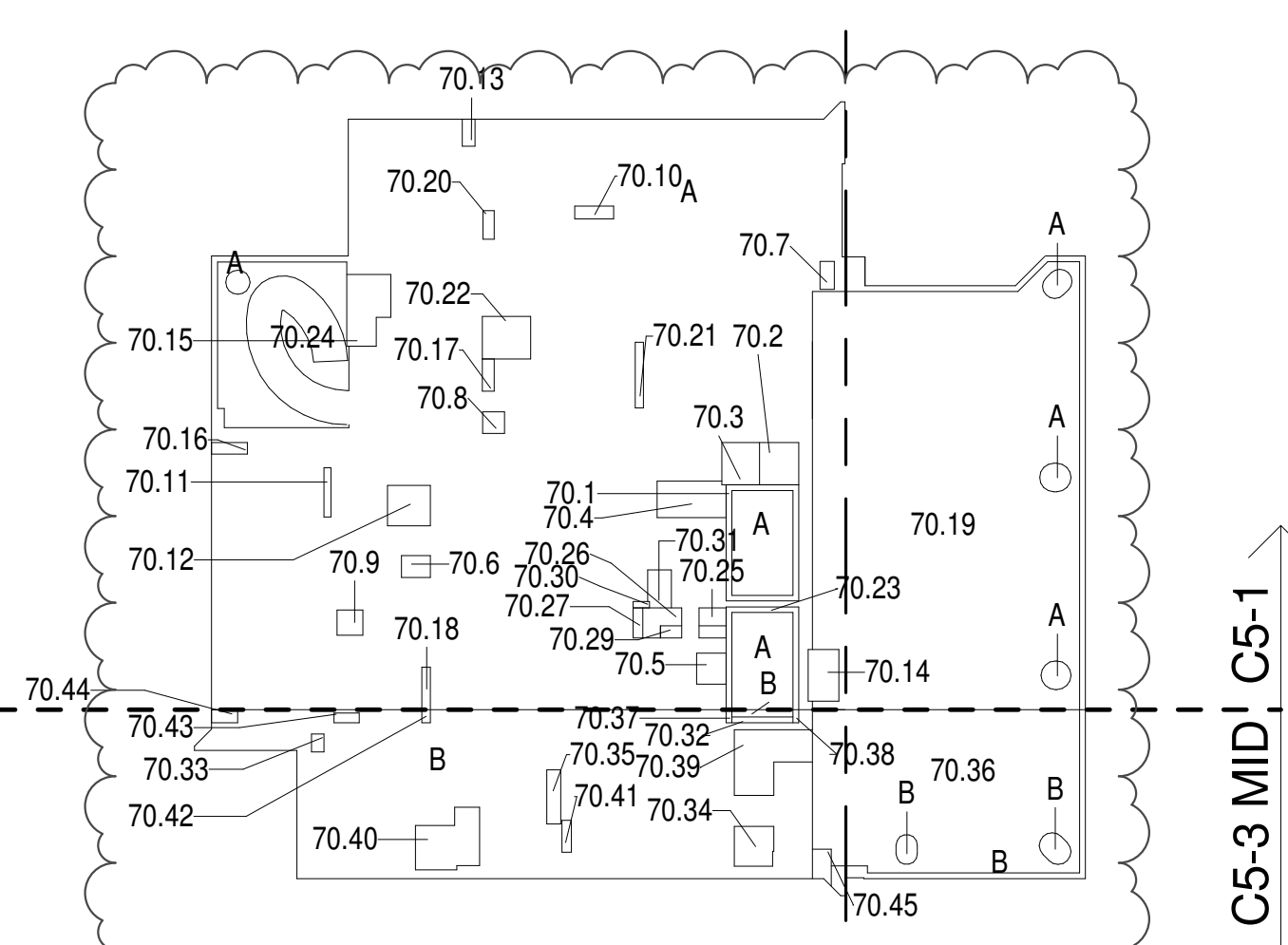
70TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	70.1	1'-4"	20'-9"	27.7
RESIDENTIAL	M	70.2	4'-7"	4'-11"	22.6
RESIDENTIAL	P	70.3	4'-5"	4'-11"	21.8
RESIDENTIAL	M	70.4	4'-3"	8'-1"	34.2
RESIDENTIAL	M	70.5	3'-5"	3'-8"	12.5
RESIDENTIAL	M	70.6	2'-7"	3'-4"	8.6
RESIDENTIAL	M	70.7	1'-8"	3'-3"	5.4
RESIDENTIAL	M	70.8	2'-6"	2'-7"	6.5
RESIDENTIAL	M	70.9	2'-11"	3'-0"	8.9
RESIDENTIAL	P	70.10	1'-6"	4'-7"	6.8
RESIDENTIAL	P	70.11	0'-10"	5'-9"	4.8
RESIDENTIAL	M	70.12	4'-9"	5'-0"	23.8
RESIDENTIAL	M	70.13	1'-6"	3'-2"	4.8
RESIDENTIAL	M	70.14	3'-7"	6'-1"	21.7
RESIDENTIAL	M	70.15	3'-10"	9'-8"	37.3
RESIDENTIAL	M	70.16	1'-4"	4'-2"	5.6
RESIDENTIAL	P	70.17	1'-5"	3'-9"	5.2
RESIDENTIAL	P	70.18	1'-0"	5'-0"	4.9
RESIDENTIAL	O	70.19	24'-6"	61'-2"	1,500.8
RESIDENTIAL	P	70.20	1'-3"	3'-4"	4.3
RESIDENTIAL	P	70.21	0'-11"	7'-8"	7.3
RESIDENTIAL	M	70.22	5'-0"	5'-8"	28.1
RESIDENTIAL	ST	70.23	0'-8"	31'-3"	20.8
RESIDENTIAL	O	70.24	2'-7"	62'-10"	163.0
RESIDENTIAL	M	70.25	2'-1"	3'-2"	6.7
RESIDENTIAL	M	70.26	2'-1"	6'-0"	12.6
RESIDENTIAL	P	70.27	1'-1"	3'-7"	3.9
RESIDENTIAL	E	70.28	1'-5"	3'-2"	4.6
RESIDENTIAL	E	70.29	1'-5"	2'-6"	3.6
RESIDENTIAL	E	70.30	0'-9"	1'-11"	1.4
RESIDENTIAL	E	70.31	2'-8"	4'-6"	12.1
SUBTOTAL					2,032.3

70TH FLOOR AREA CALCULATIONS					
ZONE C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		1,874	728	1,145	
TOTAL		1,874	728	1,145	

70TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	70.32	0'-8"	7'-2"	4.8
RESIDENTIAL	M	70.33	1'-6"	2'-1"	3.0
RESIDENTIAL	M	70.34	4'-2"	5'-2"	21.4
RESIDENTIAL	P	70.35	1'-7"	6'-4"	10.2
RESIDENTIAL	O	70.36	17'-2"	33'-2"	569.0
RESIDENTIAL	ST	70.37	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	70.38	0'-8"	1'-6"	1.0
RESIDENTIAL	M	70.39	4'-2"	12'-8"	52.9
RESIDENTIAL	M	70.40	4'-1"	10'-9"	43.5
RESIDENTIAL	P	70.41	1'-1"	3'-8"	4.1
RESIDENTIAL	P	70.42	1'-0"	1'-6"	1.5
RESIDENTIAL	P	70.43	1'-1"	2'-11"	3.3
RESIDENTIAL	M	70.44	1'-6"	3'-1"	4.6
RESIDENTIAL	M	70.45	1'-9"	4'-6"	8.1
SUBTOTAL					728.1

70TH FLOOR AREA CALCULATIONS					
ZONE C5-1 AND C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		8,158	2,760	5,397	
TOTAL		8,158	2,760	5,397	

70TH FLOOR DEDUCTIONS					
ZONE C5-1 AND C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	68.1	3'-11"	9'-8"	37.5
RESIDENTIAL	M	68.2	1'-8"	3'-4"	5.5
RESIDENTIAL	M	68.3	1'-1"	4'-0"	4.3
RESIDENTIAL	M	68.4	3'-5"	3'-8"	12.5
RESIDENTIAL	M	68.5	3'-8"	4'-10"	17.7
RESIDENTIAL	M	68.6	1'-3"	2'-1"	2.5
RESIDENTIAL	P	68.7	1'-3"	3'-3"	4.1
RESIDENTIAL	M	68.8	0'-9"	4'-11"	3.1
RESIDENTIAL	M	68.9	4'-10"	5'-5"	26.2
RESIDENTIAL	M	68.10	3'-11"	5'-7"	22.0
RESIDENTIAL	M	68.11	2'-1"	3'-2"	6.7
RESIDENTIAL	M	68.12	2'-0"	6'-1"	11.9
RESIDENTIAL	M	68.13	1'-3"	1'-10"	2.3
RESIDENTIAL	P	68.14	4'-8"	5'-5"	25.2
RESIDENTIAL	P	68.15	1'-1"	4'-5"	4.7
RESIDENTIAL	E	68.16	1'-4"	3'-2"	4.2
RESIDENTIAL	E	68.17	2'-3"	7'-3"	16.4
RESIDENTIAL	ST	68.18	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	68.19	0'-8"	13'-7"	9.1
RESIDENTIAL	ST	68.20	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	68.21	0'-8"	13'-7"	9.1
RESIDENTIAL	ST	68.22	0'-8"	12'-1"	8.1
RESIDENTIAL	ST	68.23	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	68.24	0'-8"	12'-1"	8.1
RESIDENTIAL	P	68.25	1'-1"	1'-10"	2.0
RESIDENTIAL	P	68.26	0'-9"	4'-2"	2.9
RESIDENTIAL	P	68.27	0'-6"	5'-5"	2.6
RESIDENTIAL	P	68.28	0'-6"	1'-9"	0.9
RESIDENTIAL	P	68.29	0'-11"	1'-4"	1.2
RESIDENTIAL	P	68.30	0'-9"	5'-5"	3.8
RESIDENTIAL	P	68.31	1'-0"	3'-2"	3.2
RESIDENTIAL	P	68.32	0'-10"	4'-8"	4.0
RESIDENTIAL	P	68.33	1'-0"	1'-11"	1.9
SUBTOTAL					277.9



70TH FLOOR (MFD:108TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS
3/64" = 1'-0"

67TH FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	67.1	6,553	6,553	0	
TOTAL		6,553	6,553	0	

67TH FLOOR AREA CALCULATIONS					
ZONE C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	67.2	1,823	1,823	0	
TOTAL		1,823	1,823	0	

67TH FLOOR AREA CALCULATIONS					
ZONE C5-1 AND C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		8,377	8,377	0	
TOTAL		8,377	8,377	0	

67TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	67.1	57'-3"	114'-2"	6,553.4
SUBTOTAL					6,553.4

67TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	67.2	17'-1"	106'-7"	1,823.2
SUBTOTAL					1,823.2

67TH FLOOR MEZ AREA CALCULATIONS					
ZONE C5-1					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		6,595	6,595	0	
TOTAL		6,595	6,595	0	

67TH FLOOR MEZ AREA CALCULATIONS			
ZONE C5-1 AND C5-3 MID			
USE	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	8,361	8,361	
TOTAL	8,361	8,361	

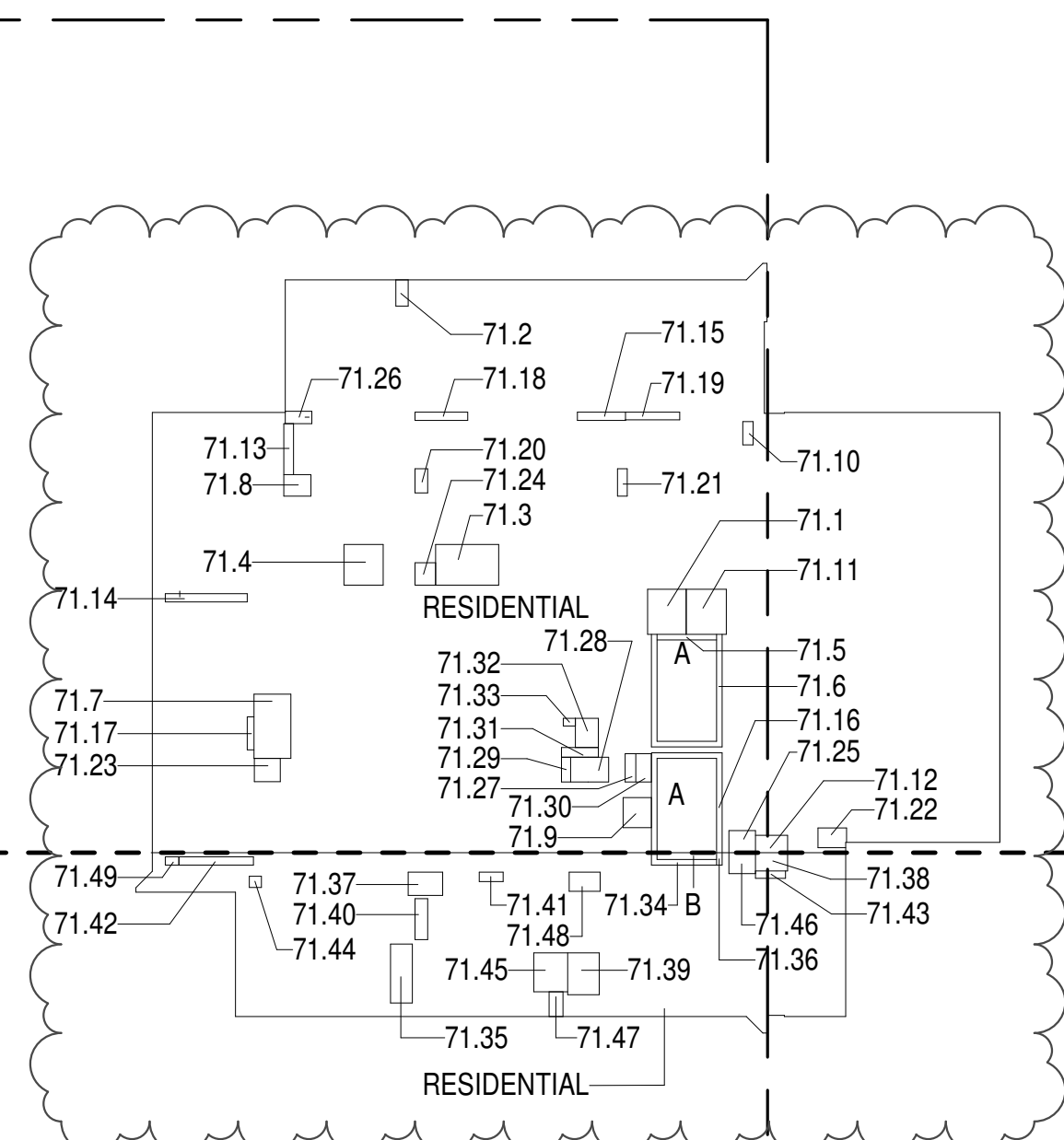
71ST FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		6,329	360	5,968	
TOTAL		6,329	360	5,968	

71ST FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	71.1	4'-8"	5'-5"	25.3
RESIDENTIAL	M	71.2	1'-6"	3'-2"	4.8
RESIDENTIAL	M	71.3	4'-11"	7'-7"	37.4
RESIDENTIAL	M	71.4	4'-9"	4'-11"	23.2
RESIDENTIAL	ST	71.5	0'-8"	7'-2"	4.6
RESIDENTIAL	ST	71.6	0'-8"	34'-3"	22.8
RESIDENTIAL	M	71.7	4'-5"	7'-9"	34.6
RESIDENTIAL	M	71.8	2'-7"	3'-3"	8.5
RESIDENTIAL	M	71.9	3'-5"	3'-8"	12.5
RESIDENTIAL	M	71.10	1'-3"	2'-10"	3.6
RESIDENTIAL	M	71.11	4'-10"	5'-5"	26.3
RESIDENTIAL	M	71.12	2'-1"	3'-11"	8.1
RESIDENTIAL	P	71.13	1'-2"	6'-2"	7.2
RESIDENTIAL	P	71.14	1'-0"	9'-11"	9.9
RESIDENTIAL	P	71.15	1'-0"	5'-9"	5.8
RESIDENTIAL	ST	71.16	0'-8"	31'-2"	20.8
RESIDENTIAL	P	71.17	0'-10"	4'-0"	3.3
RESIDENTIAL	P	71.18	1'-0"	6'-4"	6.3
RESIDENTIAL	P	71.19	0'-11"	6'-7"	6.2
RESIDENTIAL	P	71.20	1'-6"	2'-11"	4.3
RESIDENTIAL	P	71.21	1'-2"	3'-4"	3.8
RESIDENTIAL	M	71.22	2'-4"	3'-6"	8.0
RESIDENTIAL	M	71.23	2'-10"	3'-1"	8.7
RESIDENTIAL	M	71.24	2'-6"	2'-9"	6.7
RESIDENTIAL	M	71.25	2'-8"	3'-2"	8.5
RESIDENTIAL	M	71.26	1'-6"	3'-2"	4.9
RESIDENTIAL	M	71.27	1'-3"	3'-5"	4.4
RESIDENTIAL	M	71.28	3'-0"	4'-7"	13.6
RESIDENTIAL	P	71.29	1'-1"	3'-0"	3.3
RESIDENTIAL	E	71.30	1'-11"	3'-5"	6.4
RESIDENTIAL	E	71.31	1'-2"	4'-6"	5.2
RESIDENTIAL	E	71.32	2'-9"	3'-6"	9.7
RESIDENTIAL	E	71.33	0'-11"	1'-6"	1.3
SUBTOTAL					360.2

71ST FLOOR AREA CALCULATIONS					
ZONE C5-3 MID					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		1,507	133	1,374	
TOTAL		1,507	133	1,374	

71ST FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	71.34	0'-8"	8'-8"	5.8
RESIDENTIAL	M	71.35	2'-8"	7'-1"	18.8
RESIDENTIAL	ST	71.36	0'-8"	1'-6"	1.0
RESIDENTIAL	M	71.37	2'-10"	4'-2"	11.7
RESIDENTIAL	M	71.38	2'-3"	3'-11"	8.6
RESIDENTIAL	M	71.39	3'-10"	5'-1"	19.3
RESIDENTIAL	P	71.40	1'-6"	4'-11"	7.4
RESIDENTIAL	P	71.41	1'-2"	2'-11"	3.4
RESIDENTIAL	P	71.42	1'-0"	9'-0"	9.0
RESIDENTIAL	P	71.43	0'-11"	3'-8"	3.2
RESIDENTIAL	M	71.44	1'-4"	1'-6"	2.0
RESIDENTIAL	M	71.45	4'-1"	4'-8"	19.1
RESIDENTIAL	M	71.46	2'-6"	3'-2"	8.0
RESIDENTIAL	M	71.47	1'-8"	3'-0"	5.0
RESIDENTIAL	M	71.48	2'-4"	3'-9"	8.6
RESIDENTIAL	M	71.49	1'-0"	1'-8"	1.6
SUBTOTAL					132.9

71ST FLOOR AREA CALCULATIONS					
ZONE C5-1 AND C5-3 MID					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		7,835	493	7,342	
TOTAL		7,835	493	7,342	



ZONING AND DEDUCT LEGEND

DEDUCTIONS

M - MECHANICAL ROOM / RISER
E - ELECTRICAL SHAFT / RISER
P - PLUMBING RISER

BG - BELOW GRADE
O - OPENING TO BELOW
L - LOADING BAYS
ST - 44" RESI STAIR SHAFT (INCLUDING 6" PERIMETER)
G - GAP FROM ADJACENT BUILDING

DEVELOPMENT LOT LINE

* WHERE APPLICABLE, DOCUMENTED AND CALCULATED AREAS HAVE BEEN ROUNDED TO ITS NEXT SIGNIFICANT DIGIT.

** LENGTH AND WIDTH DIMENSIONS FOR COMPLEX SHAPES HAVE BEEN SIMPLIFIED TO ILLUSTRATE ONLY LARGEST OVERALL DIMENSION RESPECTIVELY. AREA DOCUMENTED IS THE EXACT AREA OF THE COMPLEX SHAPE

*** ELECTRICAL DEDUCTIONS ARE ONLY FOR ELECTRICAL RISERS, AND CLOSETS. NO DEDUCTIONS TAKEN FOR TELEPHONE CLOSETS

71ST FLOOR (MFD:109TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS

364" = 1'-0"

1

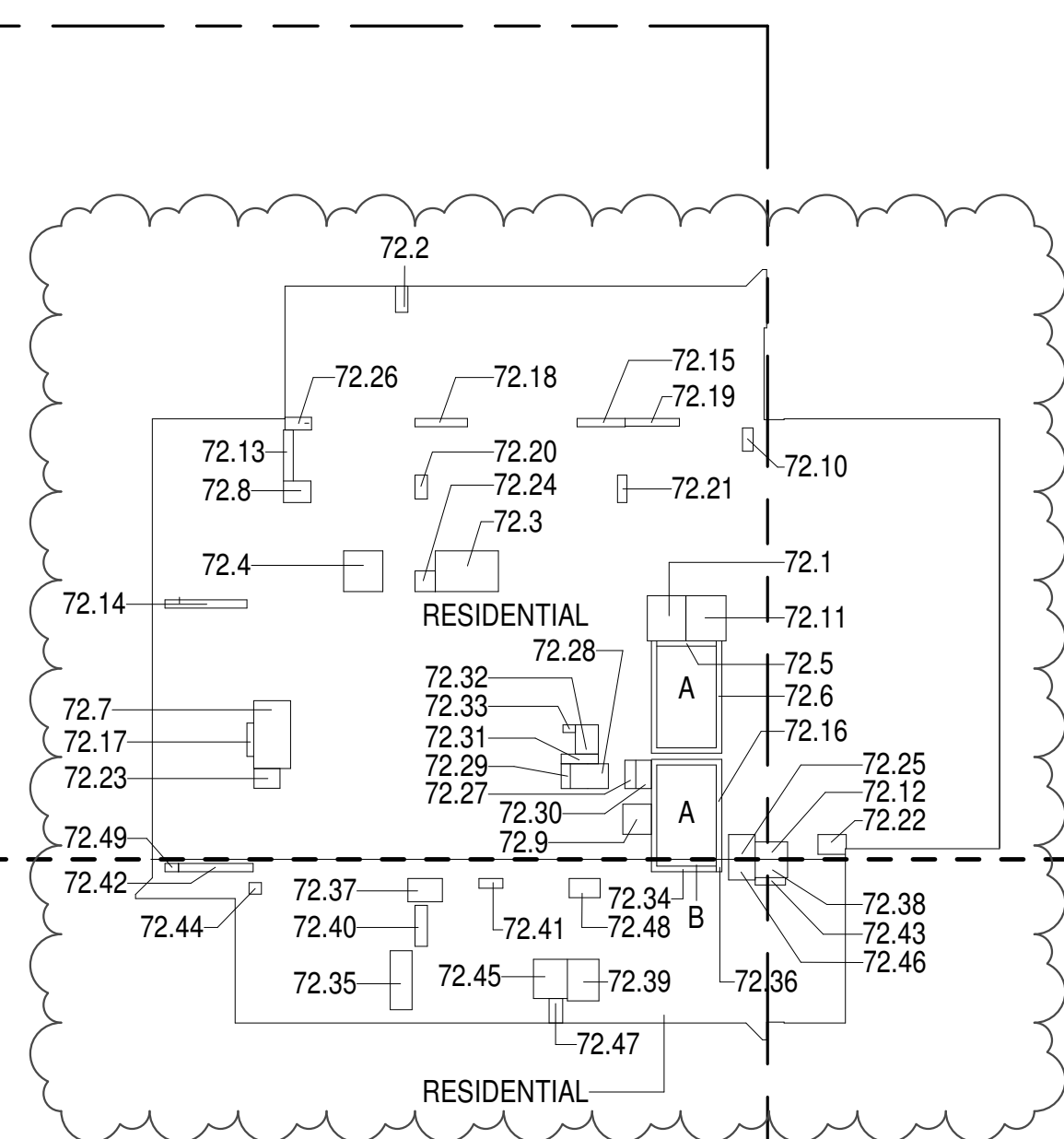
72ND FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		6,329	361	5,967	
TOTAL		6,329	361	5,967	

72ND FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	72.1	4'-8"	5'-5"	25.3
RESIDENTIAL	M	72.2	1'-6"	3'-2"	4.8
RESIDENTIAL	M	72.3	4'-11"	7'-7"	37.4
RESIDENTIAL	M	72.4	4'-9"	4'-11"	23.2
RESIDENTIAL	ST	72.5	0'-8"	7'-2"	4.6
RESIDENTIAL	ST	72.6	0'-8"	34'-3"	22.8
RESIDENTIAL	M	72.7	4'-5"	8'-2"	36.5
RESIDENTIAL	M	72.8	2'-7"	3'-3"	8.5
RESIDENTIAL	M	72.9	3'-5"	3'-8"	12.5
RESIDENTIAL	M	72.10	1'-3"	2'-10"	3.6
RESIDENTIAL	M	72.11	4'-10"	5'-5"	26.3
RESIDENTIAL	M	72.12	2'-1"	3'-11"	8.1
RESIDENTIAL	P	72.13	1'-2"	6'-2"	7.2
RESIDENTIAL	P	72.14	1'-0"	9'-11"	9.9
RESIDENTIAL	P	72.15	1'-0"	5'-9"	5.8
RESIDENTIAL	ST	72.16	0'-8"	31'-2"	20.8
RESIDENTIAL	P	72.17	0'-10"	4'-0"	3.3
RESIDENTIAL	P	72.18	1'-0"	6'-4"	6.3
RESIDENTIAL	P	72.19	0'-11"	6'-7"	6.2
RESIDENTIAL	P	72.20	1'-6"	2'-11"	4.3
RESIDENTIAL	P	72.21	1'-2"	3'-4"	3.8
RESIDENTIAL	M	72.22	2'-4"	3'-6"	8.0
RESIDENTIAL	M	72.23	2'-4"	3'-1"	7.4
RESIDENTIAL	M	72.24	2'-6"	2'-6"	6.1
RESIDENTIAL	M	72.25	3'-0"	3'-2"	9.5
RESIDENTIAL	M	72.26	1'-6"	3'-2"	4.9
RESIDENTIAL	M	72.27	1'-3"	3'-5"	4.4
RESIDENTIAL	M	72.28	3'-0"	4'-7"	13.6
RESIDENTIAL	P	72.29	1'-1"	3'-0"	3.3
RESIDENTIAL	E	72.30	1'-11"	3'-5"	6.4
RESIDENTIAL	E	72.31	1'-2"	4'-6"	5.2
RESIDENTIAL	E	72.32	2'-9"	3'-6"	9.7
RESIDENTIAL	E	72.33	0'-11"	1'-6"	1.3
SUBTOTAL					361.2

72ND FLOOR AREA CALCULATIONS					
ZONE C5-3 MID					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		1,507	132	1,374	
TOTAL		1,507	132	1,374	

72ND FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	72.34	0'-8"	8'-8"	5.8
RESIDENTIAL	M	72.35	2'-8"	7'-1"	18.8
RESIDENTIAL	ST	72.36	0'-8"	1'-6"	1.0
RESIDENTIAL	M	72.37	2'-10"	4'-2"	11.7
RESIDENTIAL	M	72.38	2'-3"	3'-11"	8.6
RESIDENTIAL	M	72.39	3'-10"	5'-0"	19.0
RESIDENTIAL	P	72.40	1'-6"	4'-11"	7.4
RESIDENTIAL	P	72.41	1'-2"	2'-11"	3.4
RESIDENTIAL	P	72.42	1'-0"	9'-0"	9.0
RESIDENTIAL	P	72.43	0'-11"	3'-8"	3.2
RESIDENTIAL	M	72.44	1'-4"	1'-6"	2.0
RESIDENTIAL	M	72.45	4'-1"	4'-8"	19.1
RESIDENTIAL	M	72.46	2'-6"	3'-2"	8.0
RESIDENTIAL	M	72.47	1'-8"	3'-0"	5.0
RESIDENTIAL	M	72.48	2'-4"	3'-9"	8.6
RESIDENTIAL	M	72.49	1'-0"	1'-8"	1.6
SUBTOTAL					132.2

72ND FLOOR AREA CALCULATIONS					
ZONE C5-1 AND C5-3 MID					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		7,835	493	7,342	
TOTAL		7,835	493	7,342	



72ND FLOOR (MFD:110TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS

364" = 1'-0"

2

73RD FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		6,329	361	5,967	
TOTAL		6,329	361	5,967	

73RD FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	73.1	4'-8"	5'-5"	25.3
RESIDENTIAL	M	73.2	1'-6"	3'-2"	4.8
RESIDENTIAL	M	73.3	4'-11"	7'-7"	37.4
RESIDENTIAL	M	73.4	4'-9"	4'-11"	23.2
RESIDENTIAL	ST	73.5	0'-8"	7'-2"	4.6
RESIDENTIAL	ST	73.6	0'-8"	34'-3"	22.8
RESIDENTIAL	M	73.7	4'-5"	8'-2"	36.5
RESIDENTIAL	M	73.8	2'-7"	3'-3"	8.5
RESIDENTIAL	M	73.9	3'-5"	3'-8"	12.5
RESIDENTIAL	M	73.10	1'-3"	2'-10"	3.6
RESIDENTIAL	M	73.11	4'-10"	5'-5"	26.3
RESIDENTIAL	M	73.12	2'-1"	3'-11"	8.1
RESIDENTIAL	P	73.13	1'-2"	6'-2"	7.2
RESIDENTIAL	P	73.14	1'-0"	9'-11"	9.9
RESIDENTIAL	P	73.15	1'-0"	5'-9"	5.8
RESIDENTIAL	ST	73.16	0'-8"	31'-2"	20.8
RESIDENTIAL	P	73.17	0'-10"	4'-0"	3.3
RESIDENTIAL	P	73.18	1'-0"	6'-4"	6.3
RESIDENTIAL	P	73.19	0'-11"	6'-7"	6.2
RESIDENTIAL	P	73.20	1'-6"	2'-11"	4.3
RESIDENTIAL	P	73.21	1'-2"	3'-4"	3.8
RESIDENTIAL	M	73.22	2'-4"	3'-6"	8.0
RESIDENTIAL	M	73.23	2'-4"	3'-1"	7.4
RESIDENTIAL	M	73.24	2'-6"	2'-6"	6.1
RESIDENTIAL	M	73.25	3'-0"	3'-2"	9.5
RESIDENTIAL	M	73.26	1'-6"	3'-2"	4.9
RESIDENTIAL	M	73.27	1'-3"	3'-5"	4.4
RESIDENTIAL	M	73.28	3'-0"	4'-7"	13.6
RESIDENTIAL	P	73.29	1'-1"	3'-0"	3.3
RESIDENTIAL	E	73.30	1'-11"	3'-5"	6.4
RESIDENTIAL	E	73.31	1'-2"	4'-6"	5.2
RESIDENTIAL	E	73.32	2'-9"	3'-6"	9.7
RESIDENTIAL	E	73.33	0'-11"	1'-6"	1.3
SUBTOTAL					361.2

73RD FLOOR AREA CALCULATIONS					
ZONE C5-3 MID					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		1,507	132	1,374	
TOTAL		1,507	132	1,374	

73RD FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	73.34	0'-8"	8'-8"	5.8
RESIDENTIAL	M	73.35	2'-8"	7'-1"	18.8
RESIDENTIAL	ST	73.36	0'-8"	1'-6"	1.0
RESIDENTIAL	M	73.37	2'-10"	4'-2"	11.7
RESIDENTIAL	M	73.38	2'-3"	3'-11"	8.6
RESIDENTIAL	M	73.39	3'-10"	5'-0"	19.0
RESIDENTIAL	P	73.40	1'-6"	4'-11"	7.4
RESIDENTIAL	P	73.41	1'-2"	2'-11"	3.4
RESIDENTIAL	P	73.42	1'-0"	9'-0"	9.0
RESIDENTIAL	P	73.43	0'-11"	3'-8"	3.2
RESIDENTIAL	M	73.44	1'-4"	1'-6"	2.0
RESIDENTIAL	M	73.45	4'-4"	4'-8"	19.0
RESIDENTIAL	M	73.46	2'-6"	3'-8"	8.0
RESIDENTIAL	M	73.47	1'-8"	3'-0"	5.0
RESIDENTIAL	M	73.48	2'-4"	3'-9"	8.0
RESIDENTIAL	M	73.49	1'-0"	1'-8"	1.0
SUBTOTAL					132.2

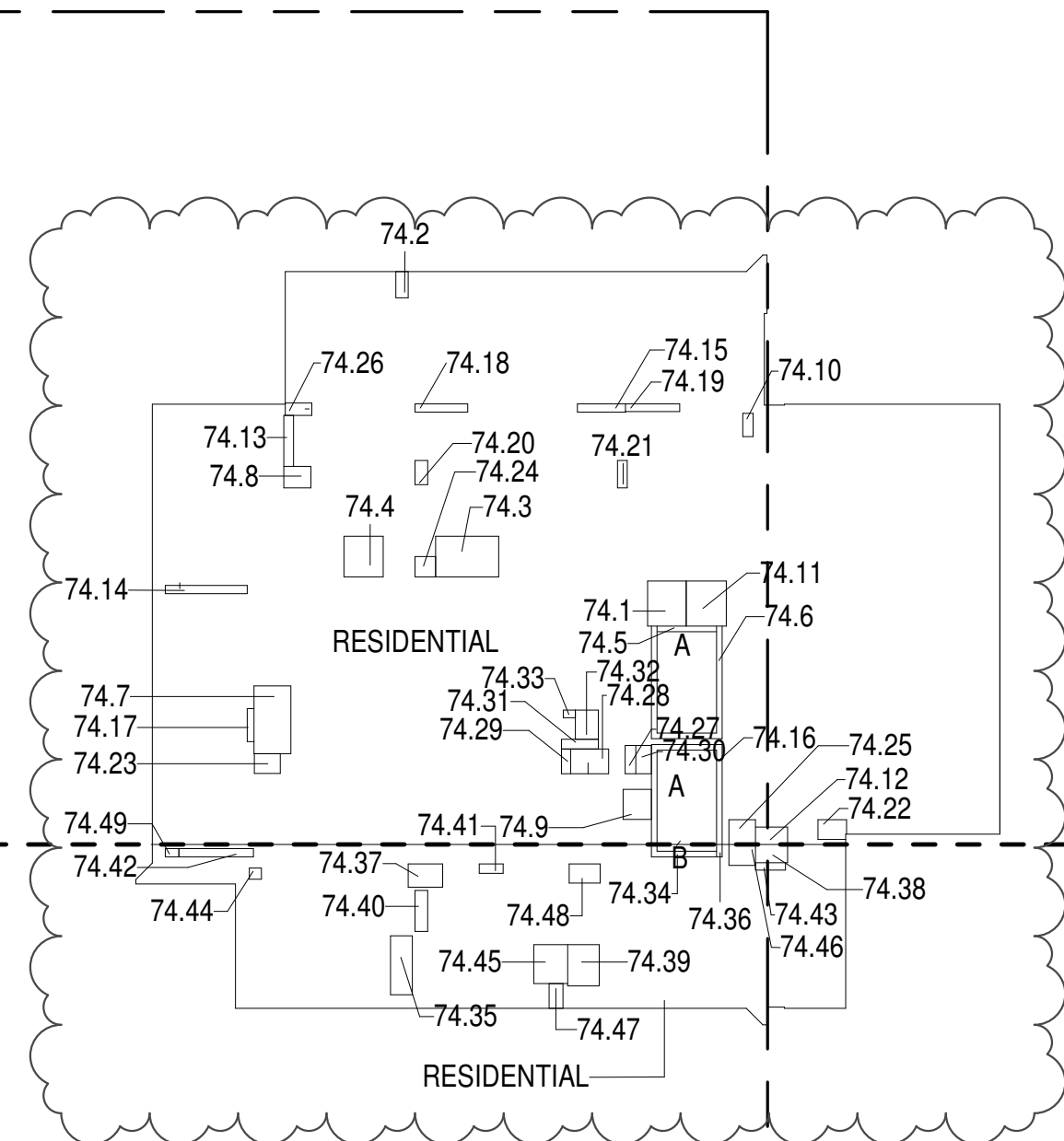
74TH FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	GFA	*DEDUCTIONS	*JTA (SF)	
RESIDENTIAL		6,329	361	5,967	
TOTAL		6,329	361	5,967	

74TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	74.1	4'-8"	5'-5"	25.3
RESIDENTIAL	M	74.2	1'-6"	3'-2"	4.8
RESIDENTIAL	M	74.3	4'-11"	7'-7"	37.4
RESIDENTIAL	M	74.4	4'-9"	4'-11"	23.2
RESIDENTIAL	ST	74.5	0'-8"	7'-2"	4.6
RESIDENTIAL	ST	74.6	0'-8"	34'-3"	22.8
RESIDENTIAL	M	74.7	4'-5"	8'-2"	36.5
RESIDENTIAL	M	74.8	2'-7"	3'-3"	8.5
RESIDENTIAL	M	74.9	3'-5"	3'-8"	12.5
RESIDENTIAL	M	74.10	1'-3"	2'-10"	3.6
RESIDENTIAL	M	74.11	4'-10"	5'-5"	26.3
RESIDENTIAL	M	74.12	2'-1"	3'-11"	8.1
RESIDENTIAL	P	74.13	1'-2"	6'-2"	7.2
RESIDENTIAL	P	74.14	1'-0"	9'-11"	9.9
RESIDENTIAL	P	74.15	1'-0"	5'-9"	5.8
RESIDENTIAL	ST	74.16	0'-8"	31'-2"	20.8
RESIDENTIAL	P	74.17	0'-10"	4'-0"	3.3
RESIDENTIAL	P	74.18	1'-0"	6'-4"	6.3
RESIDENTIAL	P	74.19	0'-11"	6'-7"	6.2
RESIDENTIAL	P	74.20	1'-6"	2'-11"	4.3
RESIDENTIAL	P	74.21	1'-2"	3'-4"	3.8
RESIDENTIAL	M	74.22	2'-4"	3'-6"	8.0
RESIDENTIAL	M	74.23	2'-4"	3'-1"	7.4
RESIDENTIAL	M	74.24	2'-6"	2'-6"	6.1
RESIDENTIAL	M	74.25	3'-0"	3'-2"	9.5
RESIDENTIAL	M	74.26	1'-6"	3'-2"	4.9
RESIDENTIAL	M	74.27	1'-3"	3'-5"	4.4
RESIDENTIAL	M	74.28	2'-0"	6'-11"	13.6
RESIDENTIAL	P	74.29	1'-1"	3'-0"	3.3
RESIDENTIAL	E	74.30	1'-11"	3'-5"	6.4
RESIDENTIAL	E	74.31	1'-2"	4'-6"	5.2
RESIDENTIAL	E	74.32	2'-9"	3'-6"	9.7
RESIDENTIAL	E	74.33	0'-11"	1'-6"	1.3
SUBTOTAL					361.2

74TH FLOOR AREA CALCULATIONS					
ZONE C5-3 MID					
USE	No.	GFA	*DEDUCTIONS	*JTA (SF)	
RESIDENTIAL		1,507	132	1,374	
TOTAL		1,507	132	1,374	

74TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	74.34	0'-8"	8'-8"	5.8
RESIDENTIAL	M	74.35	2'-8"	7'-1"	18.8
RESIDENTIAL	ST	74.36	0'-8"	1'-6"	1.0
RESIDENTIAL	M	74.37	2'-10"	4'-2"	11.7
RESIDENTIAL	M	74.38	2'-3"	3'-11"	8.6
RESIDENTIAL	M	74.39	3'-10"	5'-0"	19.0
RESIDENTIAL	P	74.40	1'-6"	4'-11"	7.4
RESIDENTIAL	P	74.41	1'-2"	2'-11"	3.4
RESIDENTIAL	P	74.42	1'-0"	9'-0"	9.0
RESIDENTIAL	P	74.43	0'-11"	3'-8"	3.2
RESIDENTIAL	M	74.44	1'-4"	1'-6"	2.0
RESIDENTIAL	M	74.45	4'-1"	4'-8"	19.1
RESIDENTIAL	M	74.46	2'-6"	3'-2"	8.0
RESIDENTIAL	M	74.47	1'-8"	3'-0"	5.0
RESIDENTIAL	M	74.48	2'-4"	3'-9"	8.6
RESIDENTIAL	M	74.49	1'-0"	1'-8"	1.6
SUBTOTAL					132.2

74TH FLOOR AREA CALCULATIONS					
ZONE C5-1 AND C5-3 MID					
USE	No.	GFA	*DEDUCTIONS	*JTA (SF)	
RESIDENTIAL		7,835	493	7,342	
TOTAL		7,835	493	7,342	



- ZONING AND DEDUCT LEGEND**
- ☐ DEDUCTIONS
- M - MECHANICAL ROOM / RISER
- E - ELECTRICAL SHAFT / RISER
- P - PLUMBING RISER
- BG - BELOW GRADE
- O - OPENING TO BELOW
- L - LOADING BAYS
- ST - 44\"/>

74TH FLOOR (MFD:112TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS 364\"/>

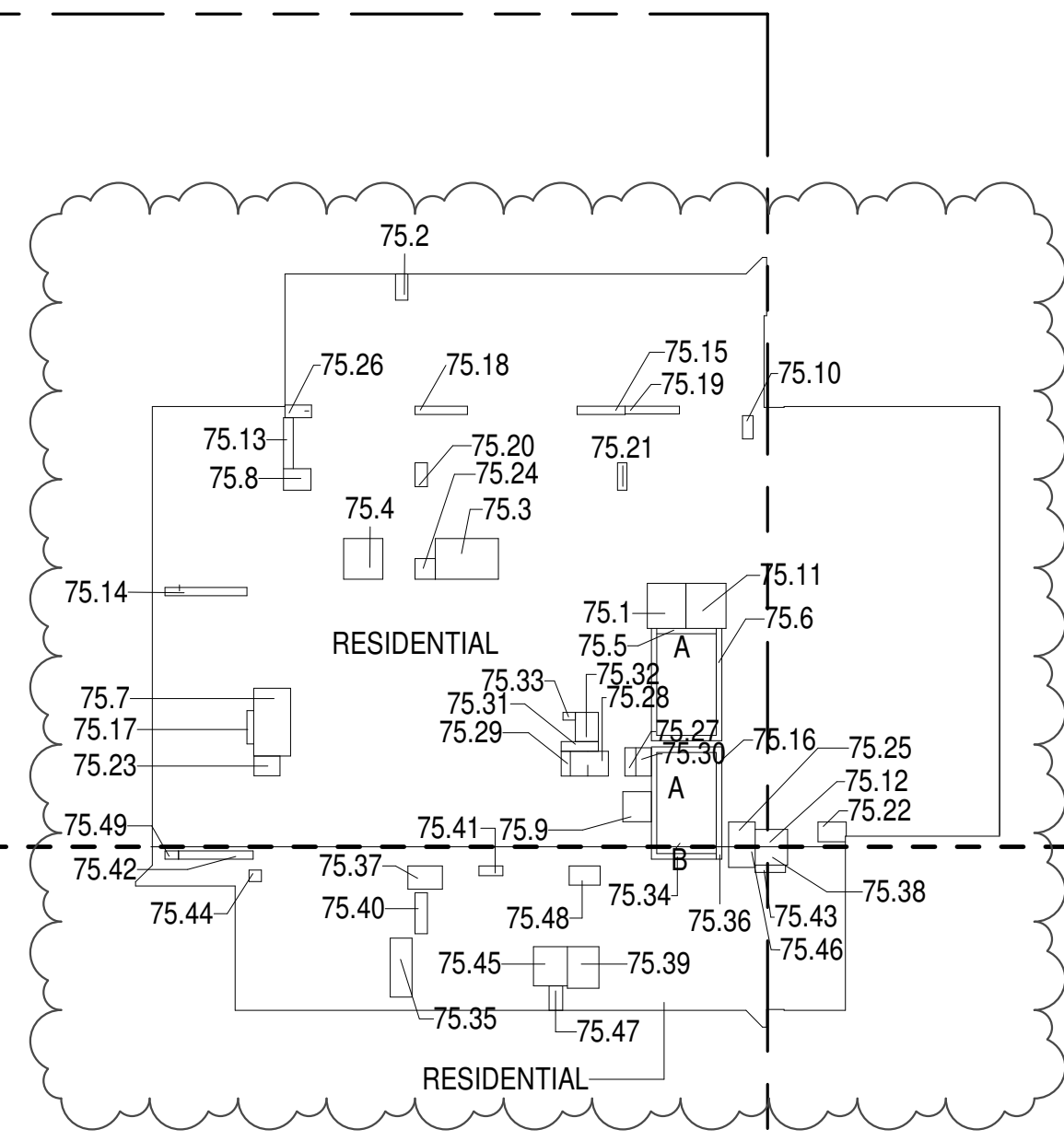
75TH FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	GFA	*DEDUCTIONS	*JTA (SF)	
RESIDENTIAL		6,329	361	5,967	
TOTAL		6,329	361	5,967	

75TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	75.1	4'-8"	5'-5"	25.3
RESIDENTIAL	M	75.2	1'-6"	3'-2"	4.8
RESIDENTIAL	M	75.3	4'-11"	7'-7"	37.4
RESIDENTIAL	M	75.4	4'-9"	4'-11"	23.2
RESIDENTIAL	ST	75.5	0'-8"	7'-2"	4.6
RESIDENTIAL	ST	75.6	0'-8"	34'-3"	22.8
RESIDENTIAL	M	75.7	4'-5"	8'-2"	36.5
RESIDENTIAL	M	75.8	2'-7"	3'-3"	8.5
RESIDENTIAL	M	75.9	3'-5"	3'-8"	12.5
RESIDENTIAL	M	75.10	1'-3"	2'-10"	3.6
RESIDENTIAL	M	75.11	4'-10"	5'-5"	26.3
RESIDENTIAL	M	75.12	2'-1"	3'-11"	8.1
RESIDENTIAL	P	75.13	1'-2"	6'-2"	7.2
RESIDENTIAL	P	75.14	1'-0"	9'-11"	9.9
RESIDENTIAL	P	75.15	1'-0"	5'-9"	5.8
RESIDENTIAL	ST	75.16	0'-8"	31'-2"	20.8
RESIDENTIAL	P	75.17	0'-10"	4'-0"	3.3
RESIDENTIAL	P	75.18	1'-0"	6'-4"	6.3
RESIDENTIAL	P	75.19	0'-11"	6'-7"	6.2
RESIDENTIAL	P	75.20	1'-6"	2'-11"	4.3
RESIDENTIAL	P	75.21	1'-2"	3'-4"	3.8
RESIDENTIAL	M	75.22	2'-4"	3'-6"	8.0
RESIDENTIAL	M	75.23	2'-4"	3'-1"	7.4
RESIDENTIAL	M	75.24	2'-6"	2'-5"	6.1
RESIDENTIAL	M	75.25	3'-0"	3'-2"	9.5
RESIDENTIAL	M	75.26	1'-6"	3'-2"	4.9
RESIDENTIAL	M	75.27	1'-3"	3'-5"	4.4
RESIDENTIAL	M	75.28	2'-0"	6'-11"	13.6
RESIDENTIAL	P	75.29	1'-1"	3'-0"	3.3
RESIDENTIAL	E	75.30	1'-11"	3'-5"	6.4
RESIDENTIAL	E	75.31	1'-2"	4'-6"	5.2
RESIDENTIAL	E	75.32	2'-9"	3'-6"	9.7
RESIDENTIAL	E	75.33	0'-11"	1'-6"	1.3
SUBTOTAL					361.2

75TH FLOOR AREA CALCULATIONS					
ZONE C5-3 MID					
USE	No.	GFA	*DEDUCTIONS	*JTA (SF)	
RESIDENTIAL		1,507	132	1,374	
TOTAL		1,507	132	1,374	

75TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	75.34	0'-8"	8'-8"	5.8
RESIDENTIAL	M	75.35	2'-8"	7'-1"	18.8
RESIDENTIAL	ST	75.36	0'-8"	1'-6"	1.0
RESIDENTIAL	M	75.37	2'-10"	4'-2"	11.7
RESIDENTIAL	M	75.38	2'-3"	3'-11"	8.6
RESIDENTIAL	M	75.39	3'-10"	5'-0"	19.0
RESIDENTIAL	P	75.40	1'-6"	4'-11"	7.4
RESIDENTIAL	P	75.41	1'-2"	2'-11"	3.4
RESIDENTIAL	P	75.42	1'-0"	9'-0"	9.0
RESIDENTIAL	P	75.43	0'-11"	3'-8"	3.2
RESIDENTIAL	M	75.44	1'-4"	1'-6"	2.0
RESIDENTIAL	M	75.45	4'-1"	4'-8"	19.1
RESIDENTIAL	M	75.46	2'-6"	3'-2"	8.0
RESIDENTIAL	M	75.47	1'-8"	3'-0"	5.0
RESIDENTIAL	M	75.48	2'-4"	3'-9"	8.6
RESIDENTIAL	M	75.49	1'-0"	1'-8"	1.6
SUBTOTAL					132.2

75TH FLOOR AREA CALCULATIONS					
ZONE C5-1 AND C5-3 MID					
USE	No.	GFA	*DEDUCTIONS	*JTA (SF)	
RESIDENTIAL		7,835	493	7,342	
TOTAL		7,835	493	7,342	



75TH FLOOR (MFD:113TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS 364\"/>

76TH FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	GFA	*DEDUCTIONS	*JTA (SF)	
RESIDENTIAL		6,329	361	5,967	
TOTAL		6,329	361	5,967	

76TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	76.1	4'-8"	5'-5"	25.3
RESIDENTIAL	M	76.2	1'-6"	3'-2"	4.8
RESIDENTIAL	M	76.3	4'-11"	7'-7"	37.4
RESIDENTIAL	M	76.4	4'-9"	4'-11"	23.2
RESIDENTIAL	ST	76.5	0'-8"	7'-2"	4.6
RESIDENTIAL	ST	76.6	0'-8"	34'-3"	22.8
RESIDENTIAL	M	76.7	4'-5"	8'-2"	36.5
RESIDENTIAL	M	76.8	2'-7"	3'-3"	8.5
RESIDENTIAL	M	76.9	3'-5"	3'-8"	12.5
RESIDENTIAL	M	76.10	1'-3"	2'-10"	3.6
RESIDENTIAL	M	76.11	4'-10"	5'-5"	26.3
RESIDENTIAL	M	76.12	2'-1"	3'-11"	8.1
RESIDENTIAL	P	76.13	1'-2"	6'-2"	7.2
RESIDENTIAL	P	76.14	1'-0"	9'-11"	9.9
RESIDENTIAL	P	76.15	1'-0"	5'-9"	5.8
RESIDENTIAL	ST	76.16	0'-8"	31'-2"	20.8
RESIDENTIAL	P	76.17	0'-10"	4'-0"	3.3
RESIDENTIAL	P	76.18	1'-0"	6'-4"	6.3
RESIDENTIAL	P	76.19	0'-11"	6'-7"	6.2
RESIDENTIAL	P	76.20	1'-6"	2'-11"	4.3
RESIDENTIAL	P	76.21	1'-2"	3'-4"	3.8
RESIDENTIAL	M	76.22	2'-4"	3'-6"	8.0
RESIDENTIAL	M	76.23	2'-4"	3'-1"	7.4
RESIDENTIAL	M	76.24	2'-6"	2'-5"	6.1
RESIDENTIAL	M	76.25	3'-0"	3'-2"	9.5
RESIDENTIAL	M	76.26	1'-6"	3'-2"	4.9
RESIDENTIAL	M	76.27	1'-3"	3'-5"	4.4
RESIDENTIAL	M	76.28	2'-0"	6'-11"	13.6
RESIDENTIAL	P	76.29	1'-1"	3'-0"	3.3
RESIDENTIAL	E	76.30	1'-11"	3'-5"	6.4
RESIDENTIAL	E	76.31	1'-2"	4'-6"	5.2
RESIDENTIAL	E	76.32	2'-9"	3'-6"	9.7
RESIDENTIAL	E	76.33	0'-11"	1'-6"	1.3
SUBTOTAL					361.2

76TH FLOOR AREA CALCULATIONS					
ZONE C5-3 MID					
USE	No.	GFA	*DEDUCTIONS	*JTA (SF)	
RESIDENTIAL		1,507	132	1,374	
TOTAL		1,507	132	1,374	

76TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	76.34	0'-8"	8'-8"	5.8
RESIDENTIAL	M	76.35	2'-8"	7'-1"	18.8
RESIDENTIAL	ST	76.36	0'-8"	1'-6"	1.0
RESIDENTIAL	M	76.37	2'-10"	4'-2"	11.7
RESIDENTIAL	M	76.38	2'-3"	3'-11"	8.6
RESIDENTIAL	M	76.39	3'-10"	5'-0"	19.0
RESIDENTIAL	P	76.40	1'-6"	4'-11"	7.4
RESIDENTIAL	P	76.41	1'-2"	2'-11"	3.4
RESIDENTIAL	P	76.42	1'-0"	9'-0"	9.0
RESIDENTIAL	P	76.43	0'-11"	3'-8"	3.2
RESIDENTIAL	M	76.44	1'-4"	1'-6"	2.0
RESIDENTIAL	M	76.45	4'-	4'-	19.0
RESIDENTIAL	M	76.46	2'-6"	3'-2"	8.6
RESIDENTIAL	M	76.47	1'-8"	3'-0"	5.0
RESIDENTIAL	M	76.48	2'-4"	3'-9"	8.6
RESIDENTIAL	M	76.49	1'-0"	1'-8"	1.0
SUBTOTAL					132.0

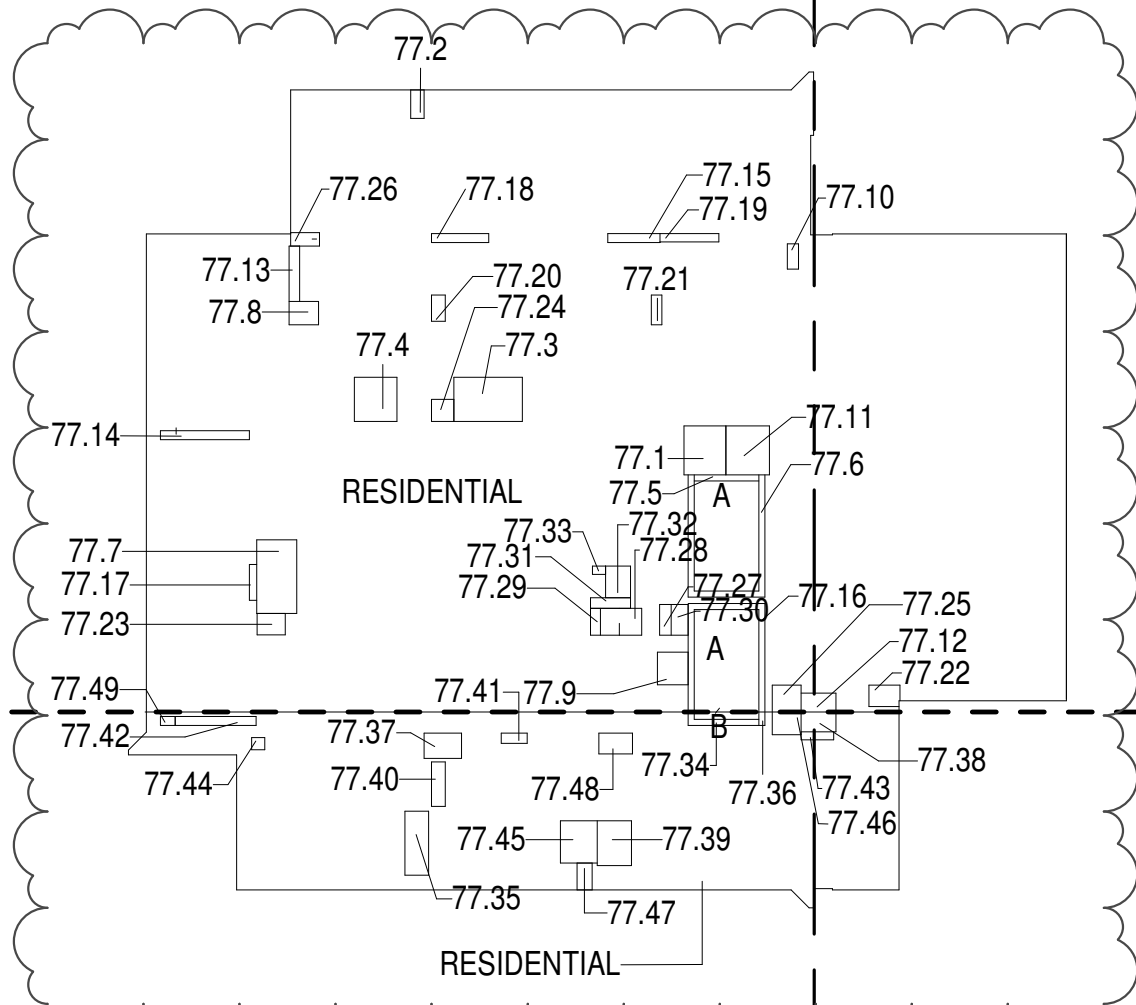
77TH FLOOR AREA CALCULATIONS					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		6,329	361	5,967	
TOTAL		6,329	361	5,967	

77TH FLOOR DEDUCTIONS					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	77.1	4'-8"	5'-5"	25.3
RESIDENTIAL	M	77.2	1'-6"	3'-2"	4.8
RESIDENTIAL	M	77.3	4'-11"	7'-7"	37.4
RESIDENTIAL	M	77.4	4'-9"	4'-11"	23.2
RESIDENTIAL	ST	77.5	0'-8"	7'-2"	4.6
RESIDENTIAL	ST	77.6	0'-8"	34'-3"	22.8
RESIDENTIAL	M	77.7	4'-5"	8'-2"	36.5
RESIDENTIAL	M	77.8	2'-7"	3'-3"	8.5
RESIDENTIAL	M	77.9	3'-5"	3'-8"	12.5
RESIDENTIAL	M	77.10	1'-3"	2'-10"	3.6
RESIDENTIAL	M	77.11	4'-10"	5'-5"	26.3
RESIDENTIAL	M	77.12	2'-1"	3'-11"	8.1
RESIDENTIAL	P	77.13	1'-2"	6'-2"	7.2
RESIDENTIAL	P	77.14	1'-0"	9'-11"	9.9
RESIDENTIAL	P	77.15	1'-0"	5'-9"	5.8
RESIDENTIAL	ST	77.16	0'-8"	31'-2"	20.8
RESIDENTIAL	P	77.17	0'-10"	4'-0"	3.3
RESIDENTIAL	P	77.18	1'-0"	6'-4"	6.3
RESIDENTIAL	P	77.19	0'-11"	6'-7"	6.2
RESIDENTIAL	P	77.20	1'-6"	2'-11"	4.3
RESIDENTIAL	P	77.21	1'-2"	3'-4"	3.8
RESIDENTIAL	M	77.22	2'-4"	3'-6"	8.0
RESIDENTIAL	M	77.23	2'-4"	3'-1"	7.4
RESIDENTIAL	M	77.24	2'-6"	2'-6"	6.1
RESIDENTIAL	M	77.25	3'-0"	3'-2"	9.5
RESIDENTIAL	M	77.26	1'-6"	3'-2"	4.9
RESIDENTIAL	M	77.27	1'-3"	3'-5"	4.4
RESIDENTIAL	M	77.28	2'-0"	6'-11"	13.6
RESIDENTIAL	P	77.29	1'-1"	3'-0"	3.3
RESIDENTIAL	E	77.30	1'-11"	3'-5"	6.4
RESIDENTIAL	E	77.31	1'-2"	4'-6"	5.2
RESIDENTIAL	E	77.32	2'-9"	3'-6"	9.7
RESIDENTIAL	E	77.33	0'-11"	1'-6"	1.3
SUBTOTAL					361.2

77TH FLOOR AREA CALCULATIONS					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		1,507	132	1,374	
TOTAL		1,507	132	1,374	

77TH FLOOR DEDUCTIONS					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	77.34	0'-8"	8'-8"	5.8
RESIDENTIAL	M	77.35	2'-8"	7'-1"	18.8
RESIDENTIAL	ST	77.36	0'-8"	1'-6"	1.0
RESIDENTIAL	M	77.37	2'-10"	4'-2"	11.7
RESIDENTIAL	M	77.38	2'-3"	3'-11"	8.6
RESIDENTIAL	M	77.39	3'-10"	5'-0"	19.0
RESIDENTIAL	P	77.40	1'-6"	4'-11"	7.4
RESIDENTIAL	P	77.41	1'-2"	2'-11"	3.4
RESIDENTIAL	P	77.42	1'-0"	9'-0"	9.0
RESIDENTIAL	P	77.43	0'-11"	3'-8"	3.2
RESIDENTIAL	M	77.44	1'-4"	1'-6"	2.0
RESIDENTIAL	M	77.45	4'-1"	4'-8"	19.1
RESIDENTIAL	M	77.46	2'-6"	3'-2"	8.0
RESIDENTIAL	M	77.47	1'-6"	3'-0"	5.0
RESIDENTIAL	M	77.48	2'-4"	3'-9"	8.6
RESIDENTIAL	M	77.49	1'-0"	1'-8"	1.6
SUBTOTAL					132.2

77TH FLOOR AREA CALCULATIONS					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		7,835	493	7,342	
TOTAL		7,835	493	7,342	



- ZONING AND DEDUCT LEGEND**
- DEDUCTIONS
 - M - MECHANICAL ROOM / RISER
 - E - ELECTRICAL SHAFT / RISER
 - P - PLUMBING RISER
 - BG - BELOW GRADE
 - O - OPENING TO BELOW
 - L - LOADING BAYS
 - ST - 44" RESI STAIR SHAFT (INCLUDING 6" PERIMETER)
 - G - GAP FROM ADJACENT BUILDING
 - DEVELOPMENT LOT LINE

* WHERE APPLICABLE, DOCUMENTED AND CALCULATED AREAS HAVE BEEN ROUNDED TO ITS NEXT SIGNIFICANT DIGIT.

** LENGTH AND WIDTH DIMENSIONS FOR COMPLEX SHAPES HAVE BEEN SIMPLIFIED TO ILLUSTRATE ONLY LARGEST OVERALL DIMENSION RESPECTIVELY. AREA DOCUMENTED IS THE EXACT AREA OF THE COMPLEX SHAPE

*** ELECTRICAL DEDUCTIONS ARE ONLY FOR ELECTRICAL RISERS, AND CLOSETS. NO DEDUCTIONS TAKEN FOR TELEPHONE CLOSETS

77TH FLOOR (MFD:115TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS

364" = 1'-0"

1

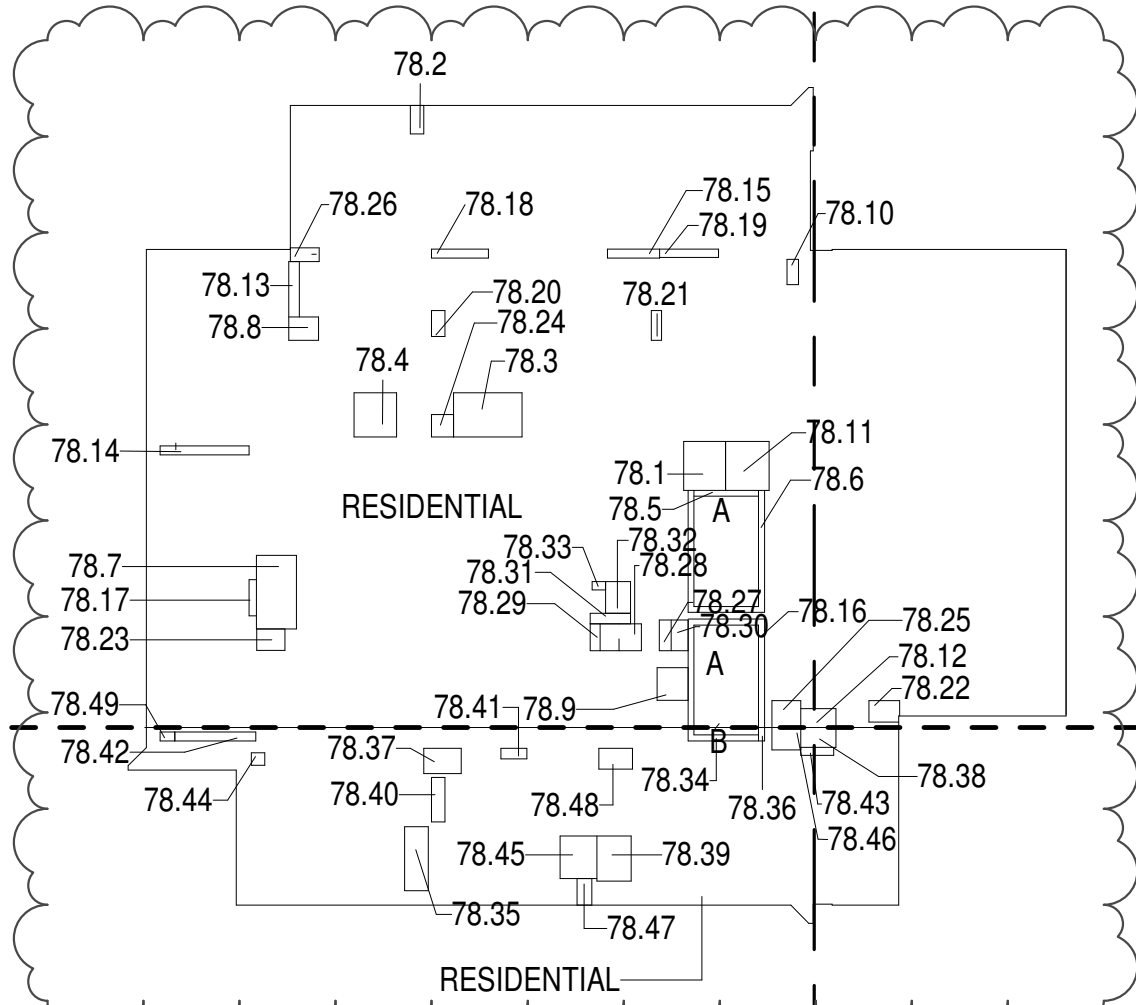
78TH FLOOR AREA CALCULATIONS					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		6,329	361	5,967	
TOTAL		6,329	361	5,967	

78TH FLOOR DEDUCTIONS					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	78.1	4'-8"	5'-5"	25.3
RESIDENTIAL	M	78.2	1'-6"	3'-2"	4.8
RESIDENTIAL	M	78.3	4'-11"	7'-7"	37.4
RESIDENTIAL	M	78.4	4'-9"	4'-11"	23.2
RESIDENTIAL	ST	78.5	0'-8"	7'-2"	4.6
RESIDENTIAL	ST	78.6	0'-8"	34'-3"	22.8
RESIDENTIAL	M	78.7	4'-5"	8'-2"	36.5
RESIDENTIAL	M	78.8	2'-7"	3'-3"	8.5
RESIDENTIAL	M	78.9	3'-5"	3'-8"	12.5
RESIDENTIAL	M	78.10	1'-3"	2'-10"	3.6
RESIDENTIAL	M	78.11	4'-10"	5'-5"	26.3
RESIDENTIAL	M	78.12	2'-1"	3'-11"	8.1
RESIDENTIAL	P	78.13	1'-2"	6'-2"	7.2
RESIDENTIAL	P	78.14	1'-0"	9'-11"	9.9
RESIDENTIAL	P	78.15	1'-0"	5'-9"	5.8
RESIDENTIAL	ST	78.16	0'-8"	31'-2"	20.8
RESIDENTIAL	P	78.17	0'-10"	4'-0"	3.3
RESIDENTIAL	P	78.18	1'-0"	6'-4"	6.3
RESIDENTIAL	P	78.19	0'-11"	6'-7"	6.2
RESIDENTIAL	P	78.20	1'-6"	2'-11"	4.3
RESIDENTIAL	P	78.21	1'-2"	3'-4"	3.8
RESIDENTIAL	M	78.22	2'-4"	3'-6"	8.0
RESIDENTIAL	M	78.23	2'-4"	3'-1"	7.4
RESIDENTIAL	M	78.24	2'-6"	2'-6"	6.1
RESIDENTIAL	M	78.25	3'-0"	3'-2"	9.5
RESIDENTIAL	M	78.26	1'-6"	3'-2"	4.9
RESIDENTIAL	M	78.27	1'-3"	3'-5"	4.4
RESIDENTIAL	M	78.28	2'-0"	6'-11"	13.6
RESIDENTIAL	P	78.29	1'-1"	3'-0"	3.3
RESIDENTIAL	E	78.30	1'-11"	3'-5"	6.4
RESIDENTIAL	E	78.31	1'-2"	4'-6"	5.2
RESIDENTIAL	E	78.32	2'-9"	3'-6"	9.7
RESIDENTIAL	E	78.33	0'-11"	1'-6"	1.3
SUBTOTAL					361.2

78TH FLOOR AREA CALCULATIONS					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		1,507	132	1,374	
TOTAL		1,507	132	1,374	

78TH FLOOR DEDUCTIONS					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	78.34	0'-8"	8'-8"	5.8
RESIDENTIAL	M	78.35	2'-8"	7'-1"	18.8
RESIDENTIAL	ST	78.36	0'-8"	1'-6"	1.0
RESIDENTIAL	M	78.37	2'-10"	4'-2"	11.7
RESIDENTIAL	M	78.38	2'-3"	3'-11"	8.6
RESIDENTIAL	M	78.39	3'-10"	5'-0"	19.0
RESIDENTIAL	P	78.40	1'-6"	4'-11"	7.4
RESIDENTIAL	P	78.41	1'-2"	2'-11"	3.4
RESIDENTIAL	P	78.42	1'-0"	9'-0"	9.0
RESIDENTIAL	P	78.43	0'-11"	3'-8"	3.2
RESIDENTIAL	M	78.44	1'-4"	1'-6"	2.0
RESIDENTIAL	M	78.45	4'-1"	4'-8"	19.1
RESIDENTIAL	M	78.46	2'-6"	3'-2"	8.0
RESIDENTIAL	M	78.47	1'-6"	3'-0"	5.0
RESIDENTIAL	M	78.48	2'-4"	3'-9"	8.6
RESIDENTIAL	M	78.49	1'-0"	1'-8"	1.6
SUBTOTAL					132.2

78TH FLOOR AREA CALCULATIONS					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		7,835	493	7,342	
TOTAL		7,835	493	7,342	



78TH FLOOR (MFD:116TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS

364" = 1'-0"

2

79TH FLOOR AREA CALCULATIONS					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		6,329	361	5,967	
TOTAL		6,329	361	5,967	

79TH FLOOR DEDUCTIONS					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	79.1	4'-8"	5'-5"	25.3
RESIDENTIAL	M	79.2	1'-6"	3'-2"	4.8
RESIDENTIAL	M	79.3	4'-11"	7'-7"	37.4
RESIDENTIAL	M	79.4	4'-9"	4'-11"	23.2
RESIDENTIAL	ST	79.5	0'-8"	7'-2"	4.6
RESIDENTIAL	ST	79.6	0'-8"	34'-3"	22.8
RESIDENTIAL	M	79.7	4'-5"	8'-2"	36.5
RESIDENTIAL	M	79.8	2'-7"	3'-3"	8.5
RESIDENTIAL	M	79.9	3'-5"	3'-8"	12.5
RESIDENTIAL	M	79.10	1'-3"	2'-10"	3.6
RESIDENTIAL	M	79.11	4'-10"	5'-5"	26.3
RESIDENTIAL	M	79.12	2'-1"	3'-11"	8.1
RESIDENTIAL	P	79.13	1'-2"	6'-2"	7.2
RESIDENTIAL	P	79.14	1'-0"	9'-11"	9.9
RESIDENTIAL	P	79.15	1'-0"	5'-9"	5.8
RESIDENTIAL	ST	79.16	0'-8"	31'-2"	20.8
RESIDENTIAL	P	79.17	0'-10"	4'-0"	3.3
RESIDENTIAL	P	79.18	1'-0"	6'-4"	6.3
RESIDENTIAL	P	79.19	0'-11"	6'-7"	6.2
RESIDENTIAL	P	79.20	1'-6"	2'-11"	4.3
RESIDENTIAL	P	79.21	1'-2"	3'-4"	3.8
RESIDENTIAL	M	79.22	2'-4"	3'-6"	8.0
RESIDENTIAL	M	79.23	2'-4"	3'-1"	7.4
RESIDENTIAL	M	79.24	2'-6"	2'-6"	6.1
RESIDENTIAL	M	79.25	3'-0"	3'-2"	9.5
RESIDENTIAL	M	79.26	1'-6"	3'-2"	4.9
RESIDENTIAL	M	79.27	1'-3"	3'-5"	4.4
RESIDENTIAL	M	79.28	2'-0"	6'-11"	13.6
RESIDENTIAL	P	79.29	1'-1"	3'-0"	3.3
RESIDENTIAL	E	79.30	1'-11"	3'-5"	6.4
RESIDENTIAL	E	79.31	1'-2"	4'-6"	5.2
RESIDENTIAL	E	79.32	2'-9"	3'-6"	9.7
RESIDENTIAL	E	79.33	0'-11"	1'-6"	1.3
SUBTOTAL					361.2

79TH FLOOR AREA CALCULATIONS					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		1,507	132	1,374	
TOTAL		1,507	132	1,374	

79TH FLOOR DEDUCTIONS					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	79.34	0'-8"	8'-8"	5.8
RESIDENTIAL	M	79.35	2'-8"	7'-1"	18.8
RESIDENTIAL	ST	79.36	0'-8"	1'-6"	1.0
RESIDENTIAL	M	79.37	2'-10"	4'-2"	11.7
RESIDENTIAL	M	79.38	2'-3"	3'-11"	8.6
RESIDENTIAL	M	79.39	3'-10"	5'-0"	19.0
RESIDENTIAL	P	79.40	1'-6"	4'-11"	7.4
RESIDENTIAL	P	79.41	1'-2"	2'-11"	3.4
RESIDENTIAL	P	79.42	1'-0"	9'-0"	9.0
RESIDENTIAL	P	79.43	0'-11"	3'-8"	3.2
RESIDENTIAL	M	79.44	1'-4"	1'-6"	2.0
RESIDENTIAL	M	79.45	4'-1"	4'-8"	19.1
RESIDENTIAL	M	79.46	2'-6"	3'-2"	8.0
RESIDENTIAL	M	79.47	1'-6"	3'-0"	5.0
RESIDENTIAL	M	79.48	2'-4"	3'-9"	8.6
RESIDENTIAL	M	79.49	1'-0"	1'-8"	1.6
SUBTOTAL					132.2

79TH FLOOR AREA CALCULATIONS			
ZONE C5-1 AND C5-3 MID			
USE	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	7,835	493	7,342
TOTAL	7,835	493	7,342

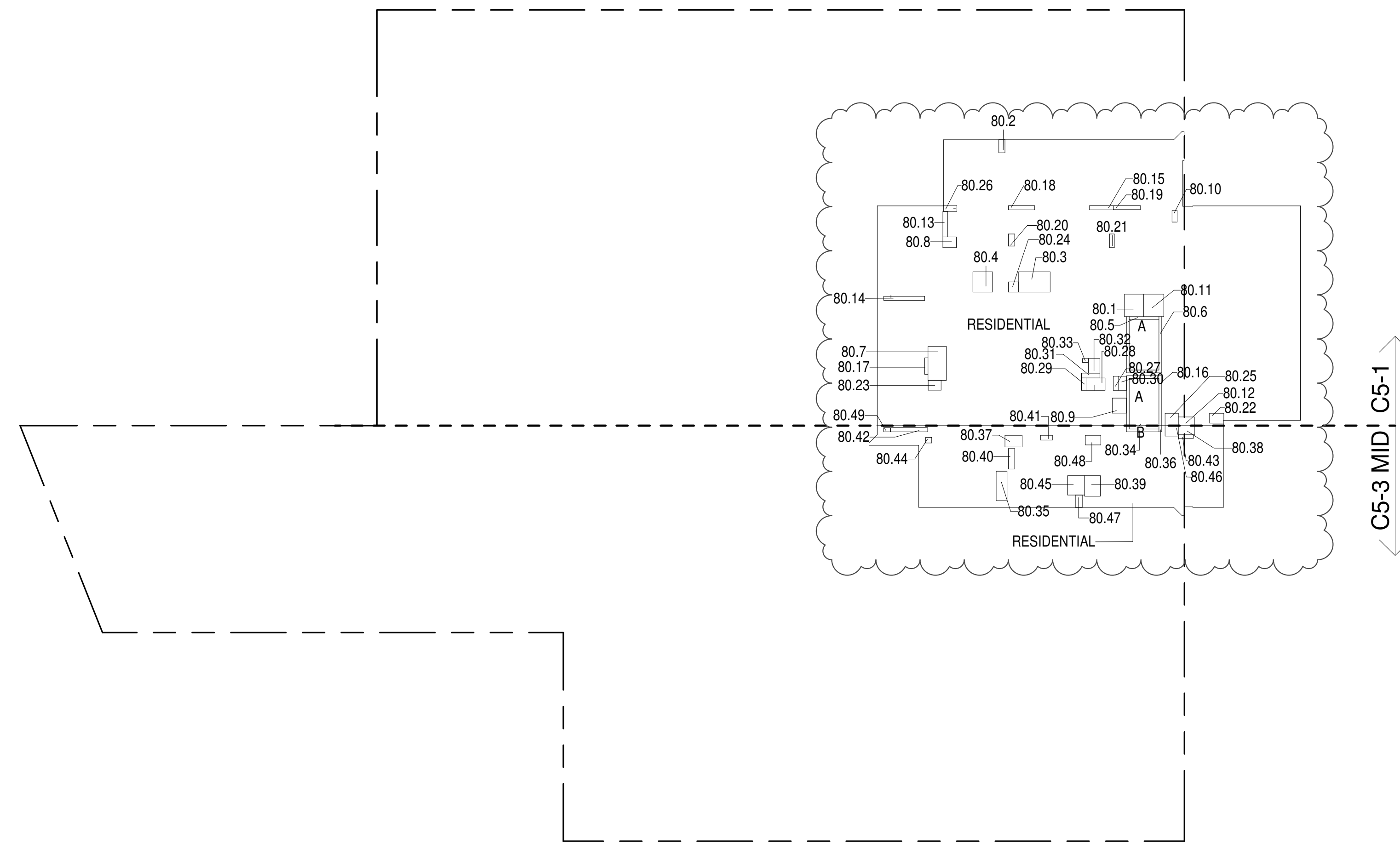
80TH FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		6,329	361	5,967	
TOTAL		6,329	361	5,967	

80TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	80.1	4'-8"	5'-5"	25.3
RESIDENTIAL	M	80.2	1'-6"	3'-2"	4.8
RESIDENTIAL	M	80.3	4'-11"	7'-7"	37.4
RESIDENTIAL	M	80.4	4'-9"	4'-11"	23.2
RESIDENTIAL	ST	80.5	0'-8"	7'-2"	4.6
RESIDENTIAL	ST	80.6	0'-8"	34'-3"	22.8
RESIDENTIAL	M	80.7	4'-5"	8'-2"	36.5
RESIDENTIAL	M	80.8	2'-7"	3'-3"	8.5
RESIDENTIAL	M	80.9	3'-5"	3'-8"	12.5
RESIDENTIAL	M	80.10	1'-3"	2'-10"	3.6
RESIDENTIAL	M	80.11	4'-10"	5'-5"	26.3
RESIDENTIAL	M	80.12	2'-1"	3'-11"	8.1
RESIDENTIAL	P	80.13	1'-2"	6'-2"	7.2
RESIDENTIAL	P	80.14	1'-0"	9'-11"	9.9
RESIDENTIAL	P	80.15	1'-0"	9'-9"	5.8
RESIDENTIAL	ST	80.16	0'-8"	31'-2"	20.8
RESIDENTIAL	P	80.17	0'-10"	4'-0"	3.3
RESIDENTIAL	P	80.18	1'-0"	6'-4"	6.3
RESIDENTIAL	P	80.19	0'-11"	6'-7"	6.2
RESIDENTIAL	P	80.20	1'-6"	2'-11"	4.3
RESIDENTIAL	P	80.21	1'-2"	3'-4"	3.8
RESIDENTIAL	M	80.22	2'-4"	3'-6"	8.0
RESIDENTIAL	M	80.23	2'-4"	3'-11"	7.4
RESIDENTIAL	M	80.24	2'-6"	2'-6"	6.1
RESIDENTIAL	M	80.25	3'-0"	3'-2"	9.5
RESIDENTIAL	M	80.26	1'-6"	3'-2"	4.9
RESIDENTIAL	M	80.27	1'-3"	3'-5"	4.4
RESIDENTIAL	M	80.28	2'-0"	6'-11"	13.6
RESIDENTIAL	P	80.29	1'-1"	3'-0"	3.3
RESIDENTIAL	E	80.30	1'-11"	3'-5"	6.4
RESIDENTIAL	E	80.31	1'-2"	4'-6"	5.2
RESIDENTIAL	E	80.32	2'-9"	3'-6"	9.7
RESIDENTIAL	E	80.33	0'-11"	1'-6"	1.3
SUBTOTAL					361.2

80TH FLOOR AREA CALCULATIONS					
ZONE C5-3 MID					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		1,507	132	1,374	
TOTAL		1,507	132	1,374	

80TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	80.34	0'-8"	8'-8"	5.8
RESIDENTIAL	M	80.35	2'-8"	7'-1"	18.8
RESIDENTIAL	ST	80.36	0'-8"	1'-6"	1.0
RESIDENTIAL	M	80.37	2'-10"	4'-2"	11.7
RESIDENTIAL	M	80.38	2'-3"	3'-11"	8.6
RESIDENTIAL	M	80.39	3'-10"	5'-0"	19.0
RESIDENTIAL	P	80.40	1'-6"	4'-11"	7.4
RESIDENTIAL	P	80.41	1'-2"	2'-11"	3.4
RESIDENTIAL	P	80.42	1'-0"	9'-0"	9.0
RESIDENTIAL	P	80.43	0'-11"	3'-8"	3.2
RESIDENTIAL	M	80.44	1'-4"	1'-6"	2.0
RESIDENTIAL	M	80.45	4'-1"	4'-8"	19.1
RESIDENTIAL	M	80.46	2'-6"	3'-2"	8.0
RESIDENTIAL	M	80.47	1'-8"	3'-0"	5.0
RESIDENTIAL	M	80.48	2'-4"	3'-9"	8.6
RESIDENTIAL	M	80.49	1'-0"	1'-8"	1.6
SUBTOTAL					132.2

80TH FLOOR AREA CALCULATIONS					
ZONE C5-1 AND C5-3 MID					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		7,835	493	7,342	
TOTAL		7,835	493	7,342	



80TH FLOOR (MFD:118TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS

364" = 1'-0"

1

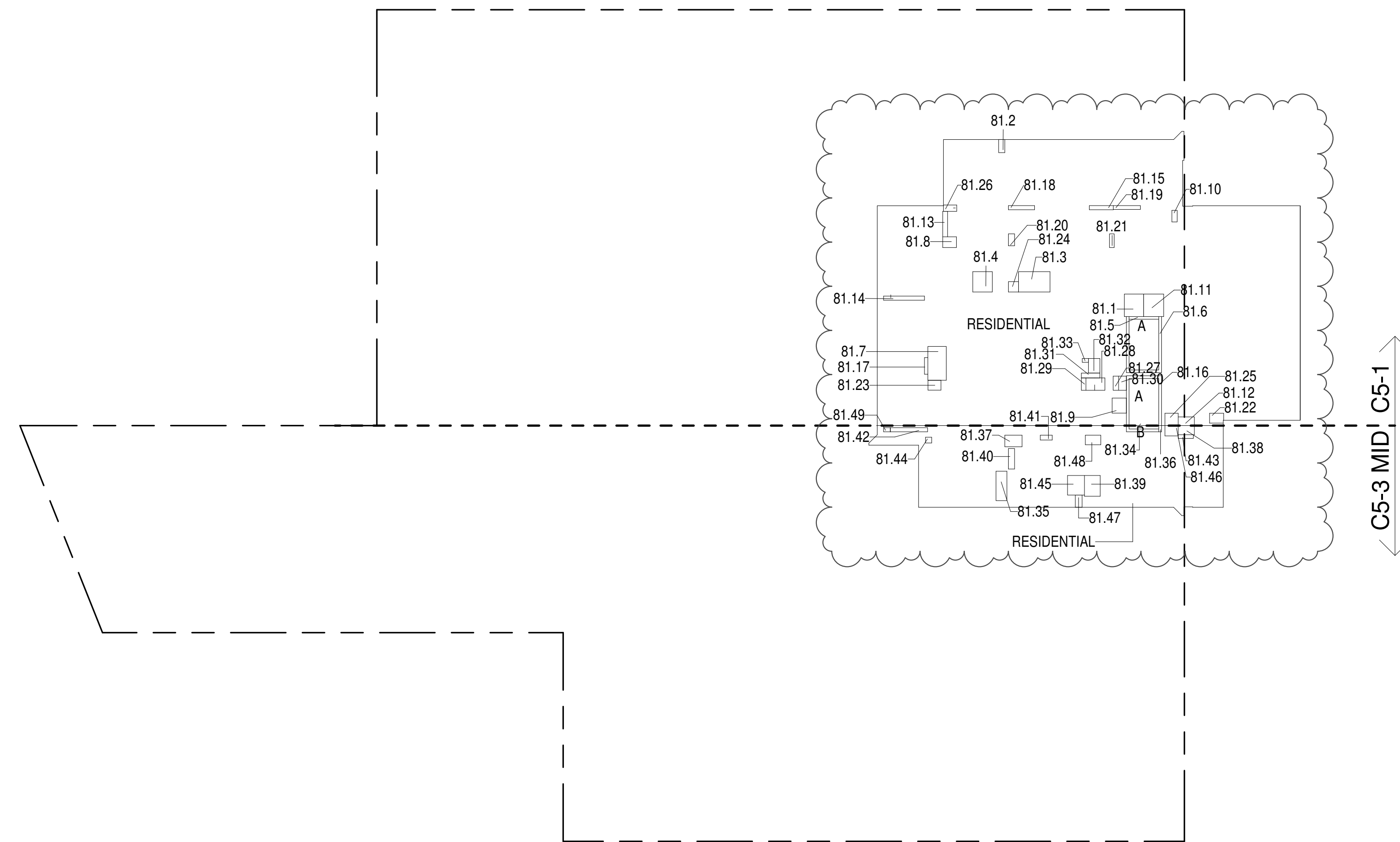
81ST FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		6,329	361	5,967	
TOTAL		6,329	361	5,967	

81ST FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	81.1	4'-8"	5'-5"	25.3
RESIDENTIAL	M	81.2	1'-6"	3'-2"	4.8
RESIDENTIAL	M	81.3	4'-11"	7'-7"	37.4
RESIDENTIAL	M	81.4	4'-9"	4'-11"	23.2
RESIDENTIAL	ST	81.5	0'-8"	7'-2"	4.6
RESIDENTIAL	ST	81.6	0'-8"	34'-3"	22.8
RESIDENTIAL	M	81.7	4'-5"	8'-2"	36.5
RESIDENTIAL	M	81.8	2'-7"	3'-3"	8.5
RESIDENTIAL	M	81.9	3'-5"	3'-8"	12.5
RESIDENTIAL	M	81.10	1'-3"	2'-10"	3.6
RESIDENTIAL	M	81.11	4'-10"	5'-5"	26.3
RESIDENTIAL	M	81.12	2'-1"	3'-11"	8.1
RESIDENTIAL	P	81.13	1'-2"	6'-2"	7.2
RESIDENTIAL	P	81.14	1'-0"	9'-11"	9.9
RESIDENTIAL	P	81.15	1'-0"	9'-9"	5.8
RESIDENTIAL	ST	81.16	0'-8"	31'-2"	20.8
RESIDENTIAL	P	81.17	0'-10"	4'-0"	3.3
RESIDENTIAL	P	81.18	1'-0"	6'-4"	6.3
RESIDENTIAL	P	81.19	0'-11"	6'-7"	6.2
RESIDENTIAL	P	81.20	1'-6"	2'-11"	4.3
RESIDENTIAL	P	81.21	1'-2"	3'-4"	3.8
RESIDENTIAL	M	81.22	2'-4"	3'-6"	8.0
RESIDENTIAL	M	81.23	2'-4"	3'-11"	7.4
RESIDENTIAL	M	81.24	2'-6"	2'-6"	6.1
RESIDENTIAL	M	81.25	3'-0"	3'-2"	9.5
RESIDENTIAL	M	81.26	1'-6"	3'-2"	4.9
RESIDENTIAL	M	81.27	1'-3"	3'-5"	4.4
RESIDENTIAL	M	81.28	2'-0"	6'-11"	13.6
RESIDENTIAL	P	81.29	1'-1"	3'-0"	3.3
RESIDENTIAL	E	81.30	1'-11"	3'-5"	6.4
RESIDENTIAL	E	81.31	1'-2"	4'-6"	5.2
RESIDENTIAL	E	81.32	2'-9"	3'-6"	9.7
RESIDENTIAL	E	81.33	0'-11"	1'-6"	1.3
SUBTOTAL					361.2

81ST FLOOR AREA CALCULATIONS					
ZONE C5-3 MID					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		1,507	132	1,374	
TOTAL		1,507	132	1,374	

81ST FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	81.34	0'-8"	8'-8"	5.8
RESIDENTIAL	M	81.35	2'-8"	7'-1"	18.8
RESIDENTIAL	ST	81.36	0'-8"	1'-6"	1.0
RESIDENTIAL	M	81.37	2'-10"	4'-2"	11.7
RESIDENTIAL	M	81.38	2'-3"	3'-11"	8.6
RESIDENTIAL	M	81.39	3'-10"	5'-0"	19.0
RESIDENTIAL	P	81.40	1'-6"	4'-11"	7.4
RESIDENTIAL	P	81.41	1'-2"	2'-11"	3.4
RESIDENTIAL	P	81.42	1'-0"	9'-0"	9.0
RESIDENTIAL	P	81.43	0'-11"	3'-8"	3.2
RESIDENTIAL	M	81.44	1'-4"	1'-6"	2.0
RESIDENTIAL	M	81.45	4'-1"	4'-8"	19.1
RESIDENTIAL	M	81.46	2'-6"	3'-2"	8.0
RESIDENTIAL	M	81.47	1'-8"	3'-0"	5.0
RESIDENTIAL	M	81.48	2'-4"	3'-9"	8.6
RESIDENTIAL	M	81.49	1'-0"	1'-8"	1.6
SUBTOTAL					132.2

81ST FLOOR AREA CALCULATIONS					
ZONE C5-1 AND C5-3 MID					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		7,835	493	7,342	
TOTAL		7,835	493	7,342	



81ST FLOOR (MFD:119TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS

364" = 1'-0"

2

82ND FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		6,329	361	5,967	
TOTAL		6,329	361	5,967	

82ND FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	82.1	4'-8"	5'-5"	25.3
RESIDENTIAL	M	82.2	1'-6"	3'-2"	4.8
RESIDENTIAL	M	82.3	4'-11"	7'-7"	37.4
RESIDENTIAL	M	82.4	4'-9"	4'-11"	23.2
RESIDENTIAL	ST	82.5	0'-8"	7'-2"	4.6
RESIDENTIAL	ST	82.6	0'-8"	34'-3"	22.8
RESIDENTIAL	M	82.7	4'-5"	8'-2"	36.5
RESIDENTIAL	M	82.8	2'-7"	3'-3"	8.5
RESIDENTIAL	M	82.9	3'-5"	3'-8"	12.5
RESIDENTIAL	M	82.10	1'-3"	2'-10"	3.6
RESIDENTIAL	M	82.11	4'-10"	5'-5"	26.3
RESIDENTIAL	M	82.12	2'-1"	3'-11"	8.1
RESIDENTIAL	P	82.13	1'-2"	6'-2"	7.2
RESIDENTIAL	P	82.14	1'-0"	9'-11"	9.9
RESIDENTIAL	P	82.15	1'-0"	9'-9"	5.8
RESIDENTIAL	ST	82.16	0'-8"	31'-2"	20.8
RESIDENTIAL	P	82.17	0'-10"	4'-0"	3.3
RESIDENTIAL	P	82.18	1'-0"	6'-4"	6.3
RESIDENTIAL	P	82.19	0'-11"	6'-7"	6.2
RESIDENTIAL	P	82.20	1'-6"	2'-11"	4.3
RESIDENTIAL	P	82.21	1'-2"	3'-4"	3.8
RESIDENTIAL	M	82.22	2'-4"	3'-6"	8.0
RESIDENTIAL	M	82.23	2'-4"	3'-11"	7.4
RESIDENTIAL	M	82.24	2'-6"	2'-6"	6.1
RESIDENTIAL	M	82.25	3'-0"	3'-2"	9.5
RESIDENTIAL	M	82.26	1'-6"	3'-2"	4.9
RESIDENTIAL	M	82.27	1'-3"	3'-5"	4.4
RESIDENTIAL	M	82.28	2'-0"	6'-11"	13.6
RESIDENTIAL	P	82.29	1'-1"	3'-0"	3.3
RESIDENTIAL	E	82.30	1'-11"	3'-5"	6.4
RESIDENTIAL	E	82.31	1'-2"	4'-6"	5.2
RESIDENTIAL	E	82.32	2'-9"	3'-6"	9.7
RESIDENTIAL	E	82.33	0'-11"	1'-6"	1.3
SUBTOTAL					361.2

82ND FLOOR AREA CALCULATIONS					
ZONE C5-3 MID					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		1,507	132	1,374	
TOTAL		1,507	132	1,374	

82ND FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	NO.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	82.34	0'-8"	8'-8"	5.8
RESIDENTIAL	M	82.35	2'-8"	7'-1"	18.8
RESIDENTIAL	ST	82.36	0'-8"	1'-6"	1.0
RESIDENTIAL	M	82.37	2'-10"	4'-2"	11.7
RESIDENTIAL	M	82.38	2'-3"	3'-11"	8.6
RESIDENTIAL	M	82.39	3'-10"	5'-0"	19.0
RESIDENTIAL	P	82.40	1'-6"	4'-11"	7.4
RESIDENTIAL	P	82.41	1'-2"	2'-11"	3.4
RESIDENTIAL	P	82.42	1'-0"	9'-0"	9.0
RESIDENTIAL	P	82.43	0'-11"	3'-8"	3.2
RESIDENTIAL	ST	82.44	0'-8"	1'-6"	1.0
RESIDENTIAL	M	82.45	4'-1"	4'-8"	19.0
RESIDENTIAL	M	82.46	2'-6"	3'-2"	8.6
RESIDENTIAL	M	82.47	1'-8"	3'-0"	5.8
RESIDENTIAL	M	82.48	2'-4"	3'-9"	8.6
RESIDENTIAL	M	82.49	1'-0"	8'-1"	8.6
SUBTOTAL					132.2

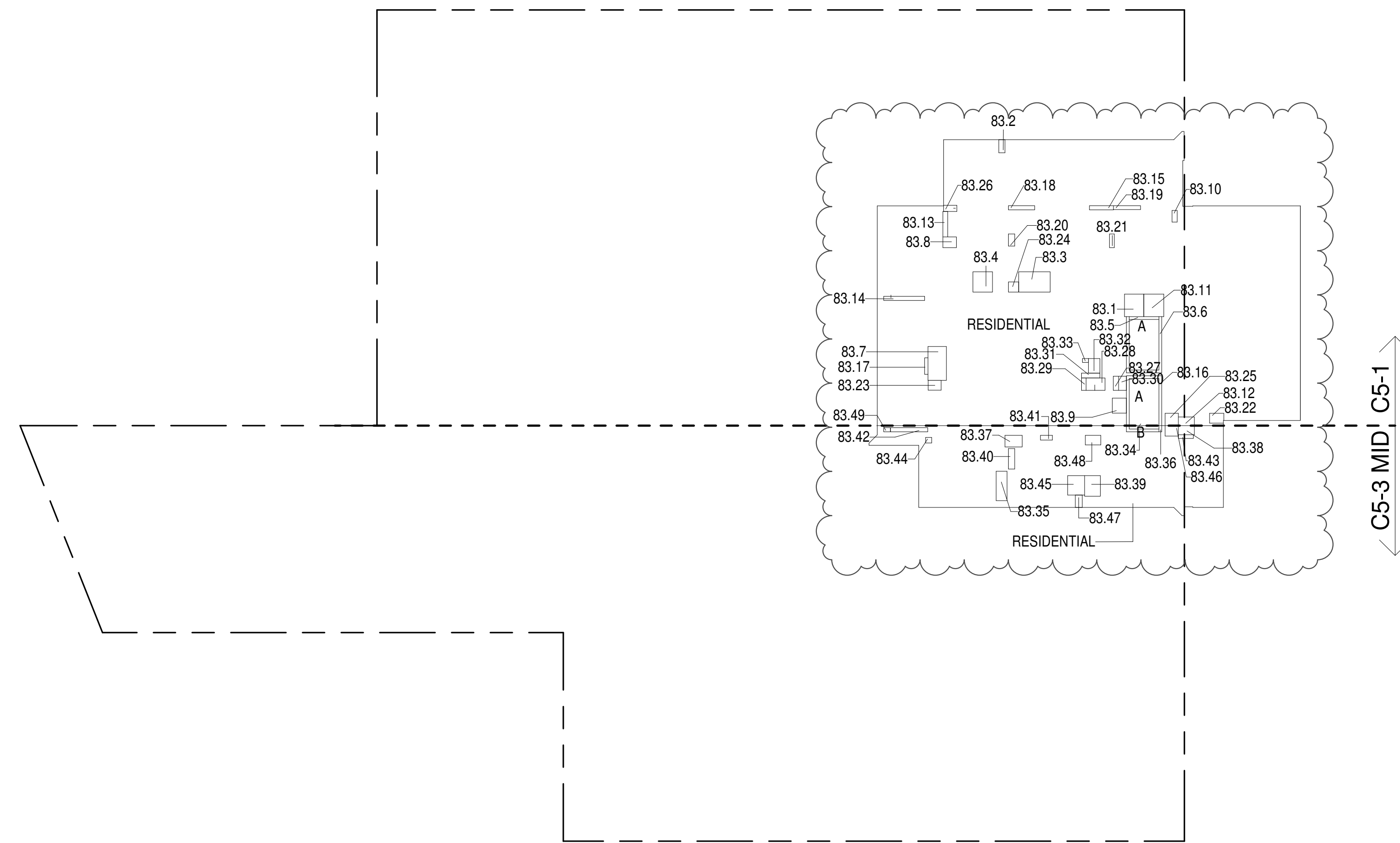
83RD FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		6,329	361	5,967	
TOTAL		6,329	361	5,967	

83RD FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	83.1	4'-8"	5'-5"	25.3
RESIDENTIAL	M	83.2	1'-6"	3'-2"	4.8
RESIDENTIAL	M	83.3	4'-11"	7'-7"	37.4
RESIDENTIAL	M	83.4	4'-9"	4'-11"	23.2
RESIDENTIAL	ST	83.5	0'-8"	3'-3"	2.8
RESIDENTIAL	ST	83.6	0'-8"	3'-3"	2.8
RESIDENTIAL	M	83.7	4'-5"	6'-2"	36.5
RESIDENTIAL	M	83.8	2'-7"	3'-3"	8.5
RESIDENTIAL	M	83.9	3'-5"	3'-8"	12.5
RESIDENTIAL	M	83.10	1'-3"	2'-10"	3.6
RESIDENTIAL	M	83.11	4'-10"	5'-5"	26.3
RESIDENTIAL	M	83.12	2'-1"	3'-11"	8.1
RESIDENTIAL	P	83.13	1'-2"	6'-2"	7.2
RESIDENTIAL	P	83.14	1'-0"	9'-11"	9.9
RESIDENTIAL	P	83.15	1'-0"	9'-11"	9.9
RESIDENTIAL	ST	83.16	0'-8"	3'-1"	2.8
RESIDENTIAL	P	83.17	0'-10"	4'-0"	3.3
RESIDENTIAL	P	83.18	1'-0"	6'-4"	6.3
RESIDENTIAL	P	83.19	0'-11"	6'-7"	6.2
RESIDENTIAL	P	83.20	1'-6"	2'-11"	4.3
RESIDENTIAL	P	83.21	1'-2"	3'-4"	3.8
RESIDENTIAL	M	83.22	2'-4"	3'-6"	8.0
RESIDENTIAL	M	83.23	2'-4"	3'-1"	7.4
RESIDENTIAL	M	83.24	2'-6"	2'-6"	6.1
RESIDENTIAL	M	83.25	3'-0"	3'-2"	9.5
RESIDENTIAL	M	83.26	1'-6"	3'-2"	4.9
RESIDENTIAL	M	83.27	1'-3"	3'-5"	4.4
RESIDENTIAL	M	83.28	2'-0"	6'-11"	13.6
RESIDENTIAL	P	83.29	1'-1"	3'-0"	3.3
RESIDENTIAL	E	83.30	1'-11"	3'-5"	6.4
RESIDENTIAL	E	83.31	1'-2"	4'-6"	5.2
RESIDENTIAL	E	83.32	2'-9"	3'-6"	9.7
RESIDENTIAL	E	83.33	0'-11"	1'-6"	1.3
SUBTOTAL					361.2

83RD FLOOR AREA CALCULATIONS					
ZONE C5-3 MID					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		1,507	132	1,374	
TOTAL		1,507	132	1,374	

83RD FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	83.34	0'-8"	8'-8"	5.8
RESIDENTIAL	M	83.35	2'-8"	7'-1"	18.8
RESIDENTIAL	ST	83.36	0'-8"	1'-6"	1.0
RESIDENTIAL	M	83.37	2'-10"	4'-2"	11.7
RESIDENTIAL	M	83.38	2'-3"	3'-11"	8.6
RESIDENTIAL	M	83.39	3'-10"	5'-0"	19.0
RESIDENTIAL	P	83.40	1'-6"	4'-11"	7.4
RESIDENTIAL	P	83.41	1'-2"	2'-11"	3.4
RESIDENTIAL	P	83.42	1'-0"	9'-0"	9.0
RESIDENTIAL	P	83.43	0'-11"	3'-8"	3.2
RESIDENTIAL	M	83.44	1'-4"	1'-6"	2.0
RESIDENTIAL	M	83.45	4'-1"	4'-8"	19.1
RESIDENTIAL	M	83.46	2'-6"	3'-2"	8.0
RESIDENTIAL	M	83.47	1'-8"	3'-0"	5.0
RESIDENTIAL	M	83.48	2'-4"	3'-9"	8.6
RESIDENTIAL	M	83.49	1'-0"	1'-8"	1.6
SUBTOTAL					132.2

83RD FLOOR AREA CALCULATIONS					
ZONE C5-1 AND C5-3 MID					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		7,835	493	7,342	
TOTAL		7,835	493	7,342	



83RD FLOOR (MFD:121ST FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS

364" = 1'-0"

1

ZONING AND DEDUCT LEGEND

DEDUCTIONS

M - MECHANICAL ROOM / RISER
E - ELECTRICAL SHAFT / RISER
P - PLUMBING RISER

BG - BELOW GRADE

O - OPENING TO BELOW

L - LOADING BAYS

ST - 44" RESI STAIR SHAFT (INCLUDING 6" PERIMETER)

G - GAP FROM ADJACENT BUILDING

--- DEVELOPMENT LOT LINE

* WHERE APPLICABLE, DOCUMENTED AND CALCULATED AREAS HAVE BEEN ROUNDED TO ITS NEXT SIGNIFICANT DIGIT.

** LENGTH AND WIDTH DIMENSIONS FOR COMPLEX SHAPES HAVE BEEN SIMPLIFIED TO ILLUSTRATE ONLY LARGEST OVERALL DIMENSION RESPECTIVELY. AREA DOCUMENTED IS THE EXACT AREA OF THE COMPLEX SHAPE

*** ELECTRICAL DEDUCTIONS ARE ONLY FOR ELECTRICAL RISERS, AND CLOSETS. NO DEDUCTIONS TAKEN FOR TELEPHONE CLOSETS

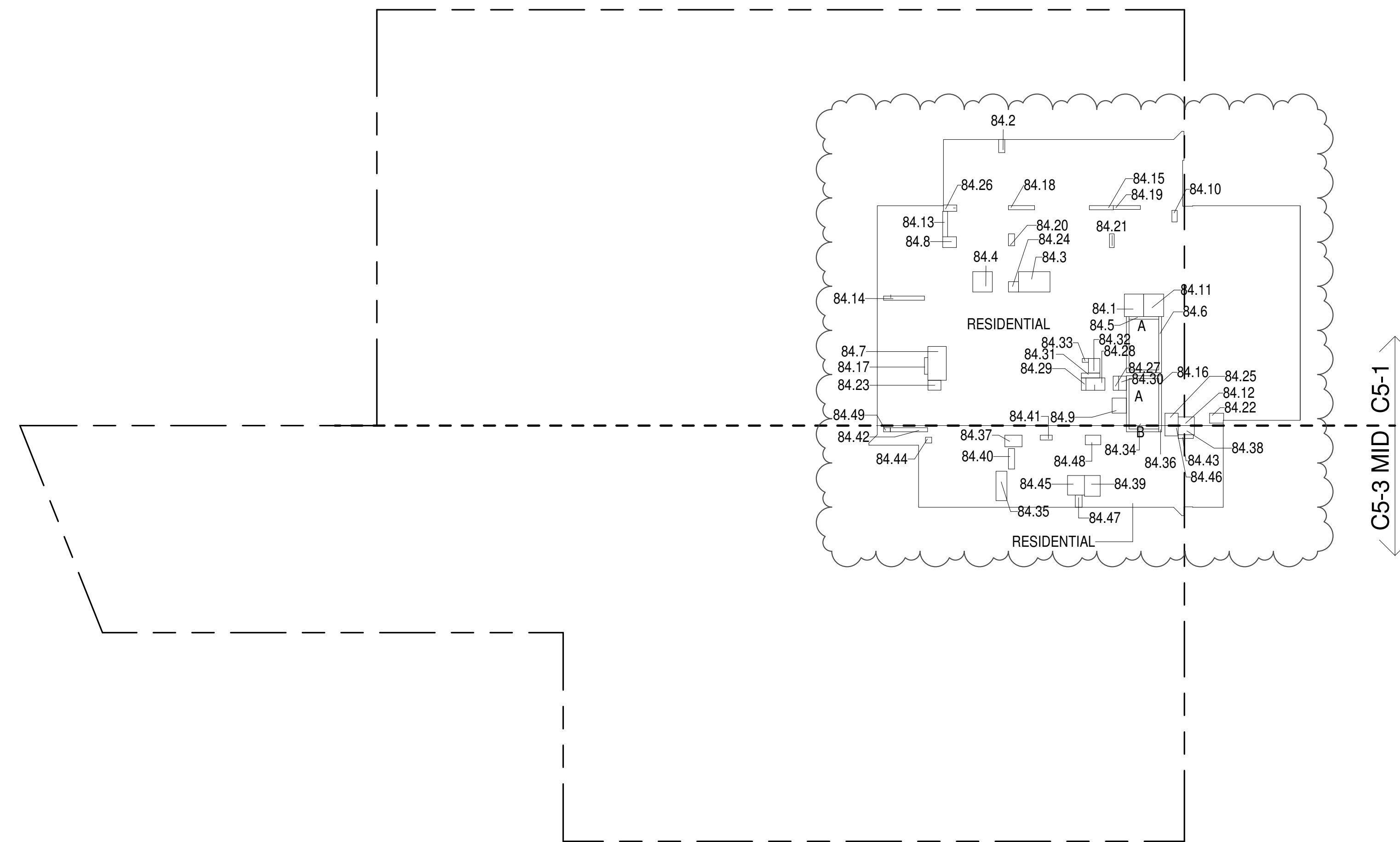
84TH FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		6,329	361	5,967	
TOTAL		6,329	361	5,967	

84TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	84.1	4'-8"	5'-5"	25.3
RESIDENTIAL	M	84.2	1'-6"	3'-2"	4.8
RESIDENTIAL	M	84.3	4'-11"	7'-7"	37.4
RESIDENTIAL	M	84.4	4'-9"	4'-11"	23.2
RESIDENTIAL	ST	84.5	0'-8"	3'-3"	2.8
RESIDENTIAL	ST	84.6	0'-8"	3'-3"	2.8
RESIDENTIAL	M	84.7	4'-5"	6'-2"	36.5
RESIDENTIAL	M	84.8	2'-7"	3'-3"	8.5
RESIDENTIAL	M	84.9	3'-5"	3'-8"	12.5
RESIDENTIAL	M	84.10	1'-3"	2'-10"	3.6
RESIDENTIAL	M	84.11	4'-10"	5'-5"	26.3
RESIDENTIAL	M	84.12	2'-1"	3'-11"	8.1
RESIDENTIAL	P	84.13	1'-2"	6'-2"	7.2
RESIDENTIAL	P	84.14	1'-0"	9'-11"	9.9
RESIDENTIAL	P	84.15	1'-0"	9'-11"	9.9
RESIDENTIAL	ST	84.16	0'-8"	3'-1"	2.8
RESIDENTIAL	P	84.17	0'-10"	4'-0"	3.3
RESIDENTIAL	P	84.18	1'-0"	6'-4"	6.3
RESIDENTIAL	P	84.19	0'-11"	6'-7"	6.2
RESIDENTIAL	P	84.20	1'-6"	2'-11"	4.3
RESIDENTIAL	P	84.21	1'-2"	3'-4"	3.8
RESIDENTIAL	M	84.22	2'-4"	3'-6"	8.0
RESIDENTIAL	M	84.23	2'-4"	3'-1"	7.4
RESIDENTIAL	M	84.24	2'-6"	2'-6"	6.1
RESIDENTIAL	M	84.25	3'-0"	3'-2"	9.5
RESIDENTIAL	M	84.26	1'-6"	3'-2"	4.9
RESIDENTIAL	M	84.27	1'-3"	3'-5"	4.4
RESIDENTIAL	M	84.28	2'-0"	6'-11"	13.6
RESIDENTIAL	P	84.29	1'-1"	3'-0"	3.3
RESIDENTIAL	E	84.30	1'-11"	3'-5"	6.4
RESIDENTIAL	E	84.31	1'-2"	4'-6"	5.2
RESIDENTIAL	E	84.32	2'-9"	3'-6"	9.7
RESIDENTIAL	E	84.33	0'-11"	1'-6"	1.3
SUBTOTAL					361.2

84TH FLOOR AREA CALCULATIONS					
ZONE C5-3 MID					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		1,507	132	1,374	
TOTAL		1,507	132	1,374	

84TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	84.34	0'-8"	8'-8"	5.8
RESIDENTIAL	M	84.35	2'-8"	7'-1"	18.8
RESIDENTIAL	ST	84.36	0'-8"	1'-6"	1.0
RESIDENTIAL	M	84.37	2'-10"	4'-2"	11.7
RESIDENTIAL	M	84.38	2'-3"	3'-11"	8.6
RESIDENTIAL	M	84.39	3'-10"	5'-0"	19.0
RESIDENTIAL	P	84.40	1'-6"	4'-11"	7.4
RESIDENTIAL	P	84.41	1'-2"	2'-11"	3.4
RESIDENTIAL	P	84.42	1'-0"	9'-0"	9.0
RESIDENTIAL	P	84.43	0'-11"	3'-8"	3.2
RESIDENTIAL	M	84.44	1'-4"	1'-6"	2.0
RESIDENTIAL	M	84.45	4'-1"	4'-8"	19.1
RESIDENTIAL	M	84.46	2'-6"	3'-2"	8.0
RESIDENTIAL	M	84.47	1'-8"	3'-0"	5.0
RESIDENTIAL	M	84.48	2'-4"	3'-9"	8.6
RESIDENTIAL	M	84.49	1'-0"	1'-8"	1.6
SUBTOTAL					132.2

84TH FLOOR AREA CALCULATIONS					
ZONE C5-1 AND C5-3 MID					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		7,835	493	7,342	
TOTAL		7,835	493	7,342	



84TH FLOOR (MFD:122ND FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS

364" = 1'-0"

2

85TH FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		6,329	361	5,967	
TOTAL		6,329	361	5,967	

85TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	85.1	4'-8"	5'-5"	25.3
RESIDENTIAL	M	85.2	1'-6"	3'-2"	4.8
RESIDENTIAL	M	85.3	4'-11"	7'-7"	37.4
RESIDENTIAL	M	85.4	4'-9"	4'-11"	23.2
RESIDENTIAL	ST	85.5	0'-8"	3'-3"	2.8
RESIDENTIAL	ST	85.6	0'-8"	3'-3"	2.8
RESIDENTIAL	M	85.7	4'-5"	6'-2"	36.5
RESIDENTIAL	M	85.8	2'-7"	3'-3"	8.5
RESIDENTIAL	M	85.9	3'-5"	3'-8"	12.5
RESIDENTIAL	M	85.10	1'-3"	2'-10"	3.6
RESIDENTIAL	M	85.11	4'-10"	5'-5"	26.3
RESIDENTIAL	M	85.12	2'-1"	3'-11"	8.1
RESIDENTIAL	P	85.13	1'-2"	6'-2"	7.2
RESIDENTIAL	P	85.14	1'-0"	9'-11"	9.9
RESIDENTIAL	P	85.15	1'-0"	9'-11"	9.9
RESIDENTIAL	ST	85.16	0'-8"	3'-1"	2.8
RESIDENTIAL	P	85.17	0'-10"	4'-0"	3.3
RESIDENTIAL	P	85.18	1'-0"	6'-4"	6.3
RESIDENTIAL	P	85.19	0'-11"	6'-7"	6.2
RESIDENTIAL	P	85.20	1'-6"	2'-11"	4.3
RESIDENTIAL	P	85.21	1'-2"	3'-4"	3.8
RESIDENTIAL	M	85.22	2'-4"	3'-6"	8.0
RESIDENTIAL	M	85.23	2'-4"	3'-1"	7.4
RESIDENTIAL	M	85.24	2'-6"	2'-6"	6.1
RESIDENTIAL	M	85.25	3'-0"	3'-2"	9.5
RESIDENTIAL	M	85.26	1'-6"	3'-2"	4.9
RESIDENTIAL	M	85.27	1'-3"	3'-5"	4.4
RESIDENTIAL	M	85.28	2'-0"	6'-11"	13.6
RESIDENTIAL	P	85.29	1'-1"	3'-0"	3.3
RESIDENTIAL	E	85.30	1'-11"	3'-5"	6.4
RESIDENTIAL	E	85.31	1'-2"	4'-6"	5.2
RESIDENTIAL	E	85.32	2'-9"	3'-6"	9.7
RESIDENTIAL	E	85.33	0'-11"	1'-6"	1.3
SUBTOTAL					361.2

85TH FLOOR AREA CALCULATIONS					
ZONE C5-3 MID					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		1,507	132	1,374	
TOTAL		1,507	132	1,374	

85TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	85.34	0'-8"	8'-8"	5.8
RESIDENTIAL	M	85.35	2'-8"	7'-1"	18.8
RESIDENTIAL	ST	85.36	0'-8"	1'-6"	1.0
RESIDENTIAL	M	85.37	2'-10"	4'-2"	11.7
RESIDENTIAL	M	85.38	2'-3"	3'-11"	8.6
RESIDENTIAL	M	85.39	3'-10"	5'-0"	19.0
RESIDENTIAL	P	85.40	1'-6"	4'-11"	7.4
RESIDENTIAL	P	85.41	1'-2"	2'-11"	3.4
RESIDENTIAL	P	85.42	1'-0"	9'-0"	9.0
RESIDENTIAL	P	85.43	0'-11"	3'-8"	3.2
RESIDENTIAL	M	85.44	1'-4"	1'-6"	2.0
RESIDENTIAL	M	85.45	2'-10"	4'-2"	11.7
RESIDENTIAL	M	85.46	2'-6"	3'-8"	8.1
RESIDENTIAL	M	85.47	1'-8"	3'-0"	5.0
RESIDENTIAL	M	85.48	2'-4"	3'-9"	8.1
RESIDENTIAL	M	85.49	1'-0"	1'-8"	1.4
SUBTOTAL					132.2

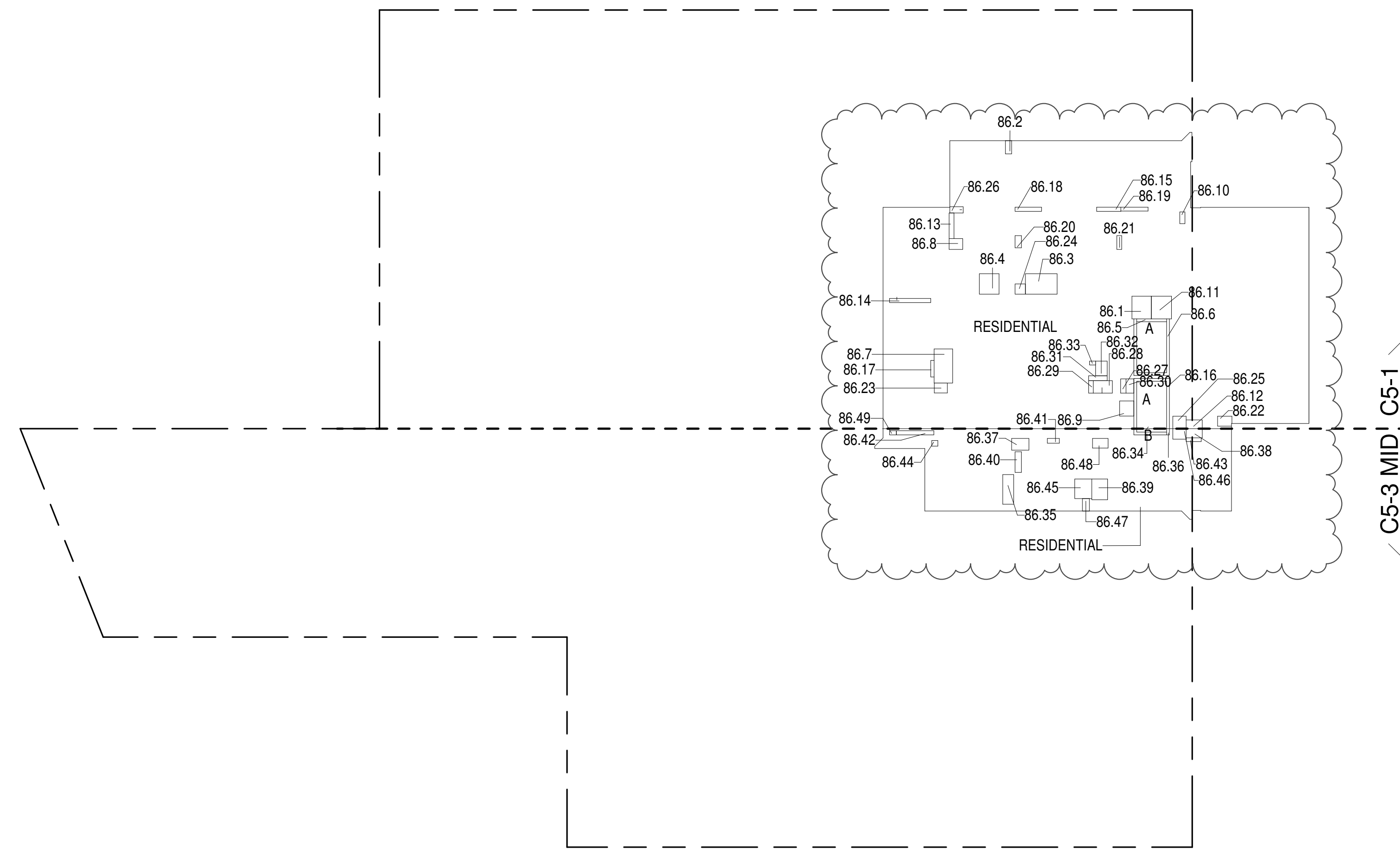
86TH FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	GFA	*DEDUCTIONS	*JTA (SF)	
RESIDENTIAL		6,329	361	5,967	
TOTAL		6,329	361	5,967	

86TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	86.1	4'-8"	5'-5"	25.3
RESIDENTIAL	M	86.2	1'-6"	3'-2"	4.8
RESIDENTIAL	M	86.3	4'-11"	7'-7"	37.4
RESIDENTIAL	M	86.4	4'-9"	4'-11"	23.2
RESIDENTIAL	ST	86.5	0'-8"	34'-3"	22.8
RESIDENTIAL	ST	86.6	0'-8"	34'-3"	22.8
RESIDENTIAL	M	86.7	4'-5"	8'-2"	36.5
RESIDENTIAL	M	86.8	2'-7"	3'-3"	8.5
RESIDENTIAL	M	86.9	3'-5"	3'-8"	12.5
RESIDENTIAL	M	86.10	1'-3"	2'-10"	3.6
RESIDENTIAL	M	86.11	4'-10"	5'-5"	26.3
RESIDENTIAL	M	86.12	2'-1"	3'-11"	8.9
RESIDENTIAL	P	86.13	1'-2"	6'-2"	7.2
RESIDENTIAL	P	86.14	1'-0"	9'-11"	9.9
RESIDENTIAL	P	86.15	1'-0"	5'-9"	5.8
RESIDENTIAL	ST	86.16	0'-8"	31'-2"	20.8
RESIDENTIAL	P	86.17	0'-10"	4'-0"	3.3
RESIDENTIAL	P	86.18	1'-0"	6'-4"	6.3
RESIDENTIAL	P	86.19	0'-11"	6'-7"	6.2
RESIDENTIAL	P	86.20	1'-6"	2'-11"	4.3
RESIDENTIAL	P	86.21	1'-2"	3'-4"	3.8
RESIDENTIAL	M	86.22	2'-4"	3'-6"	8.0
RESIDENTIAL	M	86.23	2'-4"	3'-11"	7.4
RESIDENTIAL	M	86.24	2'-6"	2'-6"	6.1
RESIDENTIAL	M	86.25	3'-0"	3'-2"	9.5
RESIDENTIAL	M	86.26	1'-6"	3'-2"	4.9
RESIDENTIAL	M	86.27	1'-3"	3'-5"	4.4
RESIDENTIAL	M	86.28	2'-0"	6'-11"	13.6
RESIDENTIAL	P	86.29	1'-1"	3'-0"	3.3
RESIDENTIAL	E	86.30	1'-11"	3'-5"	6.4
RESIDENTIAL	E	86.31	1'-2"	4'-6"	5.2
RESIDENTIAL	E	86.32	2'-9"	3'-6"	9.7
RESIDENTIAL	E	86.33	0'-11"	1'-6"	1.3
SUBTOTAL					361.2

86TH FLOOR AREA CALCULATIONS					
ZONE C5-3 MID					
USE	No.	GFA	*DEDUCTIONS	*JTA (SF)	
RESIDENTIAL		1,507	132	1,374	
TOTAL		1,507	132	1,374	

86TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	86.34	0'-8"	8'-8"	5.8
RESIDENTIAL	M	86.35	2'-8"	7'-1"	18.8
RESIDENTIAL	ST	86.36	0'-8"	1'-6"	1.0
RESIDENTIAL	M	86.37	2'-10"	4'-2"	11.7
RESIDENTIAL	M	86.38	2'-3"	3'-11"	8.6
RESIDENTIAL	M	86.39	3'-10"	5'-0"	19.0
RESIDENTIAL	P	86.40	1'-6"	4'-11"	7.4
RESIDENTIAL	P	86.41	1'-2"	2'-11"	3.4
RESIDENTIAL	P	86.42	1'-0"	9'-0"	9.0
RESIDENTIAL	P	86.43	0'-11"	3'-8"	3.2
RESIDENTIAL	M	86.44	1'-4"	1'-6"	2.0
RESIDENTIAL	M	86.45	4'-1"	4'-8"	19.1
RESIDENTIAL	M	86.46	2'-6"	3'-2"	8.0
RESIDENTIAL	M	86.47	1'-8"	3'-0"	5.0
RESIDENTIAL	M	86.48	2'-4"	3'-9"	8.6
RESIDENTIAL	M	86.49	1'-0"	1'-6"	1.6
SUBTOTAL					132.2

86TH FLOOR AREA CALCULATIONS					
ZONE C5-1 AND C5-3 MID					
USE	No.	GFA	*DEDUCTIONS	*JTA (SF)	
RESIDENTIAL		7,835	493	7,342	
TOTAL		7,835	493	7,342	



- ZONING AND DEDUCT LEGEND**
- DEDUCTIONS
 - M - MECHANICAL ROOM / RISER
 - E - ELECTRICAL SHAFT / RISER
 - P - PLUMBING RISER
 - BG - BELOW GRADE
 - O - OPENING TO BELOW
 - L - LOADING BAYS
 - ST - 44" RESI STAIR SHAFT (INCLUDING 6" PERIMETER)
 - G - GAP FROM ADJACENT BUILDING
 - DEVELOPMENT LOT LINE
- * WHERE APPLICABLE, DOCUMENTED AND CALCULATED AREAS HAVE BEEN ROUNDED TO ITS NEXT SIGNIFICANT DIGIT.
- ** LENGTH AND WIDTH DIMENSIONS FOR COMPLEX SHAPES HAVE BEEN SIMPLIFIED TO ILLUSTRATE ONLY LARGEST OVERALL DIMENSION RESPECTIVELY. AREA DOCUMENTED IS THE EXACT AREA OF THE COMPLEX SHAPE
- *** ELECTRICAL DEDUCTIONS ARE ONLY FOR ELECTRICAL RISERS, AND CLOSETS. NO DEDUCTIONS TAKEN FOR TELEPHONE CLOSETS

86TH FLOOR (MFD:124TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS 364' x 1'-0" 1

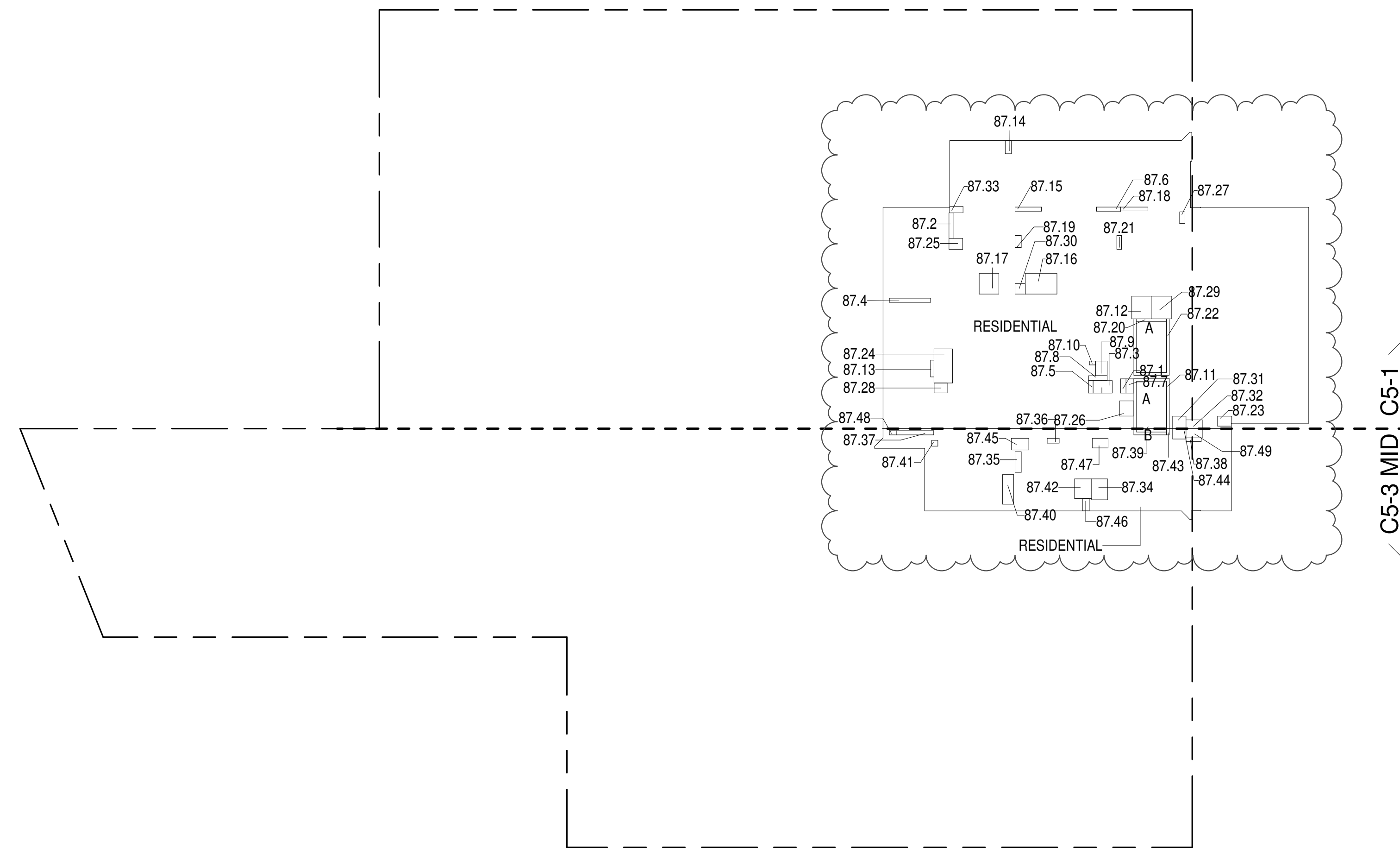
87TH FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	GFA	*DEDUCTIONS	*JTA (SF)	
RESIDENTIAL		6,329	361	5,967	
TOTAL		6,329	361	5,967	

87TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	87.1	1'-3"	3'-9"	4.4
RESIDENTIAL	P	87.2	1'-2"	6'-2"	7.2
RESIDENTIAL	M	87.3	2'-0"	6'-11"	13.6
RESIDENTIAL	P	87.4	1'-0"	9'-11"	9.9
RESIDENTIAL	P	87.5	1'-1"	3'-0"	3.3
RESIDENTIAL	P	87.6	1'-0"	5'-9"	5.8
RESIDENTIAL	E	87.7	1'-11"	3'-5"	6.4
RESIDENTIAL	E	87.8	1'-2"	4'-6"	5.2
RESIDENTIAL	E	87.9	2'-9"	3'-6"	9.7
RESIDENTIAL	E	87.10	0'-11"	1'-6"	1.3
RESIDENTIAL	ST	87.11	0'-8"	31'-2"	20.8
RESIDENTIAL	P	87.12	4'-8"	5'-5"	25.3
RESIDENTIAL	P	87.13	0'-10"	4'-0"	3.3
RESIDENTIAL	M	87.14	1'-6"	3'-2"	4.8
RESIDENTIAL	P	87.15	1'-0"	6'-4"	6.3
RESIDENTIAL	M	87.16	4'-11"	7'-7"	37.4
RESIDENTIAL	M	87.17	4'-9"	4'-11"	23.2
RESIDENTIAL	P	87.18	0'-11"	6'-7"	6.2
RESIDENTIAL	P	87.19	1'-6"	2'-11"	4.3
RESIDENTIAL	ST	87.20	0'-8"	7'-2"	4.6
RESIDENTIAL	P	87.21	1'-2"	3'-4"	3.8
RESIDENTIAL	ST	87.22	0'-8"	34'-3"	22.8
RESIDENTIAL	M	87.23	2'-4"	3'-6"	8.0
RESIDENTIAL	M	87.24	4'-5"	8'-2"	36.5
RESIDENTIAL	M	87.25	2'-7"	3'-3"	8.5
RESIDENTIAL	M	87.26	3'-5"	3'-8"	12.5
RESIDENTIAL	M	87.27	1'-3"	2'-10"	3.6
RESIDENTIAL	M	87.28	2'-4"	3'-1"	7.4
RESIDENTIAL	M	87.29	4'-10"	5'-5"	26.3
RESIDENTIAL	M	87.30	2'-6"	2'-6"	6.1
RESIDENTIAL	M	87.31	3'-0"	3'-2"	9.5
RESIDENTIAL	M	87.32	2'-1"	3'-11"	8.1
RESIDENTIAL	M	87.33	1'-6"	3'-2"	4.9
SUBTOTAL					361.2

87TH FLOOR AREA CALCULATIONS					
ZONE C5-3 MID					
USE	No.	GFA	*DEDUCTIONS	*JTA (SF)	
RESIDENTIAL		1,507	132	1,374	
TOTAL		1,507	132	1,374	

87TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	87.34	3'-10"	5'-0"	19.0
RESIDENTIAL	P	87.35	1'-6"	4'-11"	7.4
RESIDENTIAL	P	87.36	1'-2"	2'-11"	3.4
RESIDENTIAL	P	87.37	1'-0"	9'-0"	9.0
RESIDENTIAL	P	87.38	0'-11"	3'-8"	3.2
RESIDENTIAL	ST	87.39	0'-8"	6'-8"	5.8
RESIDENTIAL	M	87.40	2'-8"	7'-1"	18.8
RESIDENTIAL	M	87.41	1'-4"	1'-6"	2.0
RESIDENTIAL	M	87.42	4'-1"	4'-8"	19.1
RESIDENTIAL	ST	87.43	0'-8"	1'-6"	1.0
RESIDENTIAL	M	87.44	2'-6"	3'-2"	8.0
RESIDENTIAL	M	87.45	2'-10"	4'-2"	11.7
RESIDENTIAL	M	87.46	1'-8"	3'-0"	5.0
RESIDENTIAL	M	87.47	2'-4"	3'-9"	8.6
RESIDENTIAL	M	87.48	1'-0"	1'-6"	1.6
RESIDENTIAL	M	87.49	2'-3"	3'-11"	8.6
SUBTOTAL					132.2

87TH FLOOR AREA CALCULATIONS					
ZONE C5-1 AND C5-3 MID					
USE	No.	GFA	*DEDUCTIONS	*JTA (SF)	
RESIDENTIAL		7,835	493	7,342	
TOTAL		7,835	493	7,342	



87TH FLOOR (MFD:125TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS 364' x 1'-0" 2

88TH FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	GFA	*DEDUCTIONS	*JTA (SF)	
RESIDENTIAL		6,329	360	5,969	
TOTAL		6,329	360	5,969	

88TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	88.1	4'-8"	5'-5"	25.3
RESIDENTIAL	M	88.2	1'-6"	3'-2"	4.8
RESIDENTIAL	M	88.3	4'-11"	7'-7"	37.4
RESIDENTIAL	M	88.4	4'-11"	4'-11"	24.0
RESIDENTIAL	ST	88.5	0'-8"	7'-2"	4.6
RESIDENTIAL	ST	88.6	0'-8"	34'-3"	22.8
RESIDENTIAL	M	88.7	4'-5"	8'-2"	36.5
RESIDENTIAL	M	88.8	2'-9"	2'-10"	7.7
RESIDENTIAL	M	88.9	3'-5"	3'-8"	12.5
RESIDENTIAL	M	88.10	1'-3"	2'-10"	3.6
RESIDENTIAL	M	88.11	4'-10"	5'-5"	26.3
RESIDENTIAL	M	88.12	2'-1"	4'-3"	8.9
RESIDENTIAL	P	88.13	1'-0"	5'-11"	5.9
RESIDENTIAL	P	88.14	1'-0"	9'-11"	9.9
RESIDENTIAL	P	88.15	1'-0"	6'-0"	6.0
RESIDENTIAL	ST	88.16	0'-8"	31'-2"	20.8
RESIDENTIAL	P	88.17	0'-10"	4'-0"	3.3
RESIDENTIAL	P	88.18	1'-0"	6'-4"	6.3
RESIDENTIAL	P	88.19	1'-0"	6'-4"	6.3
RESIDENTIAL	P	88.20	1'-6"	2'-11"	4.3
RESIDENTIAL	P	88.21	1'-2"	3'-4"	3.8
RESIDENTIAL	M	88.22	2'-2"	3'-6"	7.4
RESIDENTIAL	M	88.23	2'-4"	3'-1"	7.4
RESIDENTIAL	M	88.24	2'-6"	2'-6"	6.1
RESIDENTIAL	M	88.25	3'-0"	3'-2"	9.5
RESIDENTIAL	M	88.26	1'-5"	3'-2"	4.3
RESIDENTIAL	M	88.27	1'-3"	3'-5"	4.4
RESIDENTIAL	M	88.28	2'-0"	6'-11"	13.6
RESIDENTIAL	P	88.29	1'-1"	3'-0"	3.3
RESIDENTIAL	E	88.30	1'-11"	3'-5"	6.4
RESIDENTIAL	E	88.31	1'-2"	4'-6"	5.2
RESIDENTIAL	E	88.32	2'-9"	3'-6"	9.7
RESIDENTIAL	E	88.33	0'-11"	1'-6"	1.3
SUBTOTAL					359.8

88TH FLOOR AREA CALCULATIONS					
ZONE C5-3 MID					
USE	No.	GFA	*DEDUCTIONS	*JTA (SF)	
RESIDENTIAL		1,507	134	1,373	
TOTAL		1,507	134	1,373	

88TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	NO.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	88.34	0'-8"	8'-8"	5.8
RESIDENTIAL	M	88.35	2'-8"	7'-1"	18.8
RESIDENTIAL	ST	88.36	0'-8"	1'-6"	1.0
RESIDENTIAL	M	88.37	2'-10"	4'-2"	11.7
RESIDENTIAL	M	88.38	2'-3"	4'-3"	9.4
RESIDENTIAL	M	88.39	3'-10"	5'-0"	19.0
RESIDENTIAL	P	88.40	1'-6"	4'-11"	7.4
RESIDENTIAL	P	88.41	1'-6"	2'-11"	4.3
RESIDENTIAL	P	88.42	1'-0"	9'-0"	9.0
RESIDENTIAL	P	88.43	0'-11"	3'-8"	3.3
RESIDENTIAL	M	88.44	1'-4"	4'-8"	2.0
RESIDENTIAL	M	88.45	4'-1"	4'-8"	19.0
RESIDENTIAL	M	88.46	2'-6"	3'-2"	8.0
RESIDENTIAL	M	88.47	1'-8"	3'-0"	5.0
RESIDENTIAL	M	88.48	2'-4"	3'-7"	8.0
RESIDENTIAL	M	88.49	1'-0"	1'-8"	1.0
SUBTOTAL					133.0

92ND FLOOR DEDUCTIONS ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	92.1	1'-4"	20'-9"	27.6
RESIDENTIAL	P	92.2	4'-5"	5'-5"	24.1
RESIDENTIAL	M	92.3	5'-1"	5'-5"	27.5
RESIDENTIAL	M	92.4	3'-5"	3'-8"	12.5
RESIDENTIAL	M	92.5	2'-10"	5'-3"	14.6
RESIDENTIAL	M	92.6	1'-6"	2'-7"	3.9
RESIDENTIAL	M	92.7	2'-2"	2'-11"	6.5
RESIDENTIAL	M	92.8	4'-8"	6'-7"	30.6
RESIDENTIAL	P	92.9	1'-0"	8'-1"	8.4
RESIDENTIAL	P	92.10	1'-0"	4'-3"	4.3
RESIDENTIAL	M	92.11	5'-1"	7'-11"	39.9
RESIDENTIAL	M	92.12	4'-5"	5'-0"	22.2
RESIDENTIAL	M	92.13	3'-4"	6'-2"	20.6
RESIDENTIAL	P	92.14	3'-1"	3'-5"	10.7
RESIDENTIAL	P	92.15	1'-5"	4'-10"	6.6
RESIDENTIAL	P	92.16	1'-6"	5'-2"	7.7
RESIDENTIAL	O	92.17	24'-10"	59'-6"	1,477.0
RESIDENTIAL	M	92.18	3'-7"	5'-8"	20.5
RESIDENTIAL	P	92.19	1'-0"	3'-7"	3.6
RESIDENTIAL	M	92.20	1'-6"	3'-1"	4.5
RESIDENTIAL	M	92.21	1'-6"	3'-2"	4.7
RESIDENTIAL	ST	92.22	0'-8"	31'-3"	20.8
RESIDENTIAL	O	92.23	2'-7"	47'-8"	121.5
RESIDENTIAL	M	92.24	2'-11"	3'-3"	9.4
RESIDENTIAL	M	92.25	2'-3"	2'-8"	6.0
RESIDENTIAL	M	92.26	2'-10"	4'-4"	12.2
RESIDENTIAL	M	92.27	1'-0"	1'-3"	1.3
RESIDENTIAL	M	92.28	3'-4"	5'-9"	19.4
RESIDENTIAL	P	92.29	1'-5"	3'-7"	5.0
SUBTOTAL					

92ND FLOOR DEDUCTIONS ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	O	92.30	2'-4"	11'-10"	27.7
RESIDENTIAL	M	92.31	2'-6"	3'-0"	7.4
RESIDENTIAL	M	92.32	5'-3"	6'-11"	36.6
RESIDENTIAL	M	92.33	1'-3"	3'-5"	4.3
RESIDENTIAL	M	92.34	3'-5"	4'-7"	15.6
RESIDENTIAL	P	92.35	1'-11"	3'-5"	3.8
RESIDENTIAL	E	92.36	1'-11"	3'-5"	6.6
RESIDENTIAL	E	92.37	0'-9"	4'-6"	3.3
RESIDENTIAL	E	92.38	2'-9"	3'-8"	10.2
RESIDENTIAL	E	92.39	1'-1"	1'-8"	1.8
SUBTOTAL					

92ND FLOOR AREA CALCULATIONS ZONE C5-1					
USE	No.	GFA	DEDUCTIONS	*ZEA (SF)	
RESIDENTIAL		6,329	2,091	4,238	
TOTAL		6,329	2,091	4,238	

92ND FLOOR AREA CALCULATIONS ZONE C5-1 AND C5-3 MID					
USE	No.	GFA	DEDUCTIONS	*ZEA (SF)	
RESIDENTIAL		1,507	138	1,369	
TOTAL		1,507	138	1,369	

92ND FLOOR AREA CALCULATIONS ZONE C5-1 AND C5-3 MID					
USE	No.	GFA	DEDUCTIONS	*ZEA (SF)	
RESIDENTIAL		7,835	2,229	5,606	
TOTAL		7,835	2,229	5,606	

89TH FLOOR DEDUCTIONS ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	89.1	4'-8"	5'-5"	25.3
RESIDENTIAL	ST	89.2	0'-8"	7'-2"	4.6
RESIDENTIAL	ST	89.3	0'-8"	34'-3"	22.8
RESIDENTIAL	M	89.4	4'-2"	4'-6"	16.7
RESIDENTIAL	M	89.5	3'-10"	4'-10"	18.5
RESIDENTIAL	M	89.6	3'-5"	3'-8"	12.5
RESIDENTIAL	M	89.7	1'-2"	2'-10"	3.4
RESIDENTIAL	M	89.8	4'-10"	5'-5"	26.3
RESIDENTIAL	M	89.9	3'-1"	4'-11"	15.4
RESIDENTIAL	M	89.10	3'-2"	6'-1"	19.2
RESIDENTIAL	ST	89.11	0'-8"	31'-2"	20.8
RESIDENTIAL	P	89.12	0'-11"	7'-9"	7.1
RESIDENTIAL	P	89.13	1'-0"	6'-3"	6.2
RESIDENTIAL	M	89.14	1'-8"	2'-10"	4.7
RESIDENTIAL	M	89.15	4'-5"	4'-8"	20.8
RESIDENTIAL	M	89.16	3'-10"	4'-6"	17.0
RESIDENTIAL	M	89.17	2'-10"	3'-4"	9.5
RESIDENTIAL	M	89.18	2'-8"	4'-10"	12.7
RESIDENTIAL	M	89.19	1'-5"	1'-8"	2.4
RESIDENTIAL	M	89.20	1'-8"	1'-8"	2.8
RESIDENTIAL	P	89.21	1'-7"	5'-6"	8.5
RESIDENTIAL	M	89.22	1'-6"	3'-2"	4.7
RESIDENTIAL	P	89.23	1'-0"	4'-3"	4.3
RESIDENTIAL	P	89.24	0'-11"	3'-6"	3.1
RESIDENTIAL	M	89.25	1'-3"	3'-5"	4.3
RESIDENTIAL	M	89.26	3'-5"	4'-7"	15.6
RESIDENTIAL	P	89.27	1'-1"	3'-5"	3.8
RESIDENTIAL	E	89.28	1'-11"	3'-5"	6.6
RESIDENTIAL	E	89.29	0'-9"	4'-6"	3.3
RESIDENTIAL	E	89.30	2'-9"	3'-8"	10.2
RESIDENTIAL	E	89.31	1'-1"	1'-8"	1.8
RESIDENTIAL	M	89.32	2'-3"	2'-11"	6.6
SUBTOTAL					

89TH FLOOR DEDUCTIONS ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	89.33	0'-8"	8'-8"	5.8
RESIDENTIAL	M	89.34	1'-1"	3'-2"	3.5
RESIDENTIAL	ST	89.35	0'-8"	1'-6"	1.0
RESIDENTIAL	M	89.36	3'-0"	5'-3"	15.8
RESIDENTIAL	M	89.37	4'-5"	8'-7"	37.5
RESIDENTIAL	M	89.38	1'-8"	2'-6"	4.2
RESIDENTIAL	P	89.39	0'-10"	7'-0"	5.8
RESIDENTIAL	M	89.40	1'-2"	3'-4"	4.0
RESIDENTIAL	M	89.41	0'-11"	3'-5"	3.0
RESIDENTIAL	M	89.42	3'-1"	4'-11"	15.2
RESIDENTIAL	M	89.43	2'-10"	3'-4"	9.4
RESIDENTIAL	P	89.44	1'-9"	2'-11"	5.0
RESIDENTIAL	P	89.45	0'-7"	1'-0"	0.8
RESIDENTIAL	M	89.46	3'-9"	4'-3"	16.0
RESIDENTIAL	M	89.47	1'-10"	1'-10"	3.4
RESIDENTIAL	M	89.48	1'-10"	1'-10"	3.4
RESIDENTIAL	M	89.49	0'-5"	1'-1"	0.4
SUBTOTAL					

89TH FLOOR AREA CALCULATIONS ZONE C5-1 AND C5-3 MID					
USE	No.	GFA	DEDUCTIONS	*ZEA (SF)	
RESIDENTIAL		7,835	477	7,358	
TOTAL		7,835	477	7,358	

89TH FLOOR AREA CALCULATIONS ZONE C5-3 MID					
USE	No.	GFA	DEDUCTIONS	*ZEA (SF)	
RESIDENTIAL		1,507	134	1,372	
TOTAL		1,507	134	1,372	

89TH FLOOR (MFD:127TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS 364" = 1'-0"

ZONING AND DEDUCT LEGEND

DEDUCTIONS

M - MECHANICAL ROOM / RISER

E - ELECTRICAL SHAFT / RISER

P - PLUMBING RISER

BG - BELOW GRADE

O - OPENING TO BELOW

L - LOADING BAYS

ST - 44" RESI STAIR SHAFT (INCLUDING 6" PERIMETER)

G - GAP FROM ADJACENT BUILDING

DEVELOPMENT LOT LINE

* WHERE APPLICABLE, DOCUMENTED AND CALCULATED AREAS HAVE BEEN ROUNDED TO ITS NEXT SIGNIFICANT DIGIT.

** LENGTH AND WIDTH DIMENSIONS FOR COMPLEX SHAPES HAVE BEEN SIMPLIFIED TO ILLUSTRATE ONLY LARGEST OVERALL DIMENSION RESPECTIVELY. AREA DOCUMENTED IS THE EXACT AREA OF THE COMPLEX SHAPE

*** ELECTRICAL DEDUCTIONS ARE ONLY FOR ELECTRICAL RISERS, AND CLOSETS. NO DEDUCTIONS TAKEN FOR TELEPHONE CLOSETS

KEY PLAN:

PROJECT 050 - WEST 57TH ST
WEST 57TH ST
7TH AVE

PROJECT NORTH

TRUE NORTH

DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 17TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

ARCHITECT OF RECORD: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 West 37th St., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
WSP CANTOR SEINUK
228 EAST 46th Street
New York, NY 10017 USA
TEL: 212 687 9888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
1501 Broadway
New York, NY 10036 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Fern Plaza, 380 West 31st Street, 8th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 808
New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Higgins Quasebarth & Partners LLC
11 Hanover Square, 16th Floor
New York, NY 10005
TEL: 212 274 9468 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
50 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION:	DATE:
1	D.O.B. SUBMISSION	05 DEC 14
2	D.O.B. SUBMISSION	18 FEB 15
	D.O.B. SUBMISSION	27 APR 14
	D.O.B. AMENDMENT 2	21 SEP 15
	D.O.B. AMENDMENT 3	03 OCT 16

0 10' 8" 21' 4" 42' 8"

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Corrections must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:

AAI
ARCHITECTS, P.C.

PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
ZONING FLOOR AREA PLAN AND DEDUCTIONS
89TH, 90TH, 91ST, 92ND FLOOR

SEAL & SIGNATURE:

DATE: 05 DEC 14

PROJECT No: 1216.00

DRAWN: Author

CHECK: Checker

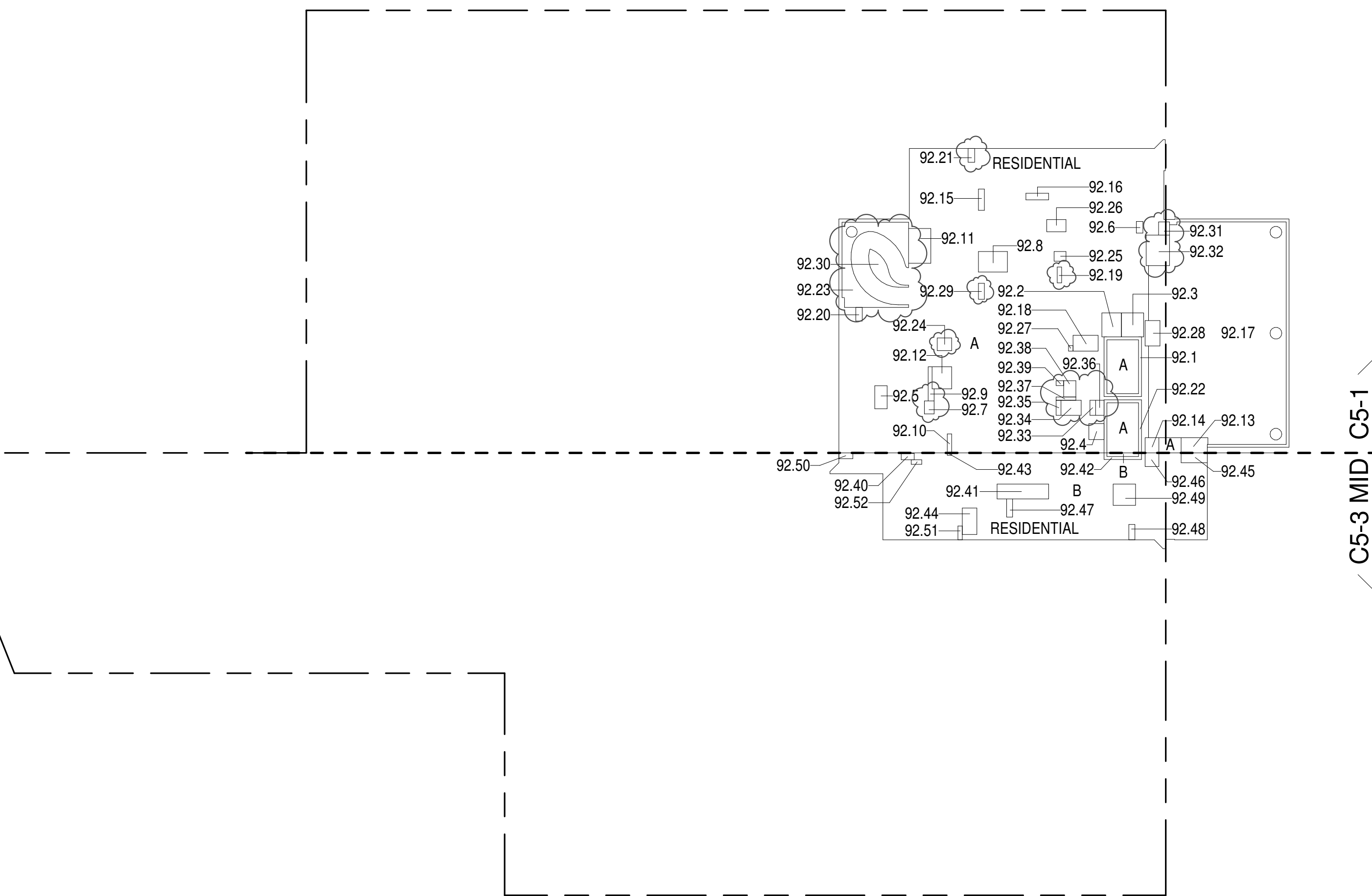
SCALE: 3/64" = 1'-0"

DWG No:

Z-038.02

DDB PAGE No: 38 of 454

DDB B-SCAN:



92ND FLOOR (MFD:130TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS 364" = 1'-0"

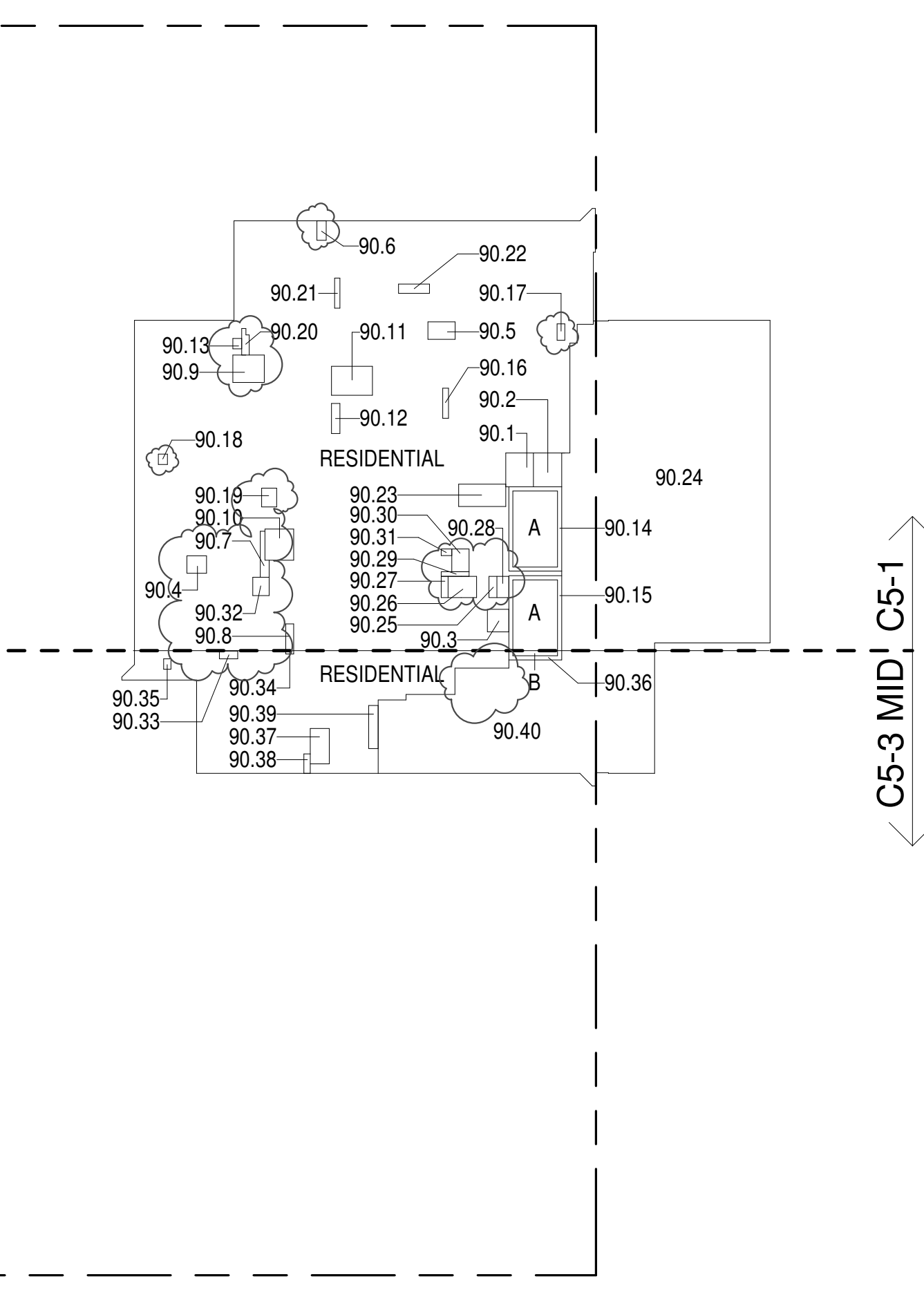
91ST FLOOR DEDUCTIONS ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	91.1	4'-5"	5'-5"	24.1
RESIDENTIAL	M	91.2	5'-1"	5'-5"	27.5
RESIDENTIAL	M	91.3	3'-5"	3'-8"	12.5
RESIDENTIAL	M	91.4	2'-10"	4'-9"	13.1
RESIDENTIAL	M	91.5	3'-1"	4'-7"	14.0
RESIDENTIAL	M	91.6	2'-3"	2'-11"	6.6
RESIDENTIAL	M	91.7	1'-6"	3'-2"	4.7
RESIDENTIAL	P	91.8	1'-1"	7'-8"	8.1
RESIDENTIAL	P	91.9	1'-0"	4'-3"	4.3
RESIDENTIAL	M	91.10	4'-10"	6'-0"	29.1
RESIDENTIAL	M	91.11	4'-2"	4'-5"	18.4
RESIDENTIAL	M	91.12	2'-2"	5'-0"	11.0
RESIDENTIAL	M	91.13	3'-1"	3'-5"	10.7
RESIDENTIAL	M	91.14	4'-4"	5'-0"	21.6
RESIDENTIAL	P	91.15	1'-0"	5'-10"	5.8
RESIDENTIAL	M	91.16	2'-9"	2'-9"	6.8
RESIDENTIAL	M	91.17	1'-8"	8'-8"	27.7
RESIDENTIAL	ST	91.18	1'-4"	20'-9"	27.6
RESIDENTIAL	ST	91.19	0'-8"	31'-2"	20.8
RESIDENTIAL	P	91.20	0'-5"	3'-0"	1.2
RESIDENTIAL	M	91.21	1'-3"	2'-10"	3.6
RESIDENTIAL	M	91.22	1'-6"	3'-1"	4.5
RESIDENTIAL	M	91.23	2'-9"	3'-3"	9.0
RESIDENTIAL	M	91.24	3'-4"	5'-9"	19.3
RESIDENTIAL	M	91.25	3'-11"	5'-9"	22.8
RESIDENTIAL	M	91.26	1'-3"	2'-9"	3.5
RESIDENTIAL	M	91.27	1'-3"	3'-5"	4.3
RESIDENTIAL	M	91.28	3'-5"	4'-7"	15.6
RESIDENTIAL	P	91.29	1'-1"	3'-5"	3.8
RESIDENTIAL	E	91.30	1'-11"	3'-5"	6.6
RESIDENTIAL	E	91.31	0'-9"	4'-6"	3.3
RESIDENTIAL	E	91.32	2'-9"	3'-8"	10.2
RESIDENTIAL	E	91.33	1'-1"	1'-8"	1.8
SUBTOTAL					

91ST FLOOR AREA CALCULATIONS ZONE C5-1 AND C5-3 MID					
USE	No.	GFA	DEDUCTIONS	*ZEA (SF)	
RESIDENTIAL		7,835	498	7,337	
TOTAL		7,835	498	7,337	

91ST FLOOR AREA CALCULATIONS ZONE C5-3 MID					
USE	No.	GFA	DEDUCTIONS	*ZEA (SF)	
RESIDENTIAL		1,507	119	1,388	
TOTAL		1,507	119	1,388	

91ST FLOOR AREA CALCULATIONS ZONE C5-1					
USE	No.	GFA	DEDUCTIONS	*ZEA (SF)	
RESIDENTIAL		6,329	379	5,950	
TOTAL		6,329	379	5,950	

91ST FLOOR (MFD:129TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS 364" = 1'-0"



90TH FLOOR (MFD:128TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS 364" = 1'-0"

90TH FLOOR DEDUCTIONS ZONE C5-1			
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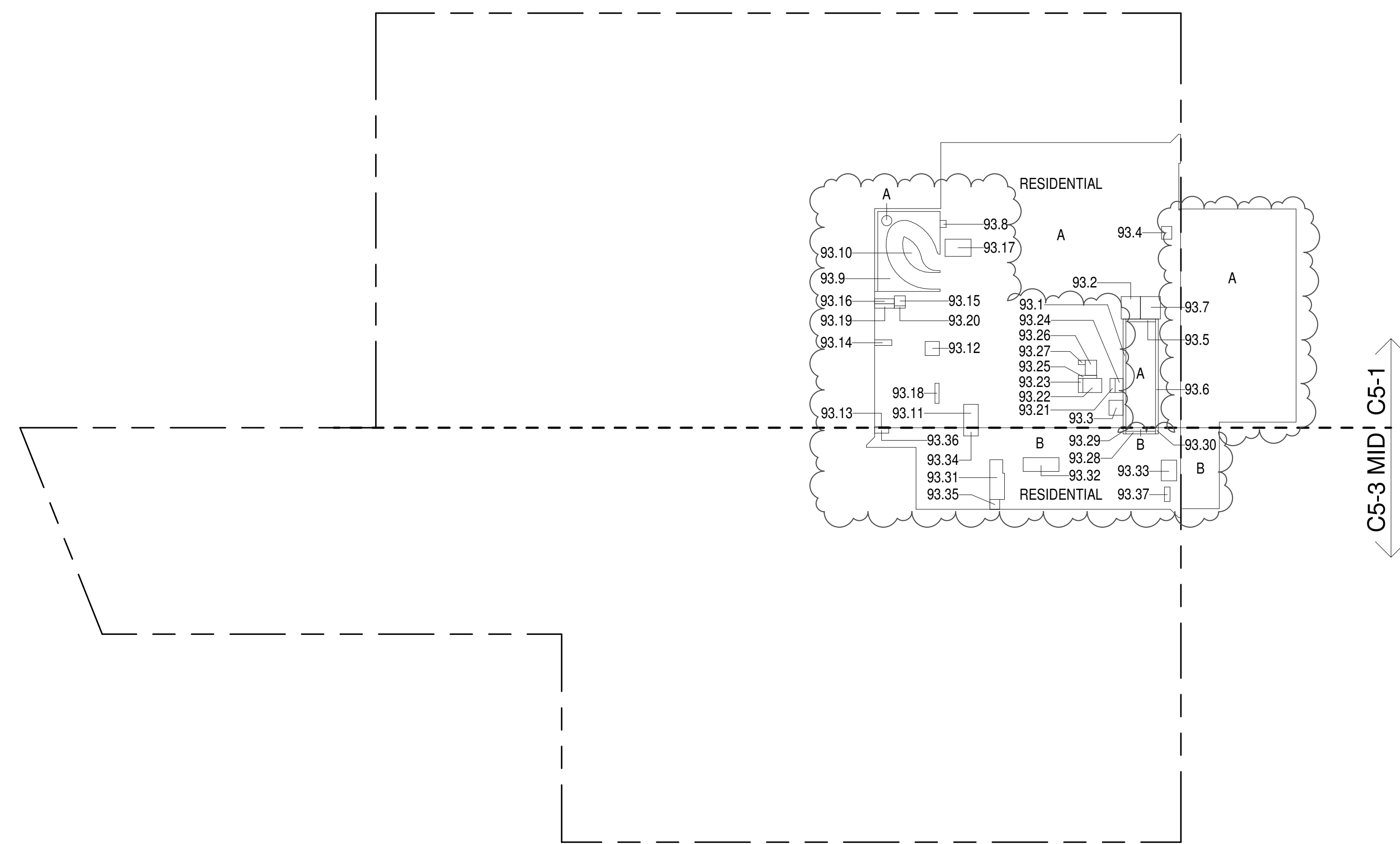
93RD FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		6,317	398	5,918
TOTAL		6,317	398	5,918

93RD FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	93.1	0'-8"	26'-4"	17.5
RESIDENTIAL	P	93.2	4'-8"	5'-5"	25.3
RESIDENTIAL	M	93.3	3'-5"	3'-8"	12.5
RESIDENTIAL	M	93.4	2'-0"	3'-11"	7.7
RESIDENTIAL	ST	93.5	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	93.6	0'-8"	26'-4"	17.5
RESIDENTIAL	M	93.7	4'-10"	5'-5"	26.3
RESIDENTIAL	M	93.8	1'-6"	1'-8"	2.5
RESIDENTIAL	O	93.9	2'-7"	47'-10"	123.1
RESIDENTIAL	O	93.10	2'-4"	11'-10"	27.7
RESIDENTIAL	M	93.11	3'-6"	5'-8"	19.7
RESIDENTIAL	M	93.12	3'-5"	3'-6"	11.8
RESIDENTIAL	M	93.13	0'-3"	3'-5"	0.8
RESIDENTIAL	M	93.14	1'-4"	4'-2"	5.8
RESIDENTIAL	M	93.15	2'-5"	2'-8"	6.5
RESIDENTIAL	M	93.16	1'-3"	4'-9"	5.8
RESIDENTIAL	M	93.17	4'-2"	6'-4"	26.3
RESIDENTIAL	P	93.18	1'-0"	4'-11"	4.9
RESIDENTIAL	P	93.19	1'-1"	4'-9"	5.0
RESIDENTIAL	P	93.20	0'-7"	2'-8"	1.5
RESIDENTIAL	M	93.21	1'-3"	3'-5"	4.3
RESIDENTIAL	M	93.22	3'-5"	4'-7"	15.6
RESIDENTIAL	P	93.23	1'-1"	3'-5"	3.8
RESIDENTIAL	E	93.24	1'-11"	3'-5"	6.6
RESIDENTIAL	E	93.25	0'-9"	4'-6"	3.3
RESIDENTIAL	E	93.26	2'-9"	3'-8"	10.2
RESIDENTIAL	E	93.27	1'-1"	1'-8"	1.8
SUBTOTAL					398.4

93RD FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		1,504	109	1,394
TOTAL		1,504	109	1,394

93RD FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	93.28	0'-7"	7'-2"	4.5
RESIDENTIAL	ST	93.29	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	93.30	0'-8"	1'-6"	1.0
RESIDENTIAL	M	93.31	3'-4"	9'-10"	32.8
RESIDENTIAL	M	93.32	3'-4"	8'-8"	29.3
RESIDENTIAL	M	93.33	3'-9"	5'-0"	18.7
RESIDENTIAL	M	93.34	2'-0"	3'-6"	7.0
RESIDENTIAL	M	93.35	2'-4"	2'-4"	5.5
RESIDENTIAL	M	93.36	1'-4"	3'-5"	4.5
RESIDENTIAL	M	93.37	1'-5"	3'-6"	4.8
SUBTOTAL					109.1

93RD FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		7,820	507	7,313
TOTAL		7,820	507	7,313



93RD FLOOR (MFD:131ST FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS
3/64" = 1'-0" 1

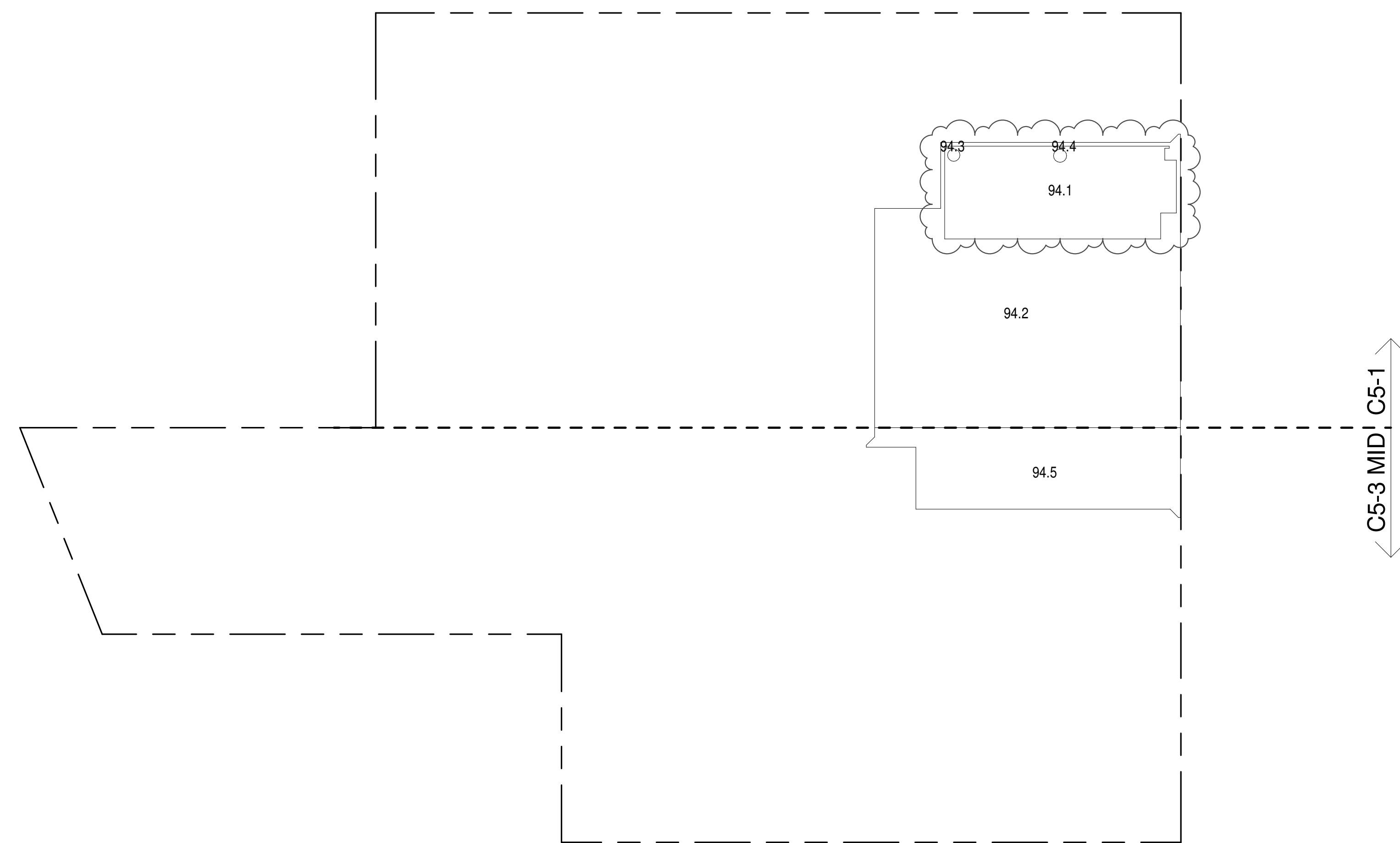
94TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		4,865	4,865	0
TOTAL		4,865	4,865	0

94TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA/SF
RESIDENTIAL	O	94.1	20' - 6"	59' - 2"	1,214.5
RESIDENTIAL	M	94.2	32' - 5"	112' - 2"	3,635.5
RESIDENTIAL	M	94.3			7.1
RESIDENTIAL	M	94.4			7.9
SUBTOTAL					4,864.9

94TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		1,319	1,319	0
TOTAL		1,319	1,319	0

94TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	94.5	16' - 5"	80' - 3"	1,319.2
SUBTOTAL					1,319.2

94TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		6,184	6,184	0
TOTAL		6,184	6,184	0



94TH FLOOR MEP (MFD:132ND FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS
3/64" = 1'-0" 2

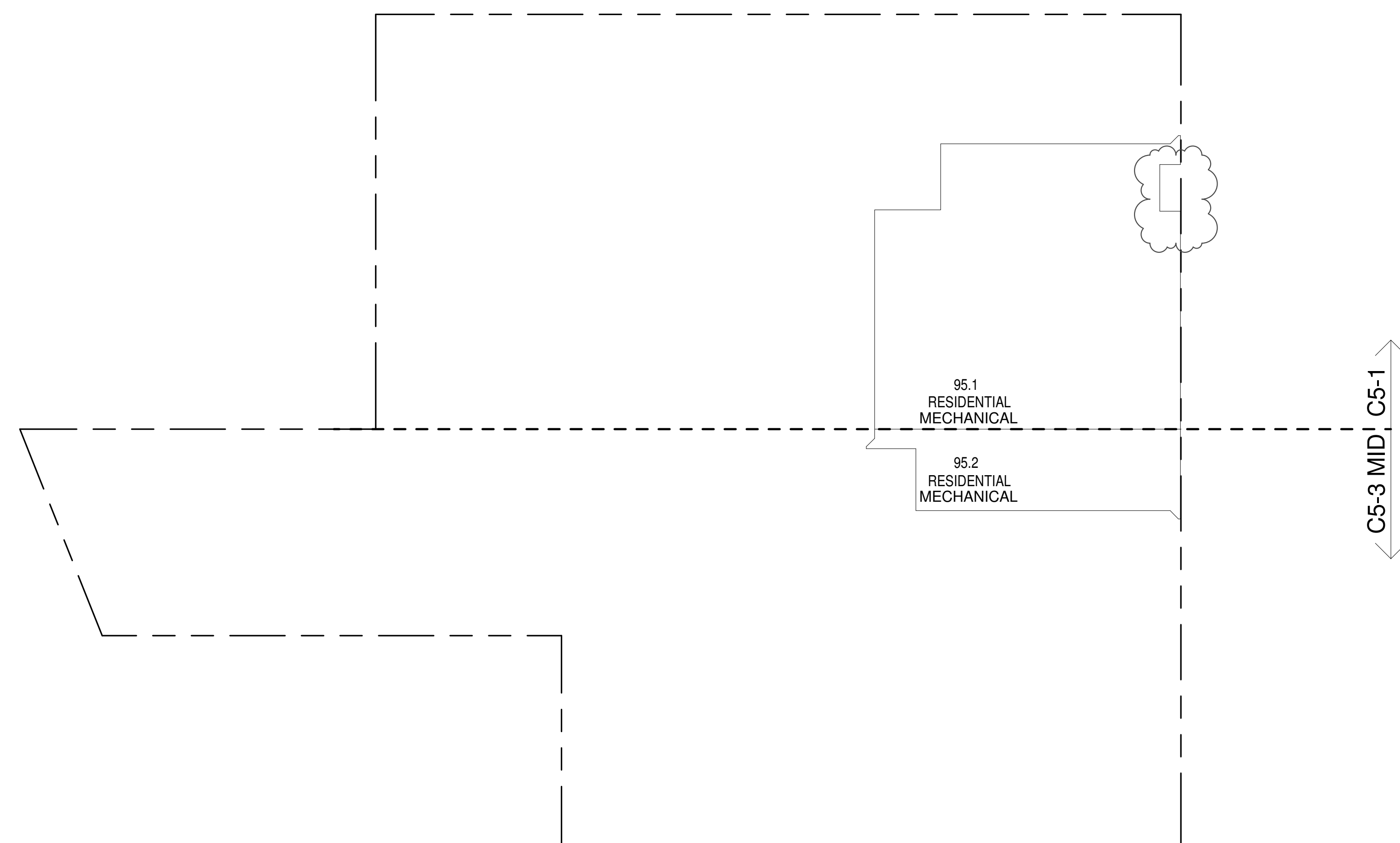
95TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		4,808	4,808	0
TOTAL		4,808	4,808	0

95TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	95.1	46' - 10"	102' - 9"	4,808.3
SUBTOTAL					4,808.3

95TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		1,319	1,319	0
TOTAL		1,319	1,319	0

95TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	95.2	16' - 5"	80' - 2"	1,319.2
SUBTOTAL					1,319.2

95TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		6,127	6,127	0
TOTAL		6,127	6,127	0



95TH FLOOR EMR (MFD:133RD FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS
3/64" = 1'-0" 3

ZONING AND DEDUCT LEGEND

☐ DEDUCTIONS

M - MECHANICAL ROOM / RISER

E - ELECTRICAL SHAFT / RISER

P - PLUMBING RISER

BG - BELOW GRADE

O - OPENING TO BELOW

L - LOADING BAYS

ST - 44" RESI STAIR SHAFT (INCLUDING 6" PERIMETER)

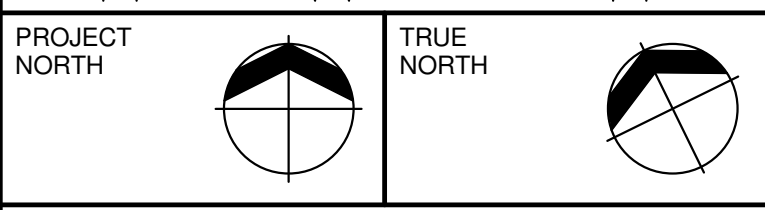
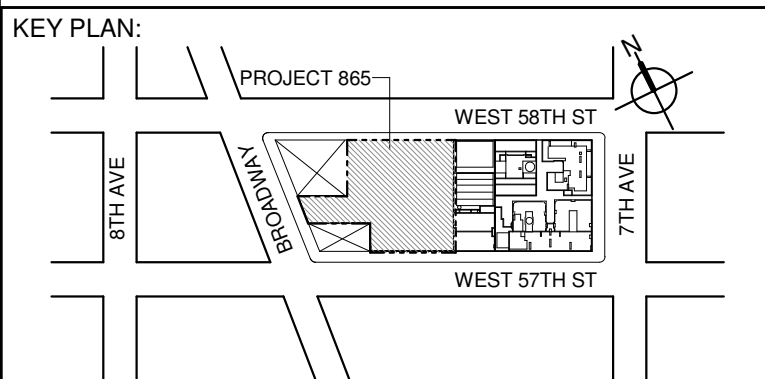
G - GAP FROM ADJACENT BUILDING

--- DEVELOPMENT LOT LINE

* WHERE APPLICABLE, DOCUMENTED AND CALCULATED AREAS HAVE BEEN ROUNDED TO ITS NEXT SIGNIFICANT DIGIT.

** LENGTH AND WIDTH DIMENSIONS FOR COMPLEX SHAPES HAVE BEEN SIMPLIFIED TO ILLUSTRATE ONLY LARGEST OVERALL DIMENSION RESPECTIVELY. AREA DOCUMENTED IS THE EXACT AREA OF THE COMPLEX SHAPE

*** ELECTRICAL DEDUCTIONS ARE ONLY FOR ELECTRICAL RISERS, AND CLOSETS. NO DEDUCTIONS TAKEN FOR TELEPHONE CLOSETS



DEVELOPER:

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core

ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

ARCHITECT OF RECORD: Base Building Shell & Core

AAI ARCHITECTS, P.C.
401 Wellington St., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 867 1500 FAX: 416 867 7150

STRUCTURAL ENGINEERS:

WSP CANTOR SENUK
228 EAST 46th Street
New York, NY 10017 USA
TEL: 212 687 9888 FAX: 646 487 5501

MEP ENGINEERS:

AKF GROUP
1501 Broadway
New York, NY 10036 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:

Langan Engineering & Environmental Services
21 Fern Plaza, 360 West 31st Street, 8th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:

Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:

AJLP Consulting
40 Worth Street, Suite 828
New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:

Higgins Quasebath & Partners LLC
11 Hanover Square, 16th Floor
New York, NY 10005
TEL: 212 274 9468 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:

Jan Hird Pokorny Associates, Inc.
59 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION:	DATE:
1	D.O.B. SUBMISSION	05 DEC 14
2	D.O.B. SUBMISSION	18 FEB 15
	D.O.B. SUBMISSION	27 APR 14
	D.O.B. AMENDMENT 2	21 SEP 15
	D.O.B. AMENDMENT 3	03 OCT 16

0 10'-8" 21'-4" 42'-8"

D.O.B. SUBMISSION

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CONSULTANT:

AAI
ARCHITECTS, P.C.

PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

ZONING FLOOR AREA PLAN AND DEDUCTIONS
93RD, 94TH, 95TH FLOOR

SEAL & SIGNATURE:

DAVID J. LEE
REGISTERED ARCHITECT
NEW YORK

DATE: 05 DEC 14
PROJECT No: 1216-00
DRAWN: Author
CHK: Checker
SCALE: 3/64" = 1'-0"
DWG No: **Z-039.02**

DOB PAGE No: 36 of 454
DOB EMPLOYEE STAMP: DOB B-SCAN:

99TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		155	155	0
TOTAL		155	155	0

99TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		143	143	0
TOTAL		143	143	0

99TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE		*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		298	298	0
TOTAL		298	298	0

99TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	99.1	1'-4"	24'-8"	32.9
RESIDENTIAL	M	99.2	6'-9"	16'-8"	111.5
RESIDENTIAL	ST	99.3	0'-8"	9'-7"	6.4
RESIDENTIAL	M	99.4	0'-7"	7'-2"	3.9
SUBTOTAL					154.7

99TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	99.5	7'-2"	16'-2"	116.2
RESIDENTIAL	ST	99.6	0'-8"	40'-11"	27.3
SUBTOTAL					143.4

99TH FLOOR ROOF (MFD:137ST FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS
3/64" = 1'-0" 3

96TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	96.1	4,808	4,808	0
TOTAL		4,808	4,808	0

96TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	96.2	1,319	1,319	0
TOTAL		1,319	1,319	0

96TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE		*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		6,127	6,127	0
TOTAL		6,127	6,127	0

96TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	96.1	46'-10"	102'-9"	4,808.3
SUBTOTAL					4,808.3

96TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	96.2	16'-5"	80'-2"	1,319.2
SUBTOTAL					1,319.2

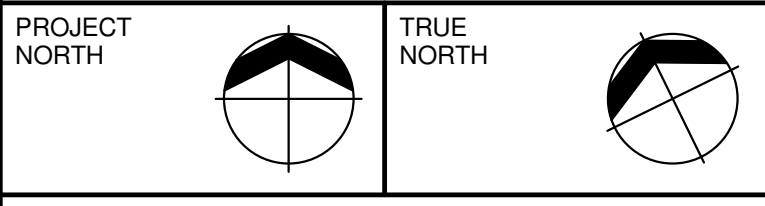
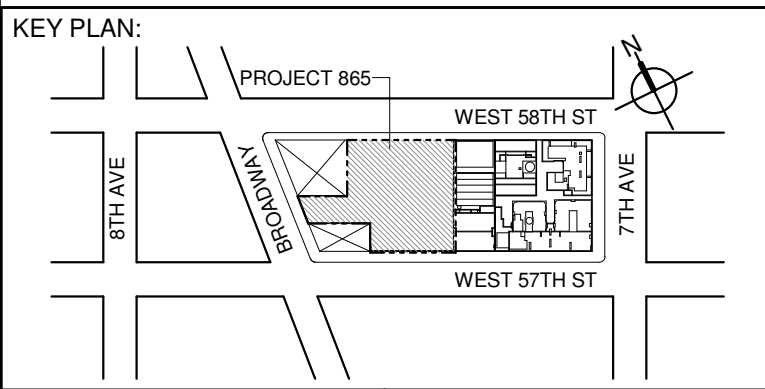
96TH FLOOR (MFD:134TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS
3/64" = 1'-0" 1

- ZONING AND DEDUCT LEGEND**
- ☐ DEDUCTIONS
- M - MECHANICAL ROOM / RISER
- E - ELECTRICAL SHAFT / RISER
- P - PLUMBING RISER
- BG - BELOW GRADE
- O - OPENING TO BELOW
- L - LOADING BAYS
- ST - 44" RESI STAIR SHAFT (INCLUDING 6" PERIMETER)
- G - GAP FROM ADJACENT BUILDING
- DEVELOPMENT LOT LINE

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DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 17TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

ARCHITECT OF RECORD: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
WSP CANTOR SEINUK
228 EAST 46th Street
New York, NY 10017 USA
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AKF GROUP
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New York, NY 10036 USA
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GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Fern Plaza - 360 West 31st Street, 8th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 808
New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Higgins Quasebarth & Partners LLC
11 Hanover Square, 16th Floor
New York, NY 10005
TEL: 212 274 9468 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:
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New York, NY 10018
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	D.O.B. SUBMISSION	27 APR 14
	D.O.B. AMENDMENT 2	21 SEP 15
	D.O.B. AMENDMENT 3	03 OCT 16

0 10' - 8" 21' - 4" 42' - 8"

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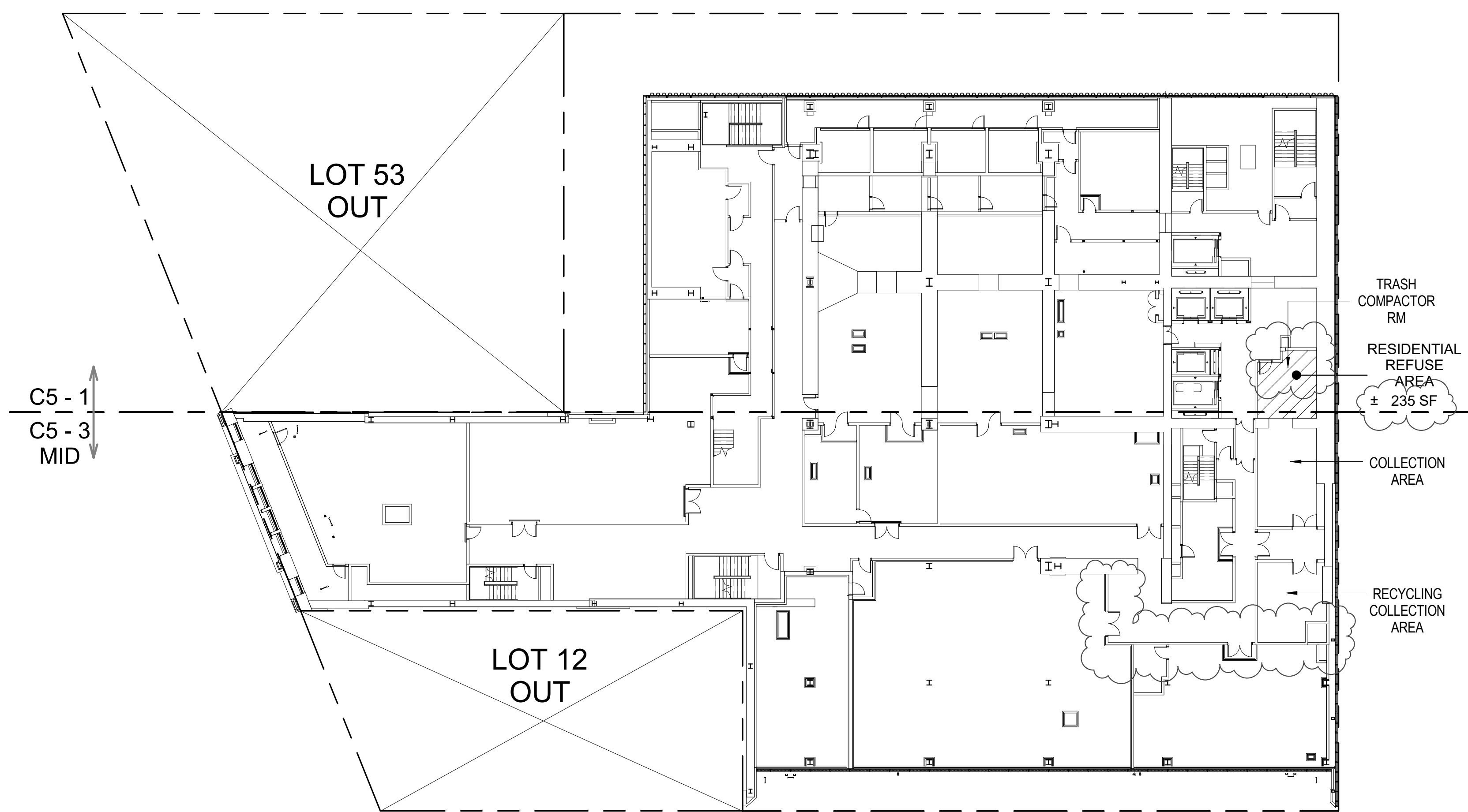


PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

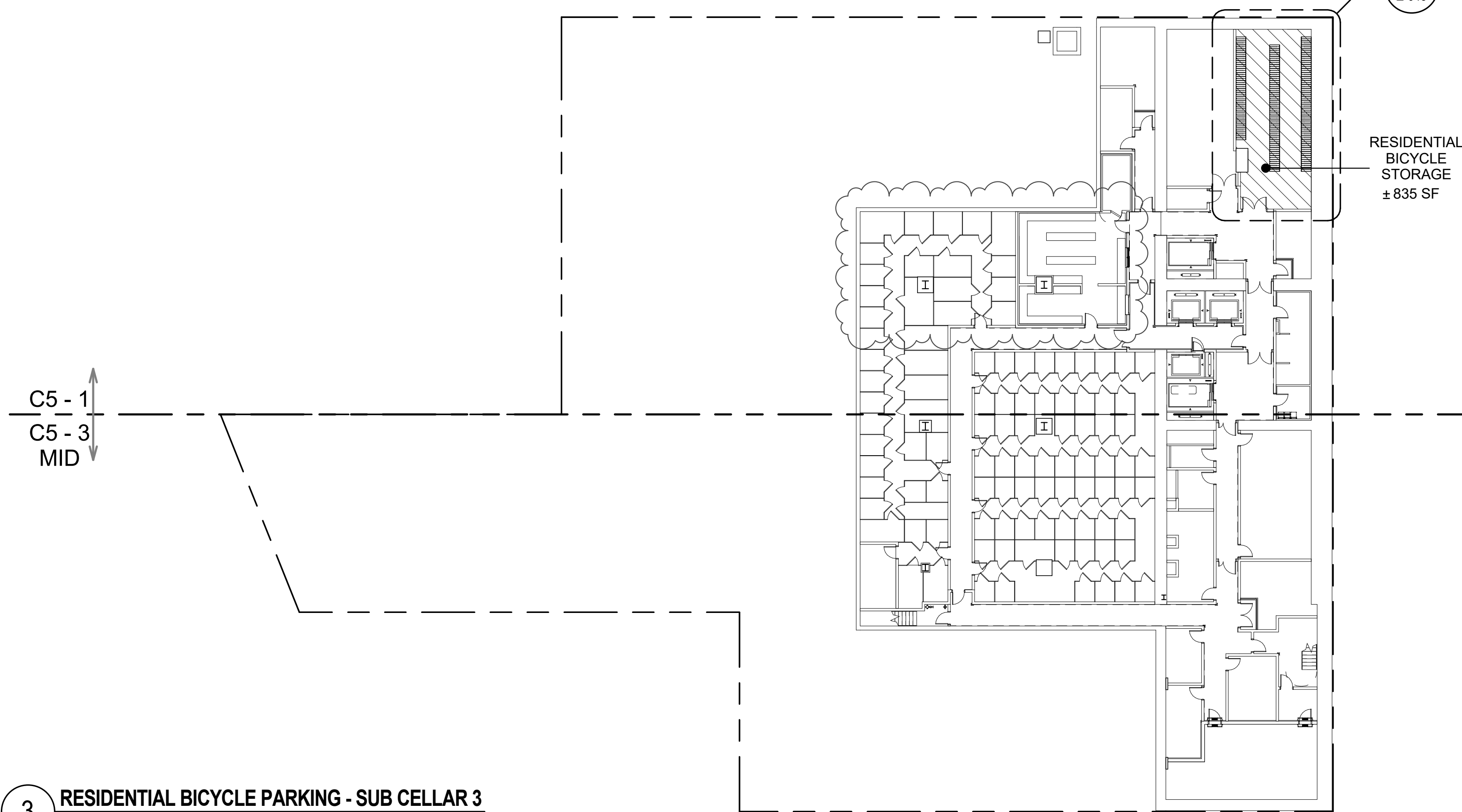
DRAWING TITLE:
ZONING FLOOR AREA PLAN AND DEDUCTIONS
96TH, 97TH, 98TH, 99TH (ROOF) FLOOR

SEAL & SIGNATURE: PROJECT No. 1216-00 DATE: 05 DEC 14
DRAWN: Author REV: 2
CHK: Checker
SCALE: 3/64" = 1'-0"
DWG No.: **Z-040.02**

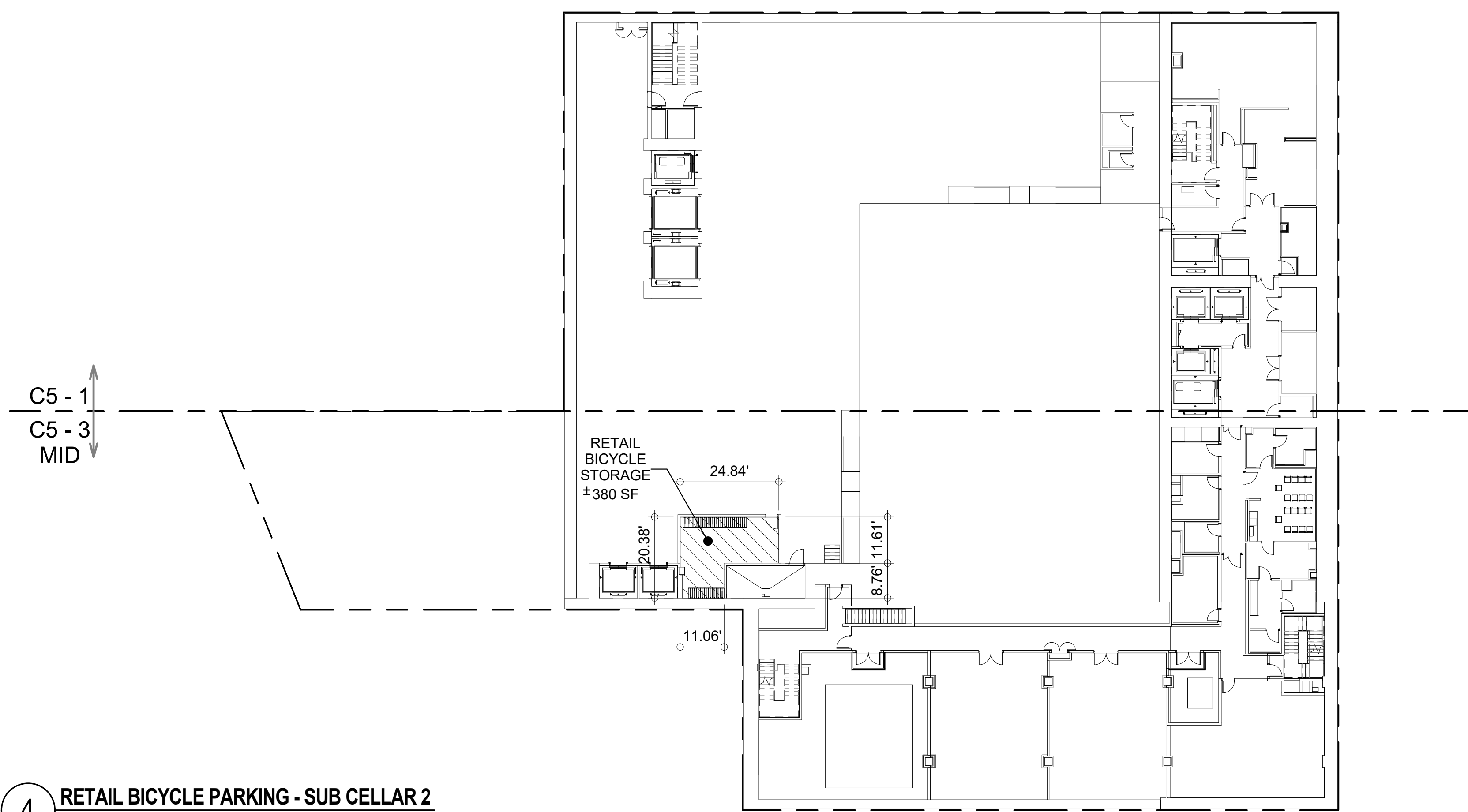
DOB PAGE No: 37 of 454
DOB EMPLOYEE STAMP: DOB B-SCAN:



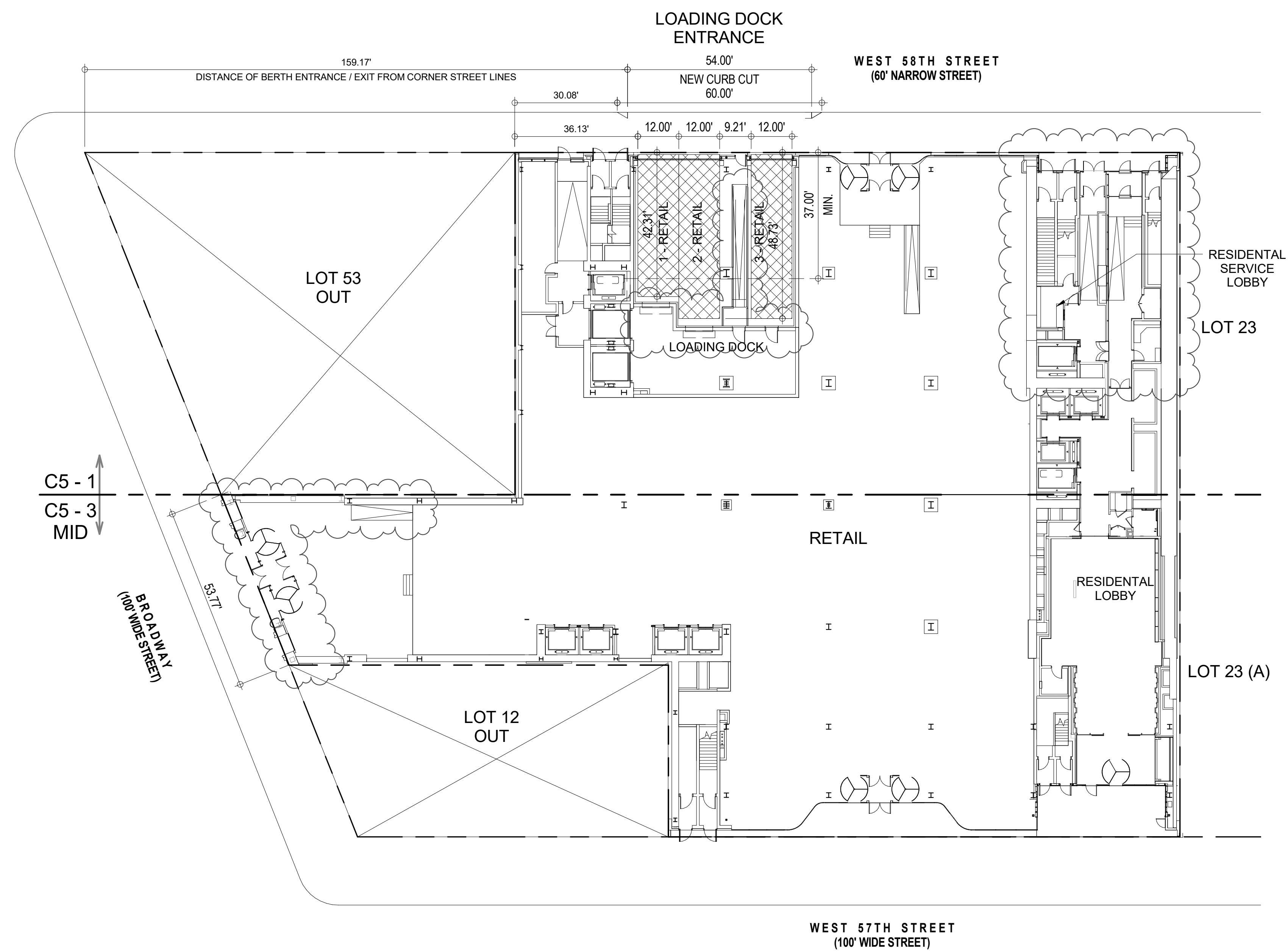
2 CENTRAL REFUSE STORAGE AREA - 7TH FLOOR
3/64" = 1'-0"



3 RESIDENTIAL BICYCLE PARKING - SUB CELLAR 3
3/64" = 1'-0"



4 RETAIL BICYCLE PARKING - SUB CELLAR 2
3/64" = 1'-0"



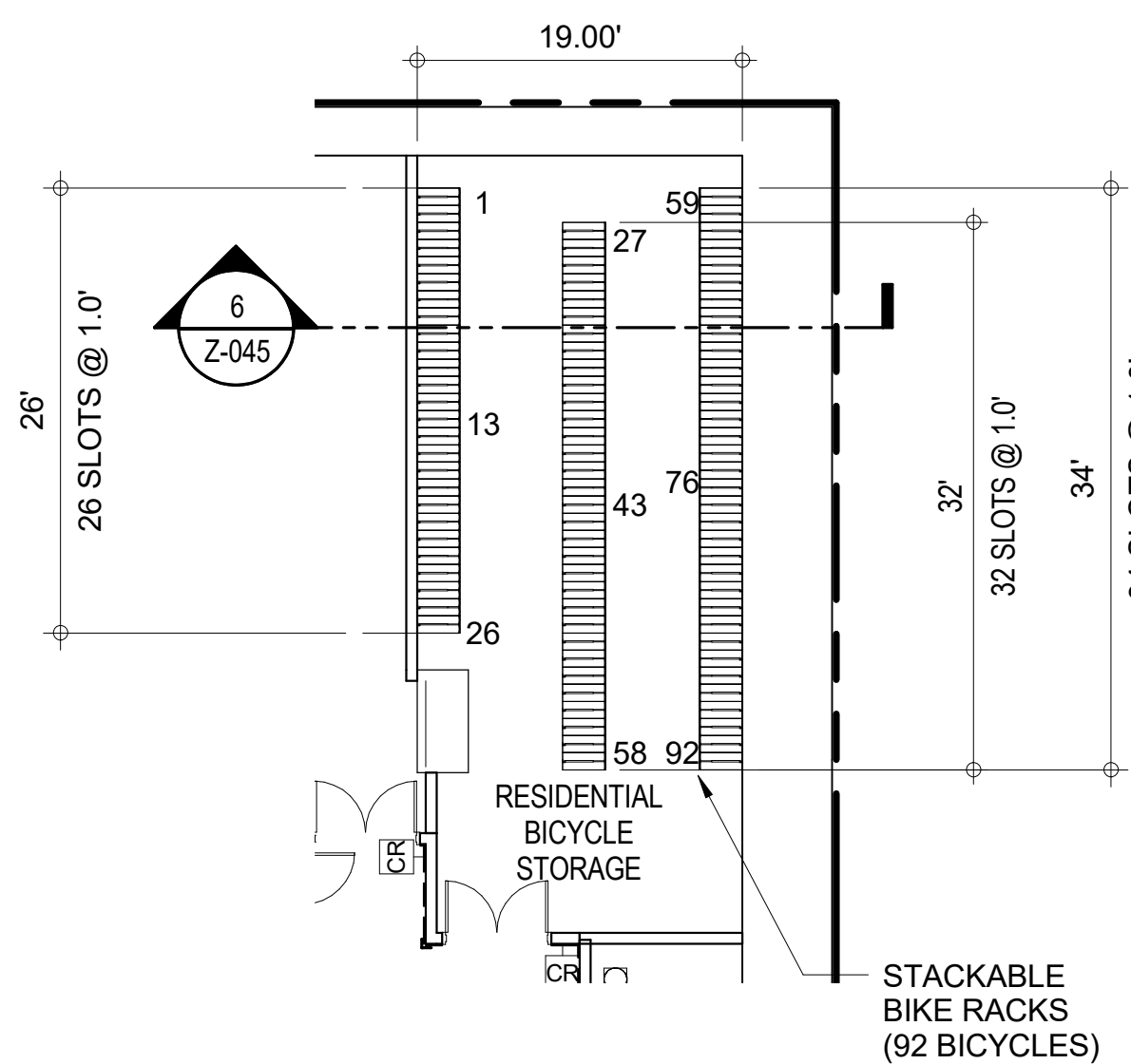
1 CURB CUT AND REQUIRED LOADING BERTHS - GROUND FLOOR
3/64" = 1'-0"

No.	DESCRIPTION:	DATE:
1	D.O.B. SUBMISSION	05 DEC 14
2	D.O.B. SUBMISSION	18 FEB 15
	D.O.B. SUBMISSION	27 APR 14
	D.O.B. AMENDMENT 1	24 JUL 15
	D.O.B. AMENDMENT 2	21 SEP 15
	D.O.B. AMENDMENT 3	03 OCT 16

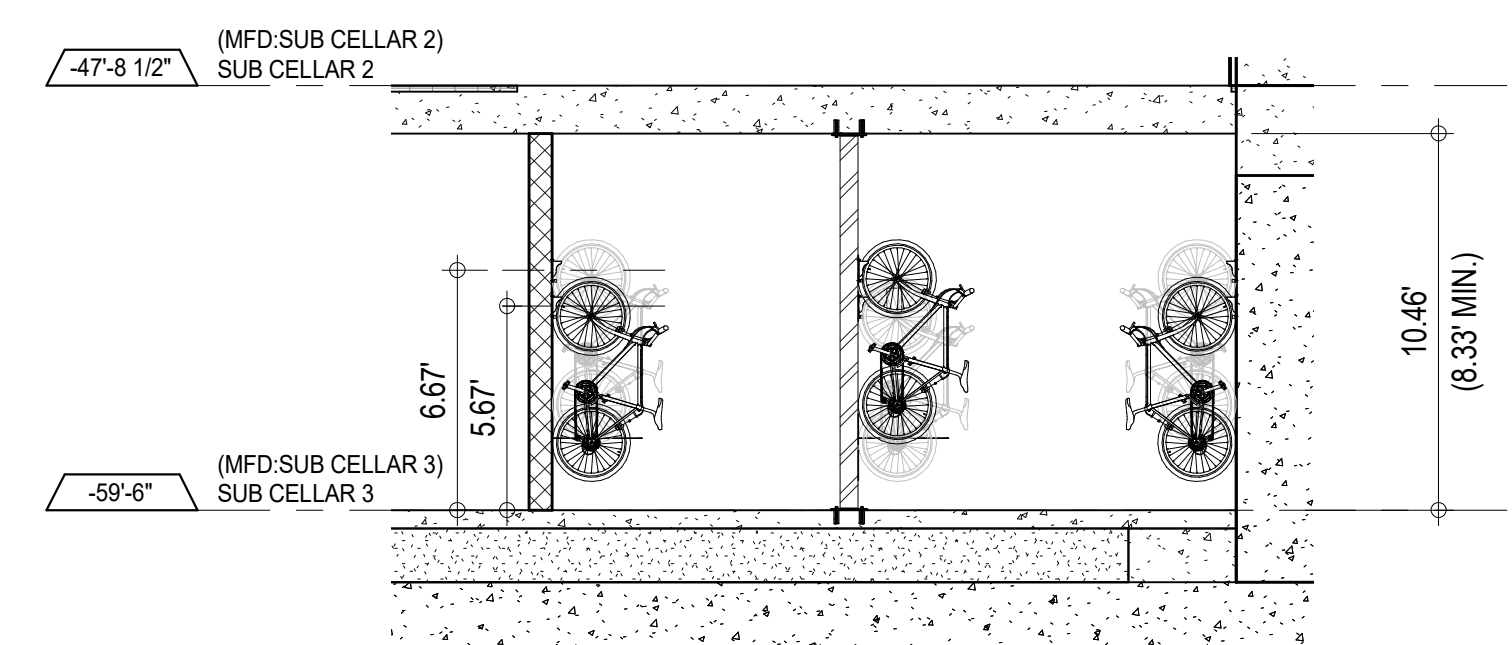
26-00 37-00	SPECIAL URBAN DESIGN REGULATIONS		
26-15 81-44	CURB CUTS No curb cut on wide streets, one curb cut per zoning lot on Narrow Street. One Curb Cut provided for Narrow Street (West 58th) for Required Loading (see 1 / Z-045)		COMPLIES
26-16	CENTRAL REFUSE STORAGE AREA Compressed Garbage Area Requirements Refuse Area Required Refuse Area Provided	50 SF x (Lot Area / 10,000 SF) 50 SF x (44,686 SF / 10,000 SF) = 223 SF 235 SF (see 2 / Z-045)	COMPLIES
36-681	SIZE AND LOCATION OF REQUIRED BERTHS Size of Berths for Commercial Uses Retail Berths Provided	Length X Width 37' X 12' (see 1 / Z-045)	COMPLIES
36-682	Location of Berth entrance and exit shall be more than 50 FT from the intersection of any two street lines Distance of Berth to intersection provided	159.17' (see 1 / Z-045)	COMPLIES
36-70 36-73	ENCLOSED BICYCLE PARKING Required Bicycle Parking Required Bicycle Parking With Stackable Bike Racks i) Residential : 1 Bicycle per 2 Dwelling Units Residential Bicycle Parking Provided (With Stackable Racks - see 6 / Z-045) ii) Retail : 1 Bicycle / 10,000 SF Retail Bicycle Parking Provided	15 SF / Bicycle 9 SF / Bicycle 179 D.U. / 2 = 90 BICYCLES (90 X 9 SF) = 810 SF 835 SF (see 3 / Z-045) 238,836 SF / 10,000 = 24 BICYCLES (24 X 15 SF) = 360 SF 380 SF (see 4 / Z-045)	COMPLIES
	Total Bicycle Parking Space Required Total Bicycle Parking Space Provided	(90 X 9 SF) + (24 X 15 SF) = 1170 SF 835 SF + 380 SF = 1215 SF	COMPLIES

LEGEND

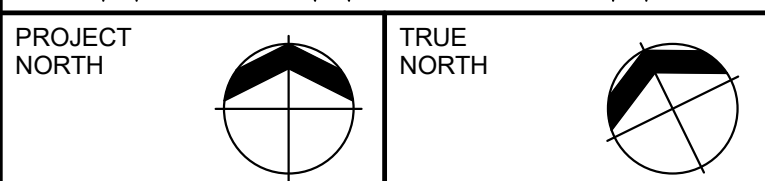
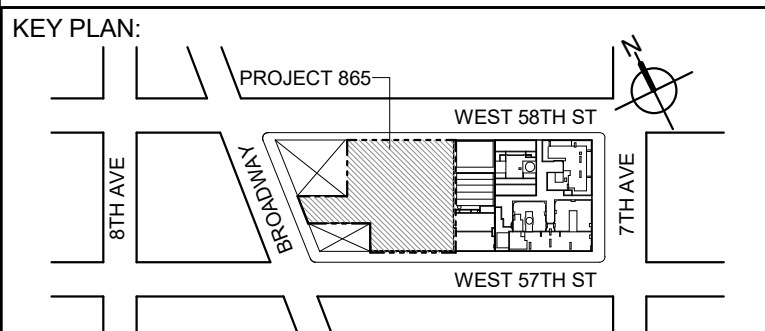
- BICYCLE STORAGE
- REFUSE AREA
- LOADING BERTHS



5 PLAN DETAIL - RESIDENTIAL BICYCLE PARKING
3/32" = 1'-0"



6 SECTION - RESIDENTIAL BICYCLE PARKING
3/16" = 1'-0"



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

ARCHITECT OF RECORD: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 West 57th St., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 867 1500 FAX: 416 867 1750

STRUCTURAL ENGINEERS:
WSP CANTOR SENUK
228 EAST 48th Street
New York, NY 10017 USA
TEL: 212 687 9888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
1501 Broadway
New York, NY 10036 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 380 West 31st Street, 8th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

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Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 828
New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Higgins Quasbarth & Partners LLC
11 Hanover Square, 16th Floor
New York, NY 10005
TEL: 212 274 9468 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
50 West 57th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

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CONSULTANT:



PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
**SPECIAL URBAN DESIGN
REGULATIONS C5-1**

SEAL & SIGNATURE: DATE: 05 DEC 14
PROJECT No: 1216-00
DRAWN: Author
CHK: Checker
SCALE: As Indicated
DWG No: **Z-045.03**
DOB PAGE No: 38 of 454
DOB B-SCAN:

GYPSUM BOARD PARTITION NUMBERING STRATEGY

ASSEMBLY TYPE	STUD / CHANNEL SIZE	SPECIAL
A	X NONE 0 1/8" 1 1/8" 2 1/2" 3 1/2" 4 1/2" 5 1/2" 6 1/2" 7 1/2" 8 1/2" 9 1/2"	NONE 1 LAYER 5/8" ALUMINUM FOIL BACKED 1 LAYER 5/8" V.H. ABUSE-RESISTANT GYPSUM BOARD ON OCCUPANT SIDE DOUBLE STUD SPACING AS INDICATED DOUBLE STUD SPACING INDICATED WITH 1 LAYER 5/8" V.H. ABUSE-RESISTANT GYPSUM BOARD ON OCCUPANT SIDE WALLS SUPPORTING STONE CLADDING MIN. 16 GA. STEEL STUDS WALLS SUPPORTING STONE CLADDING MIN. 16 GA. STEEL STUDS AT 1'-0" O.C. USE GLASS MAT PANELS, MOLD TOUGH, V.H. FIRECODE X POCKET DOOR CAVITY WITH MINERAL WOOL BATT INSULATION SOUND ATTENUATION BLANKET THICKNESS MATCHING STUD CAVITY, PROVIDE SEALANTS AS PER DETAIL 1/A-006 THERMALLY INSULATED 2" CW VAPOR BARRIER TO SAUNA SIDE 2" or 3" SOUND ATTENUATION BLANKET IN CAVITY WITH (3) LAYER OF 5/8" GYPSUM BOARD THERMALLY INSULATED 1" R-11 INSULATION 2" or 3" SOUND ATTENUATION BLANKET IN CAVITY WITH 1 LAYER 5/8" V.H. ABUSE-RESISTANT GYPSUM BOARD ON OCCUPANT SIDE FIRE-RATED STAIR SOFFIT ASSEMBLY FIRE-RATED HORIZONTAL GYPSUM ENCLOSURE ASSEMBLY
B		
C		
D		
E		
F		
G		
H		
I		
J		
K		
L		
M		
N		
O		
P		
Q		
R		

GYPSUM BOARD PARTITION CEILING NOTES

GYPSUM BOARD PARTITION SYMBOL

GENERAL NOTES

- ALL PARTITIONS SHALL REST DIRECTLY UPON THE FIREPROOF FLOOR CONSTRUCTION AND NEVER UPON ANY WOOD FLOORING OR FINISH, AND SHALL EXTEND TO THE FIREPROOF CONSTRUCTION ON THE FLOOR OR ROOF ABOVE. WALL FURRING EXCLUDED.
- WALL FURRING TO EXTEND 6" MINIMUM ABOVE CEILING FINISH, EXCEPT IN ROOMS WITHOUT CEILING, EXTEND TO SLAB, UNLESS OTHERWISE NOTED.
- PROVIDE ADDITIONAL BRACING OR HORIZONTAL SUPPORT IF LIMITING HEIGHT IS EXCEEDED.
- PROVIDE 1/4 GA. STEEL PLATE TO UNDERSIDE OF BEAM FOR HEAD OF WALL AT GYPSUM BOARD PARTITION, IF OVERLAPPING DISTANCE BETWEEN BEAM & METAL STUD IS LESS THAN 2/3 OF METAL STUD WIDTH.
- FOR FIRE-RATED SHAFT WALL CEILING/DUCT ENCLOSURE DETAILS, REFER TO ARCHITECTURAL DRAWINGS.
- FOR WALLS WITH TILE FINISH USE ALLOWABLE DEFLECTION CRITERIA OF L/360, (SEE SPECIFICATIONS FOR RELATED INFORMATION).
- ALL PLAN DIMENSIONS ARE TO FACE OF OUTER MOST LAYER OF GYPSUM BOARD (J.N.O.).
- ALL FIRE RATED AND ACOUSTIC RATED PARTITIONS TO HAVE GYPSUM PANEL JOINTS FINISHED.
- REPLACE FACE LAYER OF GYPSUM BOARD ON WASHROOM SIDE AND JANITORS ROOM SIDE WITH 5/8" GYPSUM BOARD, FIRECODE CORE (WATER RESISTANT).
- STEEL STUDS TO BE SPACED AT 12" MAX O.C. BEHIND ALL KITCHEN / PANTRY CABINETRY.
- FOR WALLS SUPPORTING STONE PANELS PROVIDE 16GA STEEL STUD FRAMING.
- ALL GYPSUM BOARD TO BE MOLD RESISTANT.
- PROVIDE 5/8" THICK CEMENT BOARD BASE 8" HIGH (FLUSH WITH GYPSUM ABOVE) WITHIN ALL RESIDENTIAL HEAT PUMP ROOMS.
- PROVIDE WATER-RESISTANT GWB AT ALL LAUNDRY/UTILITY CLOSETS, PANTRIES, LOCKER ROOMS, AND MECHANICAL ROOMS.
- NO GYPSUM BOARD LAYERS ARE TO BE CONTINUOUS BETWEEN TWO ADJACENT ROOMS. GYPSUM BOARD IS TO BE INTERRUPTED AT ALL PARTITION INTERSECTIONS, AND IS TO CLOSE THROUGH PERIMETER FASCIA TO THE BASE BUILDING CONSTRUCTION.
- PROVIDE 20 GA. STEEL GROUND, 1/2" HIGH X LENGTH NOTED, BEHIND ALL HANGING CABINETS, RAILING AND FUTURE GRAB BARS, STEEL GROUND MUST EXTEND FULL LENGTH BEHIND HANGING CABINETS, MUST CONNECT TWO STUDS AT RAILINGS AND GRAB BARS, GROUND MUST BE PROVIDED FOR ALL FUTURE GRAB BARS, SEE A-961 FOR DETAILS.
- PROVIDE NON-SHRINK GROUT AND 5/8" CEMENT BOARD AT ALL MECHANICALLY SUPPORTED STONE WALL FACING UP TO 6'-0" AFF.
- ALL GYPSUM BOARD CEILINGS IN RESIDENTIAL UNITS LOCATED BELOW A MECHANICAL FLOOR ARE TO BE SUSPENDED USING ISOLATION HANGERS. (REFER TO SOUND BARRIER CEILING ON A-007)
- PARTITIONS IN RESIDENTIAL UNITS LOCATED BELOW A MECHANICAL FLOOR ARE TO BE ACOUSTICALLY ISOLATED FROM THE FLOOR CONSTRUCTION AT THE PARTITION HEAD. (REFER TO SOUND BARRIER CEILING ON A-007)
- BC 717 - FIREBLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AND PARALLEL ROWS OF STUDS ON STAGGERED STUDS, AS FOLLOWS:
 - VERTICALLY AT THE CEILING AND FLOOR LEVELS.
 - HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET.
- BC 717 - FIREBLOCKING SHALL BE PROVIDED AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL STUD WALL OR PARTITION SPACES AND CONCEALED HORIZONTAL SPACES CREATED BY AN ASSEMBLY OF FLOOR JOISTS OR TRUSSES, AND BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILING, COVE CEILING AND SIMILAR LOCATIONS.
- WALLS AND PARTITIONS LOCATED AT OR NEAR SLAB EDGES OF OPENINGS OR WHERE DIFFERENCE IN FLOOR LEVELS IS MORE THAN 30 INCHES PER BC 1012.1 WILL BE DESIGNED AS QUARDS PER BC 1607.7 STRUCTURAL REQUIREMENTS.
- WALLS/PARTITIONS TO WHICH HANDRAILS OR GRAB BARS ARE ATTACHED OR FUTURE REINFORCEMENT PLATES PROVIDED FOR GRAB BARS WILL BE DESIGNED PER BC 1607.7 STRUCTURAL REQUIREMENTS.

1 RONY §1014-01
CHAPTER 1000
MEANS OF EGRESS
§1014-01 MASONRY EQUIVALENT EXIT ENCLOSURES

(A) SCOPE: THIS RULE PROVIDES THE CONSTRUCTION REQUIREMENTS FOR MASONRY EQUIVALENT EXIT ENCLOSURES IN GROUPS R-1, R-2 AND R OCCUPANCIES.

(B) REFERENCES: SEE SECTIONS 1014.2.1 (TWO EXITS AND EXIT ACCESS DOORWAYS, EXCEPTIONS 3 AND 4) AND 1019.1 (ENCLOSURES REQUIRED EXCEPTION 10) OF THE BUILDING CODE.

(C) STUD WALL CONSTRUCTION REQUIREMENTS: A MASONRY EQUIVALENT EXIT ENCLOSURE CONSTRUCTED AS STUD AND WALL BOARD ASSEMBLY SHALL SATISFY THE FOLLOWING REQUIREMENTS:

- (I) PRESCRIPTIVE STUD AND WALL BOARD ASSEMBLY: A COMPLIANT WALL ASSEMBLY SHALL BE SUBSTANTIALLY IDENTICAL TO, AND SHALL PROVIDE AN IMPACT RESISTANCE EQUIVALENT TO OR EXCEEDING, THE PERFORMANCE OF ONE (1) OF THE FOLLOWING:
 - (A) MATERIALS: IMPACT RESISTANT WALL BOARD SHEARED ON THE INTERIOR SURFACE OF THE EXIT ENCLOSURE WALL ASSEMBLY SHALL BE TESTED BY AN APPROVED TESTING AGENCY. THE WALL BOARD USED AS THE INTERIOR FACE PANEL SHALL BE TESTED BY AN APPROVED TESTING AGENCY TO ASTM C-109-W, STANDARD CLASSIFICATION FOR ABUSE-RESISTANT NONDECORATED INTERIOR GYPSUM PANEL, PRODUCTS AND FIBER-REINFORCED CEMENT PANELS, IMPACT CLASSIFICATION LEVEL 2, AND THE BASE LAYER PANEL SHALL BE A MINIMUM 1/2" (12.5 MM) GYPSUM WALL BOARD, WALL BOARD APPLIED TO THE INTERIOR SURFACE OF THE EXIT ENCLOSURE WALL SHALL NOT REDUCE THE CLEAR WIDTH OF THE EXIT STAIRS BELOW THAT REQUIRED FOR MEANS OF EGRESS BY CHAPTER 10 OF THE BUILDING CODE.
 - (II) ASSEMBLY: THE WALL ASSEMBLY SHALL BE AT LEAST TWO-HOUR FIRE RESISTANCE RATED.
 - (III) INSTALLATION: THE WALL ASSEMBLY SHALL COMPLY WITH THE FOLLOWING:
 - (A) STUDS SHALL BE MINIMUM 3/4" (19.05 MM) DEPTH COLD-FORMED STEEL FRAMING, AT LEAST 33 MILS THICK (20 GAUGE).
 - (B) VERTICAL STUDS SHALL BE SPACED AT A MAXIMUM DISTANCE OF 24 INCHES (610 MM), ON CENTER.
 - (C) RUNNERS SHALL BE SECURELY ATTACHED AT THE FLOOR AND CEILING TO STRUCTURAL ELEMENT MEMBERS AND SHALL COMPLY WITH THE STRUCTURAL REQUIREMENTS OF THE BUILDING CODE.
 - (D) WALL BOARDS SHALL BE ATTACHED WITH NO. 8 SELF-DRILLING BUGLE-HEAD SCREWS, 12 INCHES (305 MM), ON CENTER MAXIMUM, WITH A MINIMUM DEPTH OF 1/4" (6.35 MM) PENETRATION INTO THE WALL CAVITY.
 - (E) JOINTS BETWEEN ADJOINING SHEETS OF WALL BOARD SHALL BE STAGGERED FROM BASE LAYER WITH FACE PANEL LAYER.
- (II) PERFORMANCE-BASED REQUIREMENTS: FOR A WALL ASSEMBLY NOT CLASSIFIED IN SUBDIVISION (I) ABOVE, A MASONRY EQUIVALENT WALL ASSEMBLY SHALL SATISFY THE FOLLOWING REQUIREMENTS:
 - (A) MATERIALS: MATERIALS CONSTITUTING THE INTERIOR SIDE OF THE EXIT ENCLOSURE WALL ASSEMBLY SHALL BE TESTED BY AN APPROVED TESTING AGENCY TO ASTM C-109-W, STANDARD CLASSIFICATION FOR ABUSE-RESISTANT NONDECORATED INTERIOR GYPSUM PANEL, PRODUCTS AND FIBER-REINFORCED CEMENT PANELS, IMPACT CLASSIFICATION LEVEL 2, AND THE BASE LAYER PANEL SHALL BE A MINIMUM TWO-HOUR FIRE RESISTANCE RATED. THE WALL ASSEMBLY SHALL BE TESTED BY AN APPROVED TESTING AGENCY TO ASTM C-109-W, STANDARD CLASSIFICATION FOR ABUSE-RESISTANT NONDECORATED INTERIOR GYPSUM PANEL, PRODUCTS AND FIBER-REINFORCED CEMENT PANELS, IMPACT CLASSIFICATION LEVEL 2.
 - (II) INSTALLATION: WALL ASSEMBLIES SHALL BE ANCHORED TO STRUCTURAL MEMBERS AND SHALL COMPLY WITH THE STRUCTURAL REQUIREMENTS OF THE BUILDING CODE.

PARTITION & WALL PRIORITY LEGEND

PARTITION	PRIORITY	ASSEMBLY DIAGRAM
TWO HOUR FIRE RATED WALL & SHAFT WALL	PRIORITY 1: HIGHEST	HIGHEST PRIORITY
ONE HOUR FIRE RATED WALL & SHAFT WALL	PRIORITY 2	LOWEST PRIORITY
NON-RATED WALL	PRIORITY 3: LOWEST	

FOR DEMISING WALLS TERMINATING AT SLABS UNDER MECHANICAL ROOMS REFER TO SEC-03 ON A-007

CONC. SLAB
FLAT TAPE & JOINT CEMENT, BOTH SIDES
CONTINUOUS BEAD OF NON-HARDENING ACOUSTICAL SEALANT, APPLIED AFTER BASE LAYER WITH GWS IN 3/8" TO 1/2" GAP, BOTH SIDES
DEFLECTION TRACK W/ 3/4" GAP
FLOOR FINISH
CONC. SLAB
STRUCT. CONC. COLUMN (ROUND OR OVAL)
CONTINUOUS BEAD OF NON-HARDENING ACOUSTICAL SEALANT, APPLIED AFTER BASE LAYER WITH GWS IN 3/8" TO 1/2" GAP

PLAN DET. - TYP. FINISH ON ALL OVAL/ROUND COLUMNS
A-125
1" = 1'-0"

SECTION DETAIL - TYP. UNIT DEMISING WALL
3" = 1'-0"

GYPSUM BOARD PARTITION SCHEDULE

PARTITION DESIGNATION	FIRE RATING	FIRE RESISTANCE REPORT NO.	ASSEMBLY DIAGRAM	DESCRIPTION	HEIGHT LIMITATIONS			STEEL FRAMING
					AIR PRESSURE	ALLOWABLE DEFLECTION	LIMITING HEIGHT	
1	NOT RATED	NA		1 LAYER 1" CEDAR WOOD ONE SIDE.	5 psf	L/360	13'-6"	3/8" - 16 GA. STEEL STUDS @ 16" O.C.
1	NOT RATED	NA		1 LAYER 5/8" GYPSUM BOARD ONE SIDE.				7/8" FURRING CHANNEL 1 5/8" METAL CHANNEL
1	NOT RATED	NA		1 LAYER 5/8" GYPSUM BOARD ONE SIDE.	5 psf	L/240	11'-7"	2 1/2" - 20 GA. STEEL STUDS @ 16" O.C.
1	NOT RATED	NA		1 LAYER 5/8" GYPSUM BOARD ONE SIDE.	5 psf	L/360	10'-2"	3/8" - 20 GA. STEEL STUDS @ 16" O.C.
1	NOT RATED	NA		1 LAYER 5/8" GYPSUM BOARD ONE SIDE.			16'-3"	6" - 20 GA. STEEL STUDS @ 16" O.C.
1	NOT RATED	NA		POCKET DOOR CAVITY 1 LAYER 5/8" GYPSUM BOARD ONE SIDE. 1 1/2" MINERAL WOOL BATT INSULATION. POCKET DOOR SPACE 1 1/2" MINERAL WOOL BATT INSULATION. 1 LAYER 5/8" GYPSUM BOARD ONE SIDE.			20'-2"	6" - 16 GA. STEEL STUDS @ 16" O.C.
2	NOT RATED	NA		2 LAYER 5/8" GYPSUM BOARD ONE SIDE.	5 psf	L/240	11'-7"	2 1/2" - 20 GA. STEEL STUDS @ 16" O.C.
2	NOT RATED	NA		2 LAYER 5/8" WATER RESISTANT GYPSUM BOARD ONE SIDE. 4" INSULATION WATER-PROOF MEMBRANE ON CONCRETE OR CONCRETE BLOCK WALL.	L/360	10'-2"		4" - 20 GA. STEEL STUDS @ 16" O.C.
1	NOT RATED	NA		1 LAYER 5/8" GYPSUM BOARD BOTH SIDES.	5 psf	L/240	11'-7"	2 1/2" - 20 GA. STEEL STUDS @ 16" O.C.
1	1 HOUR	U419		1 LAYER 5/8" GYPSUM BOARD, FIRECODE CORE BOARD BOTH SIDES.	5 psf	L/360	10'-2"	2 1/2" - 16 GA. STEEL STUDS @ 12" O.C.
1	NOT RATED	NA		1 LAYER 5/8" GYPSUM BOARD BOTH SIDES.	7.5 psf	L/240	10'-2"	3/8" - 20 GA. STEEL STUDS @ 16" O.C.
1	NOT RATED	NA		1 LAYER 5/8" GYPSUM BOARD BOTH SIDES.	10 psf	L/240	9'-2"	6" - 16 GA. STEEL STUDS @ 16" O.C.
1	1 HOUR	U419		1 LAYER 5/8" GYPSUM BOARD, FIRECODE CORE BOARD BOTH SIDES.				
2	2 HOUR	U436		CORE STAIR DIVIDING WALL 2 LAYERS 5/8" GYPSUM BOARD, FIRECODE CORE BOTH SIDES, OUTER LAYER V.H. ABUSE-RESISTANT 2 ROWS 3/8" STL STUDS SPACED 1/4" APART WITH 3/8" STL STUD BRACING MAX 6" O.C. SPACING FASTENED TO EACH STUD.	10 psf	L/120 L/240 L/360	12'-5" 12'-3" 16'-4" 15'-10" 12'-1"	3/8" - 20 GA. STEEL STUDS @ 16" O.C. 3/8" - 19 GA. STEEL STUDS @ 16" O.C.
2	2 HOUR	U423		2 LAYERS 5/8" GYPSUM BOARD, FIRECODE CORE BOTH SIDES.	5 psf	L/240	10'-7"	2 1/2" - 20 GA. STEEL STUDS @ 24" O.C.
2	2 HOUR	U423		2 LAYERS 5/8" GYPSUM BOARD, FIRECODE CORE BOTH SIDES.	7.5 psf	L/240	15'-6" 15'-6" 18'-11"	3/8" - 20 GA. STEEL STUDS @ 16" O.C.
2	NOT RATED	U419		2 LAYERS 5/8" GYPSUM BOARD, FIRECODE CORE BOTH SIDES. 24" O.C. STEEL STUD SPACING w/ 2 1/2" MINERAL WOOL BATT INSULATION.	10 psf	L/240	12'-3" 16'-5"	6" - 20 GA. STEEL STUDS @ 16" O.C.
3	3 HOURS	UL DESIGN U419		3 LAYERS 5/8" GYPSUM BOARD, FIRECODE CORE BOTH SIDES.	5 psf	L/240	15'-6"	3/8" - 20 GA. STEEL STUDS @ 16" O.C.
3	3 HOURS	UL DESIGN U419		3 LAYERS 5/8" WATER RESISTANT GYPSUM BOARD, FIRECODE "C" CORE, ON OUTER SIDE. RC-1 CHANNEL OR EQUIVALENT ONE SIDE, SPACED @ 24" O.C. THERMAFIBER 1 LAYER 5/8" ALUMINUM FOIL BACKED GYPSUM BOARD, FIRECODE "C" CORE. 2 LAYERS 5/8" GYPSUM BOARD, FIRECODE "C" CORE, ON INNER SIDE.				
1	1 HOUR	U415		CAVITY SHAFT WALL 1 LAYERS 5/8" GYPSUM BOARD ONE SIDE 1" LINER BOARD BETWEEN STUDS.	5 psf	L/240	12'-3"	2 1/2" - 20 GA. (C-H) STUDS @ 24" O.C.
1	1 HOUR	U415		CAVITY SHAFT WALL 1 LAYERS 5/8" GYPSUM BOARD ONE SIDE 1" LINER BOARD BETWEEN STUDS.		L/360	10'-10"	4" - 20 GA. (C-H) STUDS @ 24" O.C.
2	2 HOUR	UL DESIGN U415		CAVITY SHAFT WALL 1 LAYERS 5/8" GYPSUM BOARD ONE SIDE 1" LINER BOARD BETWEEN STUDS.	5 psf	L/240	12'-10"	2 1/2" - 20 GA. (C-H) STUDS @ 24" O.C.
2	2 HOUR	UL DESIGN U415		CAVITY SHAFT WALL 1 LAYERS 5/8" GYPSUM BOARD ONE SIDE 1" LINER BOARD BETWEEN STUDS.		L/360	11'-7"	4" - 20 GA. (C-H) STUDS @ 24" O.C.
2	2 HOUR	UL DESIGN U415		CAVITY SHAFT WALL 1 LAYERS 5/8" GYPSUM BOARD ONE SIDE 1" LINER BOARD BETWEEN STUDS.	7.5 psf	L/240	11'-3"	6" - 20 GA. (C-H) STUDS @ 24" O.C.
2	2 HOUR	UL DESIGN U415		CAVITY SHAFT WALL 1 LAYERS 5/8" GYPSUM BOARD ONE SIDE 1" LINER BOARD BETWEEN STUDS.	10 psf	L/240	10'-2"	
2	2 HOUR	UL DESIGN U415		CAVITY SHAFT WALL 1 LAYERS 5/8" GYPSUM BOARD ONE SIDE 1" LINER BOARD BETWEEN STUDS.		L/360	9'-2"	15'-11"
2	2 HOURS			CAVITY SHAFT WALL WITH 6" (DOUBLE-EI) STUDS 1 LAYERS 5/8" GYPSUM BOARD ONE SIDE 1" LINER BOARD BETWEEN STUDS.	5 psf	L/240	28'-0"	6" - 20 GA. (DOUBLE-EI) STUDS @ 12" O.C.
2	2 HOURS			CAVITY SHAFT WALL WITH 6" (DOUBLE-EI) STUDS 1 LAYERS 5/8" GYPSUM BOARD ONE SIDE 1" LINER BOARD BETWEEN STUDS.	7.5 psf	L/240	26'-3"	
2	2 HOURS			CAVITY SHAFT WALL WITH 6" (DOUBLE-EI) STUDS 1 LAYER 5/8" V.H. ABUSE-RESISTANT GYPSUM BOARD LAYERS 5/8" GYPSUM BOARD ONE SIDE 1" LINER BOARD BETWEEN STUDS.	10 psf	L/240	24'-0"	
2	2 HOURS			CAVITY SHAFT WALL WITH 6" (DOUBLE-EI) STUDS 1 LAYER 5/8" V.H. ABUSE-RESISTANT GYPSUM BOARD LAYERS 5/8" GYPSUM BOARD ONE SIDE 1" LINER BOARD BETWEEN STUDS.	15 psf	L/240	20'-0"	

KEY PLAN

PROJECT #65

WEST 57TH ST

WEST 57TH ST

7TH AVE

7TH AVE

PROJECT NORTH

TRUE NORTH

DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: **Base Building Shell & Core**
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: **Residential**
Rotet Architecture and Design Studio, PLLC
298 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: **Base Building Shell, Core, & Residential**
AAI ARCHITECTS, P.C.
401 Westchester St., 2nd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEER: **VSP CANTOR SEINUK**
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 887 2885 FAX: 646 487 5501

MEP ENGINEERS: **AKF GROUP**
165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5655 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS: **Langan Engineering & Environmental Services**
21 Penn Plaza - 360 West 51st Street, 9th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS: **Construction Consulting Associates**
100 Church Street
New York, NY 10007
TEL: 212 385 1918 FAX: 212 385 1911

CURTAINWALL CONSULTANT: **AJLP Consulting**
40 Worth Street, Suite 826
New York, NY 10013
TEL: 212 757 5550 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT: **Jan Hind Pokorny Associates, Inc.**
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	CD PROGRESS ISSUE 5	10 AUG 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD ISSUE 8 - GMP SET	31 MAR 16
11	CD BULLETIN ISSUE - 4	15 JUL 16
12	CD BULLETIN ISSUE - 7	14 SEP 16
	D.O.B. AMENDMENT 3	03 OCT 16

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.





















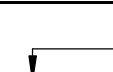
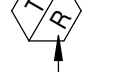
CONSULTANT:

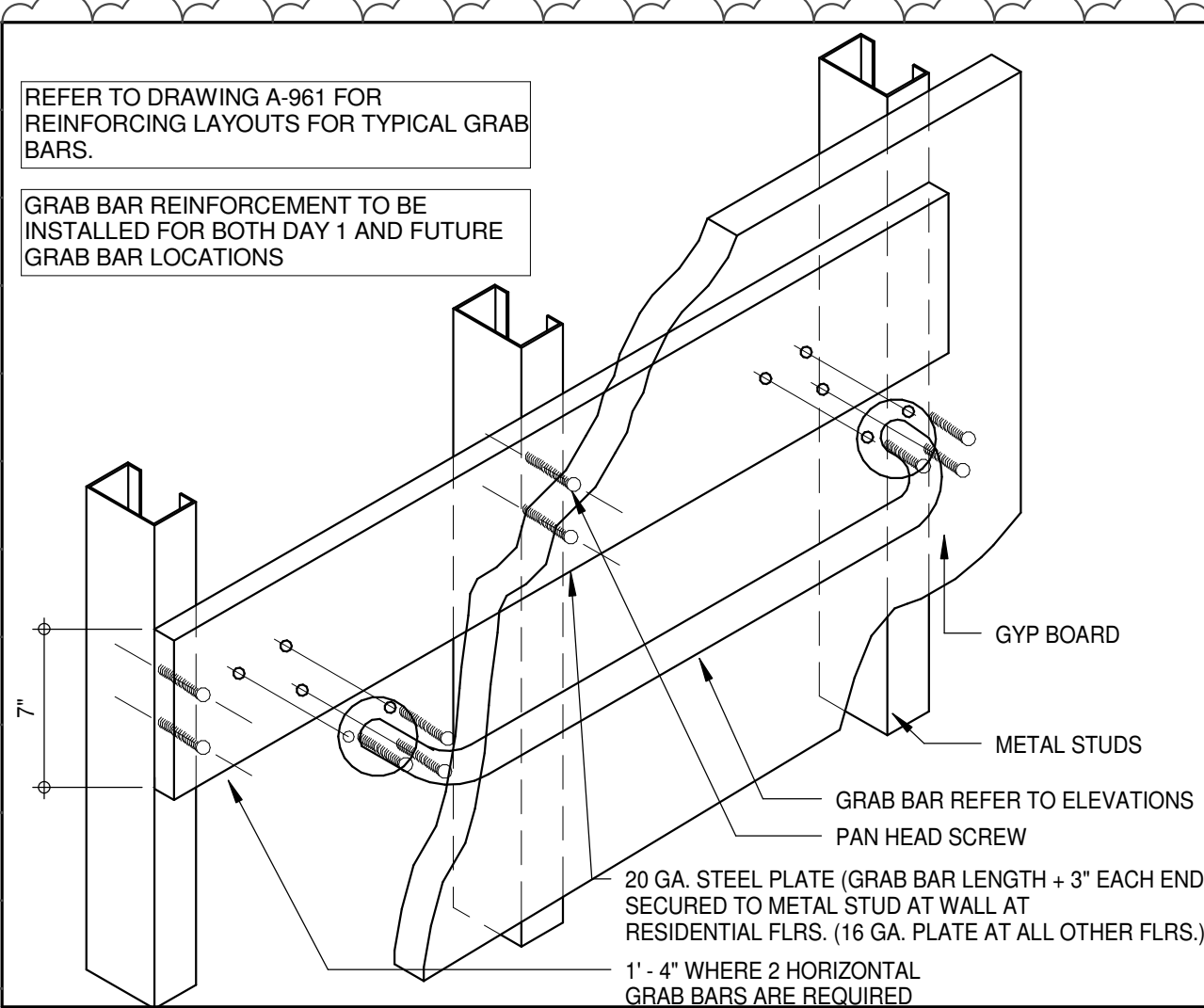
PROJECT: **217 WEST 57TH STREET**
NEW YORK, NY

DRAWING TITLE: **PARTITION SCHEDULE - 1**

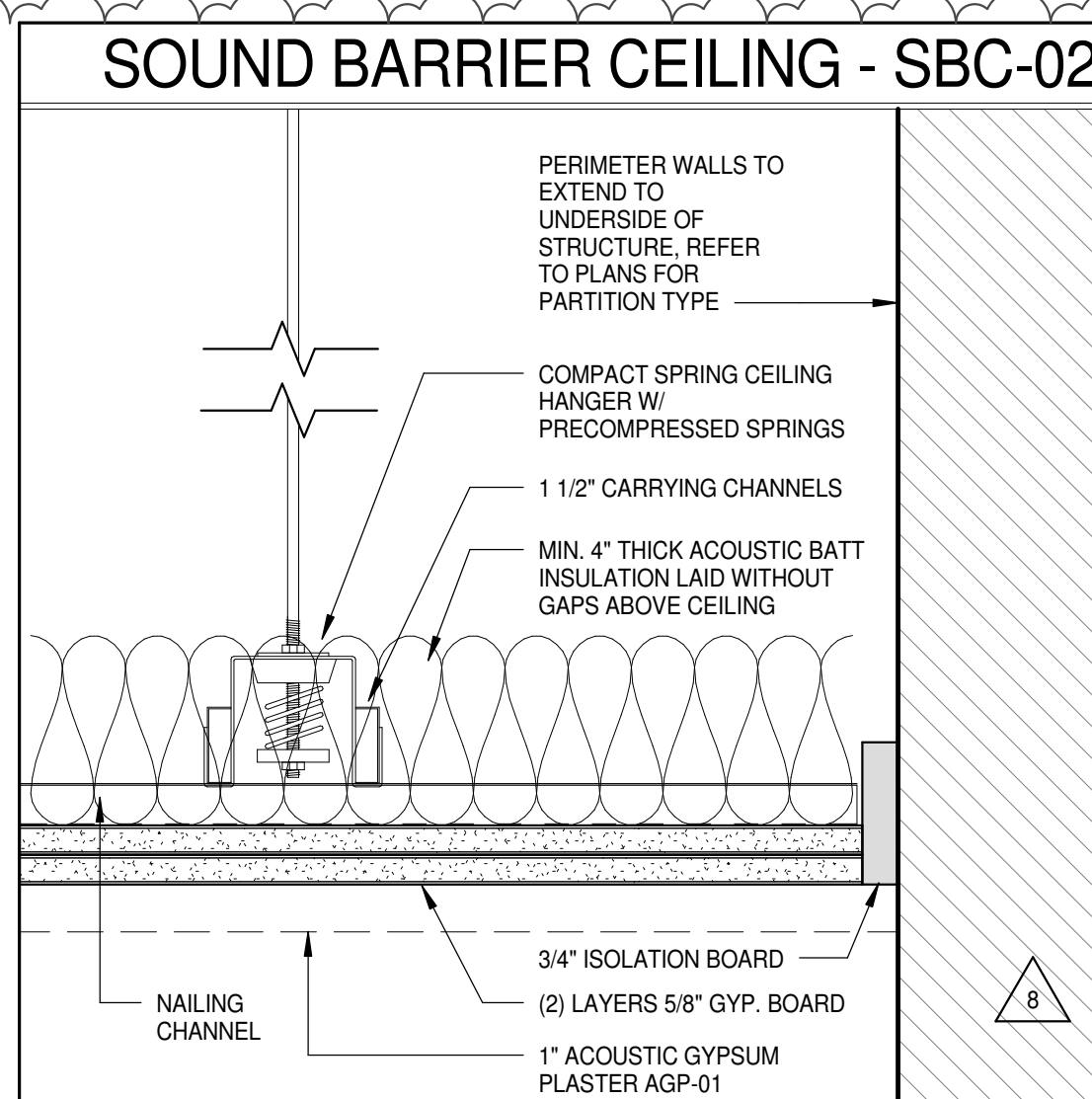
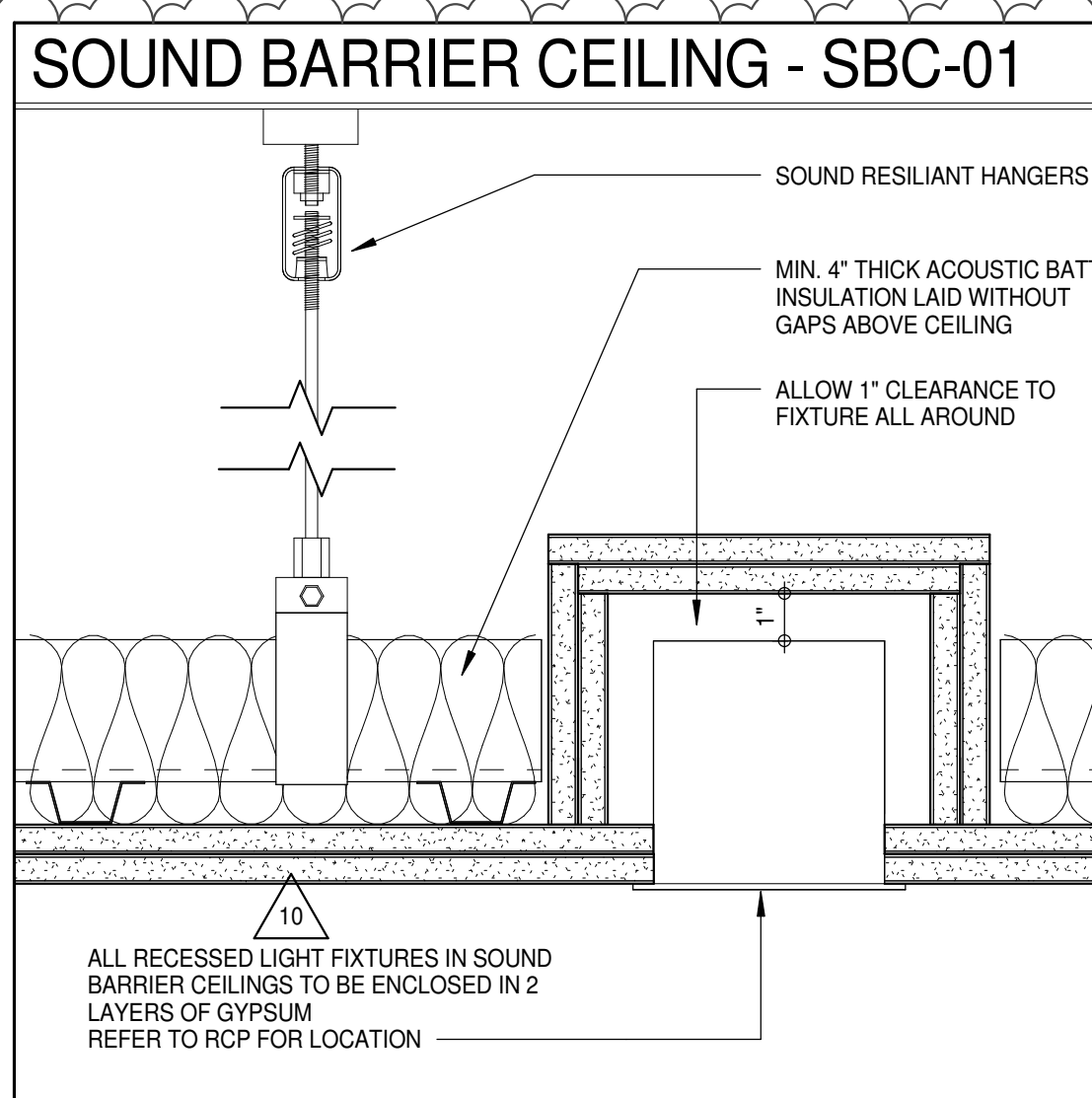
SEAL & SIGNATURE: **DAVID L. LAM**
REGISTERED ARCHITECT
STATE OF NEW YORK
DATE: 15 OCT 14
PROJECT No: 1216-00
DRAWN: Author
CHECKED: Checker
SCALE: As indicated
DWG No: **A-006.02**
DOB PAGE No: 46 of 464
DOB S-SCAN:

BLOCK WALL PARTITION SCHEDULE

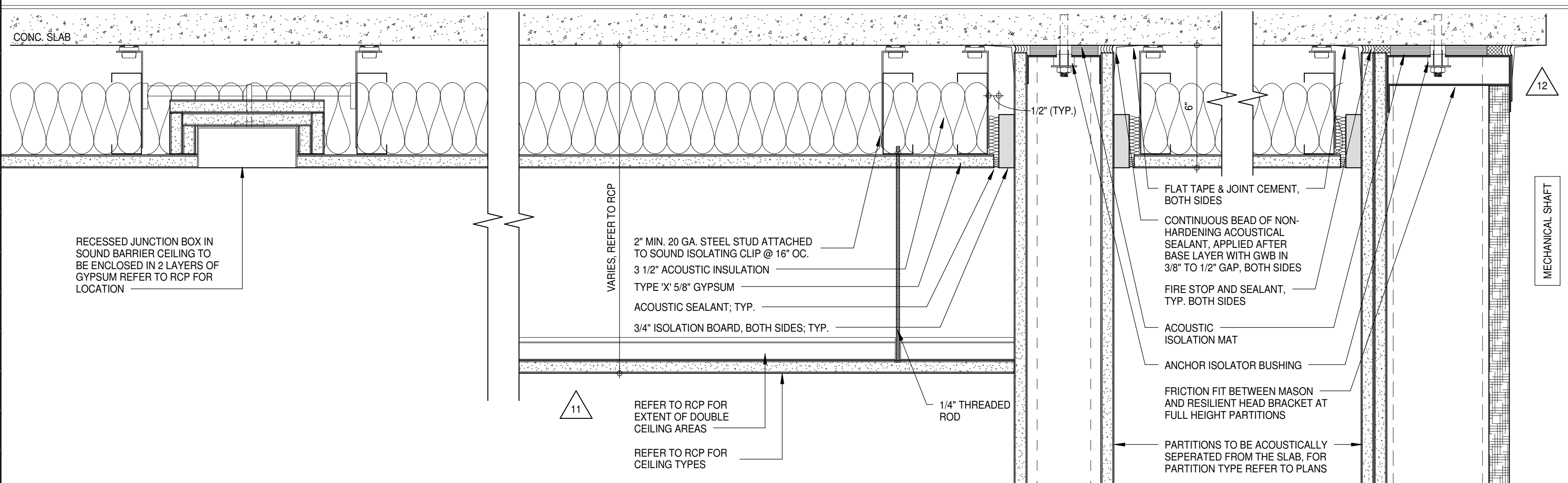
WALL TYPE	THICKNESS (T)	FIRE RESISTANCE		TYPE OF UNIT			UL TEST NUMBER	MEA/BSA NUMBER	REMARKS
		NORMAL WEIGHT	LIGHT WEIGHT	HOLLOW UNIT	75% SOLID	SOLID UNIT			
4" UNIT									
	3.5" (4")		0	■					
	3.5" (4")		1	■					
6" UNIT									
	5.5" (6")	0		■					
	5.5" (6")	1		■			U906	MEA 87-47-am	
	5.5" (6")	2			■		U906	MEA 87-47-am	
8" UNIT									
	7.5" (8")	0		■					
	7.5" (8")	1		■			U905	MEA 87-47-am	
	7.5" (8")		2	■			U905	MEA 87-47-am	
	7.5" (8")	3			■		U907	MEA 87-47-am	
	7.5" (8")	4			■		U901	MEA 87-47-am	
10" UNIT									
	9.5" (10")	0		■					
	9.5" (10")	1		■			U906	MEA 87-47-am	
	9.5" (10")	2		■			U906	MEA 87-47-am	
	9.5" (10")		3	■			U904	MEA 87-47-am	
	9.5" (10")	4			■		U901	MEA 87-47-am	
12" UNIT									
	11.5" (12")	0		■					
	11.5" (12")	1		■			U905	MEA 87-47-am	
	11.5" (12")	2		■			U905	MEA 87-47-am	
	11.5" (12")	3		■			U904	MEA 87-47-am	
	11.5" (12")	4		■			U901	MEA 87-47-am	
MASONRY SYMBOLS								REMARKS	
<div><div></div><div>NOMINAL BLOCK THICKNESS (T)</div></div> <div><div></div><div>FIRE RESISTANCE RATING</div></div>								<ul style="list-style-type: none">• FOR MASONRY UNIT SCHEDULE REFER TO STRUCTURAL.• FOR DEFLECTION AND LATERAL STEEL SUPPORT REFER TO STRUCTURAL.• FOR HEIGHT LIMITS AND REINFORCING REQUIREMENTS REFER TO STRUCTURAL DRAWINGS.	



TYPICAL DETAIL AXO. - GRAB BAR REINFORCEMENT



SOUND BARRIER CEILING - SBC-03



GYPSUM BOARD PARTITION SCHEDULE

PARTITION DESIGNATION	FIRE RATING	FIRE RESISTANCE REPORT No.	ASSEMBLY DIAGRAM	DESCRIPTION	HEIGHT LIMITATIONS			STEEL FRAMING
					AIR PRESSURE	ALLOWABLE DEFLECTION	LIMITING HEIGHT	
	3 HOUR	UL DESIGN U415		CAVITY SHAFT WALL 3 LAYERS 5/8" GYPSUM BOARD ONE SIDE 1" LINER BOARD BETWEEN STUDS.	7.5 psf	L240	15'-9" 19'-0"	4" - 20 GA. (C-H) STUDS @ 24" O.C.
	3 HOUR	UL DESIGN U415		CAVITY SHAFT WALL 3 LAYERS 5/8" GYPSUM BOARD ONE SIDE 1" LINER BOARD BETWEEN STUDS.				6" - 20 GA. (C-H) STUDS @ 24" O.C.
	2 HOURS	UL DESIGN U415		CAVITY SHAFT WALL 1 LAYER 5/8" GYPSUM BOARD BOTH SIDES 1" LINER BOARD BETWEEN STUDS	5 psf	L240 L360	13'-0" 11'-6"	2 1/2" 20 GA. (C-H) STUDS @ 24" O.C.
					7.5 psf	L240	11'-5"	
					10 psf	L240	10'-4"	
						L360	9'-1"	
	2 HOURS	UL DESIGN U415		CAVITY SHAFT WALL (STAIRS) 2 LAYERS 5/8" GYPSUM BOARD ONE SIDE 1" LINER BOARD BETWEEN STUDS 1 LAYER 5/8" GYPSUM BOARD ONE LINER SIDE.	5 psf	L240 L360	12'-10" 11'-7"	2 1/2" - 20 GA. (C-H) STUDS @ 24" O.C. 4" - 20 GA. (C-H) STUDS @ 24" O.C.
	2 HOURS	UL DESIGN U415		IMPACT RESISTANT CAVITY SHAFT WALL (STAIRS) 1 LAYER 5/8" VH ABUSE-RESISTANT GYPSUM BOARD 1 LAYER 5/8" GYPSUM BOARD FIRE CORE STUDS 1 LAYER 5/8" VH ABUSE-RESISTANT GYPSUM BOARD	7.5 psf	L240	11'-3" 15'-19"	6" - 20 GA. (C-H) STUDS @ 24" O.C.
	2 HOURS	UL DESIGN U415		IMPACT RESISTANT CAVITY SHAFT WALL (STAIRS) 1 LAYER 5/8" VH ABUSE-RESISTANT GYPSUM BOARD 1 LAYER 5/8" GYPSUM BOARD FIRE CORE STUDS 1 LAYER 5/8" VH ABUSE-RESISTANT GYPSUM BOARD	10 psf	L240 L360	10'-2" 9'-2"	6" - 20 GA. (C-H) STUDS @ 24" O.C. 15'-11"
	2 HOUR	UL DESIGN U505 BSA98-47-SM EQUIVALENT TO MEA		SOLID VERTICAL SHAFT WALL 1 LAYER 5/8" GYPSUM BOARD, FIRECODE CORE. 1 LAYER 1" GYPSUM LINER BOARD. 1 LAYER 5/8" GYPSUM BOARD, FIRECODE CORE.	5 psf	L240	12'-0"	1" x 2" PERIMETER ANGLE 25 GA. 1" x 2" PERIMETER ANGLE 25 GA.
	NOT RATED	N/A		CANT STRIP 5/8" GYPSUM BOARD CANT STRIP AT 75° ANGLE NOTE: TYPICAL IN ELEVATOR SHAFTS WHERE ANY PROJECTION EXCEEDS 3" IN DEPTH.				20 GA. BENT PLATES

CEILING TYPE SCHEDULE

MEMBRANE DESIGNATION	FIRE RATING	FIRE RESISTANCE REPORT No.	ASSEMBLY DIAGRAM	DESCRIPTION	SPAN LIMITATIONS		STEEL FRAMING
					ALLOWABLE DEFLECTION	LIMITING SPAN	
	1 HOURS	UL DESIGN U489 AER-09038		CORRIDOR CEILING AND STAIR SOFFIT 1 LAYERS 1/2" GYPSUM BOARD FIRECODE C CORE. C-H STUDS @ 24" O.C. 1" LINER BOARD BETWEEN STUDS.	L240	8'-6" 10'-4" 9'-3" 14'-11" 18'-6"	2 1/2" - 25 GA. (C-H) STUDS @ 24" O.C. (212CH25-18) 2 1/2" - 20 GA. (C-H) STUDS @ 24" O.C. (212CH20-34) 4" - 25 GA. (C-H) STUDS @ 24" O.C. (400CH25-18) 4" - 20 GA. (C-H) STUDS @ 24" O.C. (400CH20-34) 6" - 20 GA. (C-H) STUDS @ 24" O.C. (600CH20-34)
	2 HOURS	UL DESIGN U438 AER-09038		CORRIDOR CEILING AND STAIR SOFFIT 2 LAYERS 1/2" GYPSUM BOARD FIRECODE C CORE. C-H STUDS @ 24" O.C. 1" LINER BOARD BETWEEN STUDS.	L240	7'-10" 9'-8" 7'-7" 14'-0" 15'-3"	2 1/2" - 25 GA. (C-H) STUDS @ 24" O.C. (212CH25-18) 2 1/2" - 20 GA. (C-H) STUDS @ 24" O.C. (212CH20-34) 4" - 25 GA. (C-H) STUDS @ 24" O.C. (400CH25-18) 4" - 20 GA. (C-H) STUDS @ 24" O.C. (400CH20-34) 6" - 20 GA. (C-H) STUDS @ 24" O.C. (600CH20-34)
	2 HOURS	NER-258 AER-09038 USO TESTED ASSEMBLY		HORIZONTAL MEMBRANE AND METAL DUCT ENCLOSURE HORIZONTAL ASSEMBLY 3 LAYERS 1/2" GYPSUM BOARD FIRECODE C CORE C-H STUDS @ 24" O.C. 1" LINER BOARD BETWEEN STUDS VERTICAL ASSEMBLY 2 LAYERS 1/2" GYPSUM BOARD FIRECODE C CORE C-H STUDS @ 24" O.C. 1" LINER BOARD BETWEEN STUDS	L240	9'-2" 13'-2" 15'-10"	2 1/2" - 20 GA. (C-H) STUDS @ 24" O.C. 4" - 20 GA. (C-H) STUDS @ 24" O.C. 6" - 20 GA. (C-H) STUDS @ 24" O.C.
	NOT RATED	N/A		1 LAYER 5/8" GYPSUM BOARD STEEL STUDS @ 16" O.C.	L240	13'-7" 15'-8"	3 5/8" - 20 GA. STEEL STUDS @ 16" O.C. 6" - 20 GA. STEEL STUDS @ 16" O.C.

NON-RATED STUD FRAMED CEILING

NOTE: LIMITING SPANS WERE OBTAINED FROM THE STEEL STUD MANUFACTURERS ASSOCIATION.

KEY PLAN

PROJECT #95

WEST 9TH ST

7TH AVE

WEST 57TH ST

PROJECT NORTH

TRUE NORTH

DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT:
Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER:
Residential
Rottet Architecture and Design Studio, PLLC
298 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD:
Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
VSP CANTOR SEINUK
228 East 45th Street
New York, NY 10017 USA
TEL: 212 887 8885 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
105 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5655 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 350 West 57th Street, 9th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1918 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 806
New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	CD PROGRESS ISSUE 5	10 AUG 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	14 JAN 16
11	CD PROGRESS ISSUE 8	29 JAN 16
12	CD BULLETIN ISSUE - 4	31 MAR 16
13	CD BULLETIN ISSUE - 7	15 JUL 16
14	D.O.B. AMENDMENT 3	03 OCT 16

D.O.B. SUBMISSION

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CONSULTANT:

AAI
ARCHITECTS, P.C.

PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
PARTITION SCHEDULE - 2

SEAL & SIGNATURE

REGISTERED ARCHITECT

DAVID L. LAM

DATE: 15 OCT 14

PROJECT No: 1216-60

DRAWN: Author

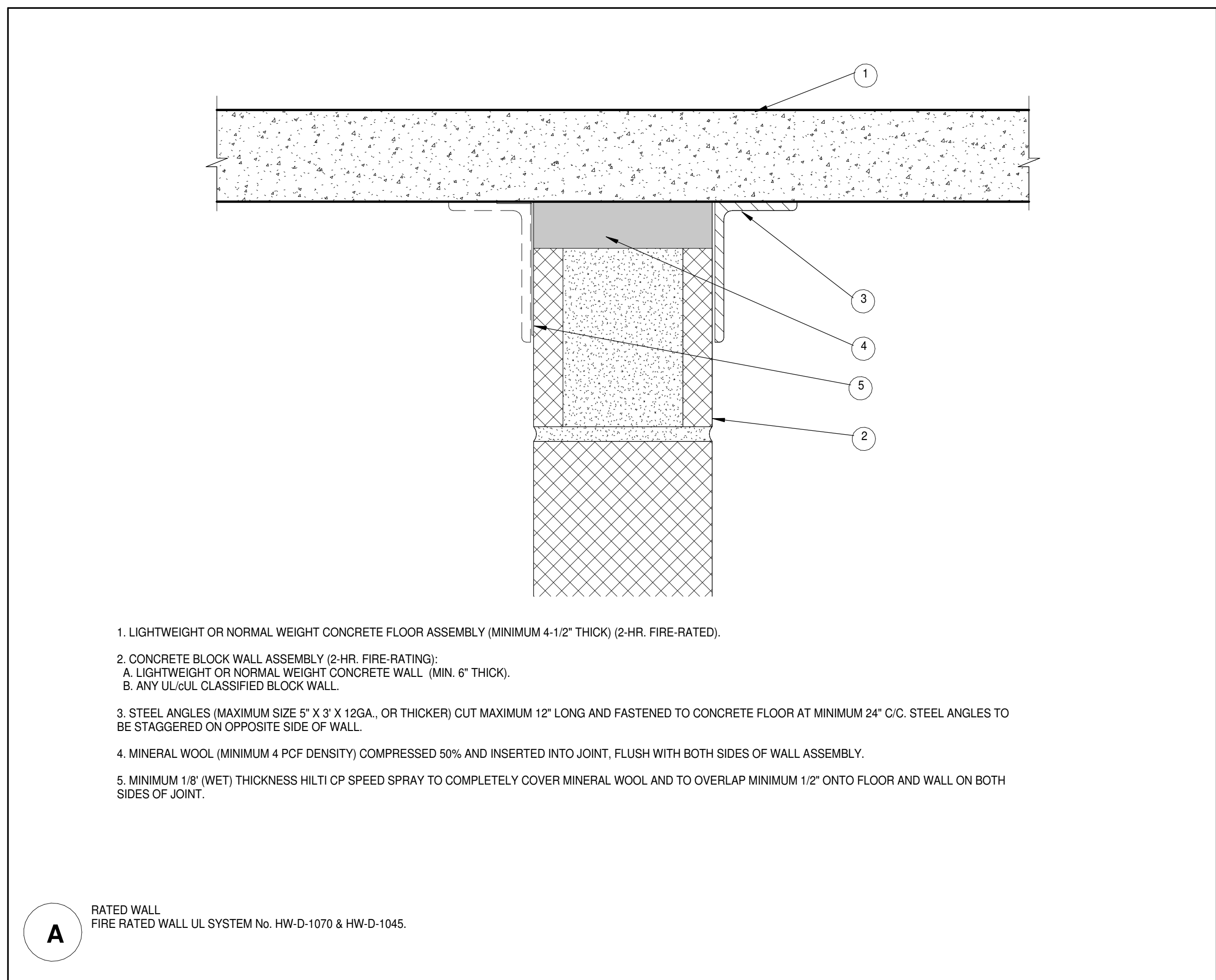
CHECKED: Checker

SCALE: As indicated

DWG No: **A-007.02**

DOB PAGE No: 41 of 464

DOB 5-SCAN:



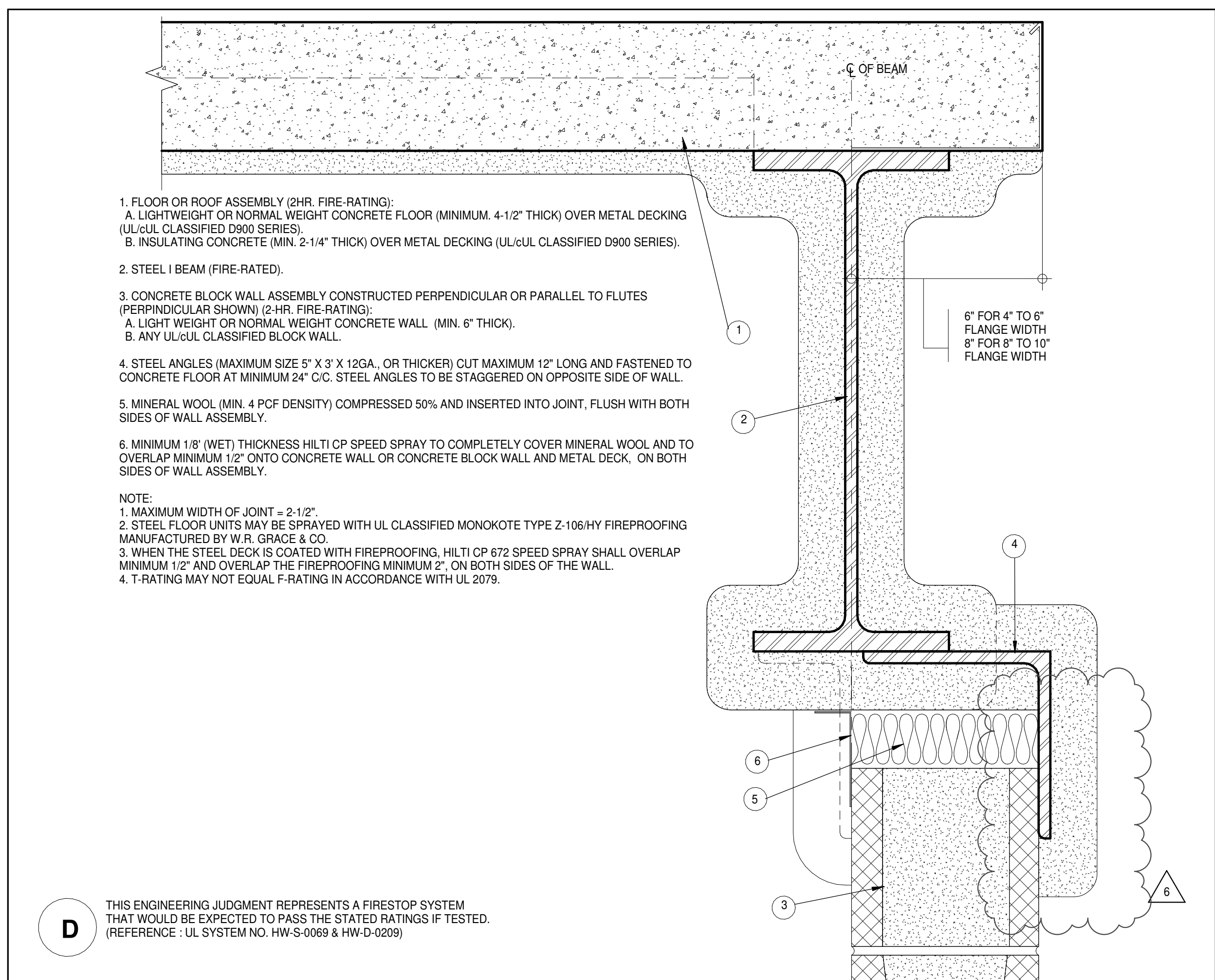
1. LIGHTWEIGHT OR NORMAL WEIGHT CONCRETE FLOOR ASSEMBLY (MINIMUM 4-1/2" THICK) (2 HR. FIRE-RATING).
2. CONCRETE BLOCK WALL ASSEMBLY (2 HR. FIRE-RATING):
A. LIGHTWEIGHT OR NORMAL WEIGHT CONCRETE WALL (MIN. 6" THICK);
B. ANY UL/ULC CLASSIFIED BLOCK WALL.
3. STEEL ANGLES (MAXIMUM SIZE 5" X 3" X 12GA, OR THICKER) CUT MAXIMUM 12" LONG AND FASTENED TO CONCRETE FLOOR AT MINIMUM 24" C/C. STEEL ANGLES TO BE STAGGERED ON OPPOSITE SIDE OF WALL.
4. MINERAL WOOL (MINIMUM 4 PCF DENSITY) COMPRESSED 50% AND INSERTED INTO JOINT, FLUSH WITH BOTH SIDES OF WALL ASSEMBLY.
5. MINIMUM 1/8" (WET) THICKNESS HLT/CP SPEED SPRAY TO COMPLETELY COVER MINERAL WOOL AND TO OVERLAP MINIMUM 1/2" ONTO FLOOR AND WALL ON BOTH SIDES OF JOINT.

A RATED WALL.
FIRE RATED WALL UL SYSTEM NO. HW-D-1070 & HW-D-1045.

FIRE STOP DETAIL 1

3

3" = 1'-0"



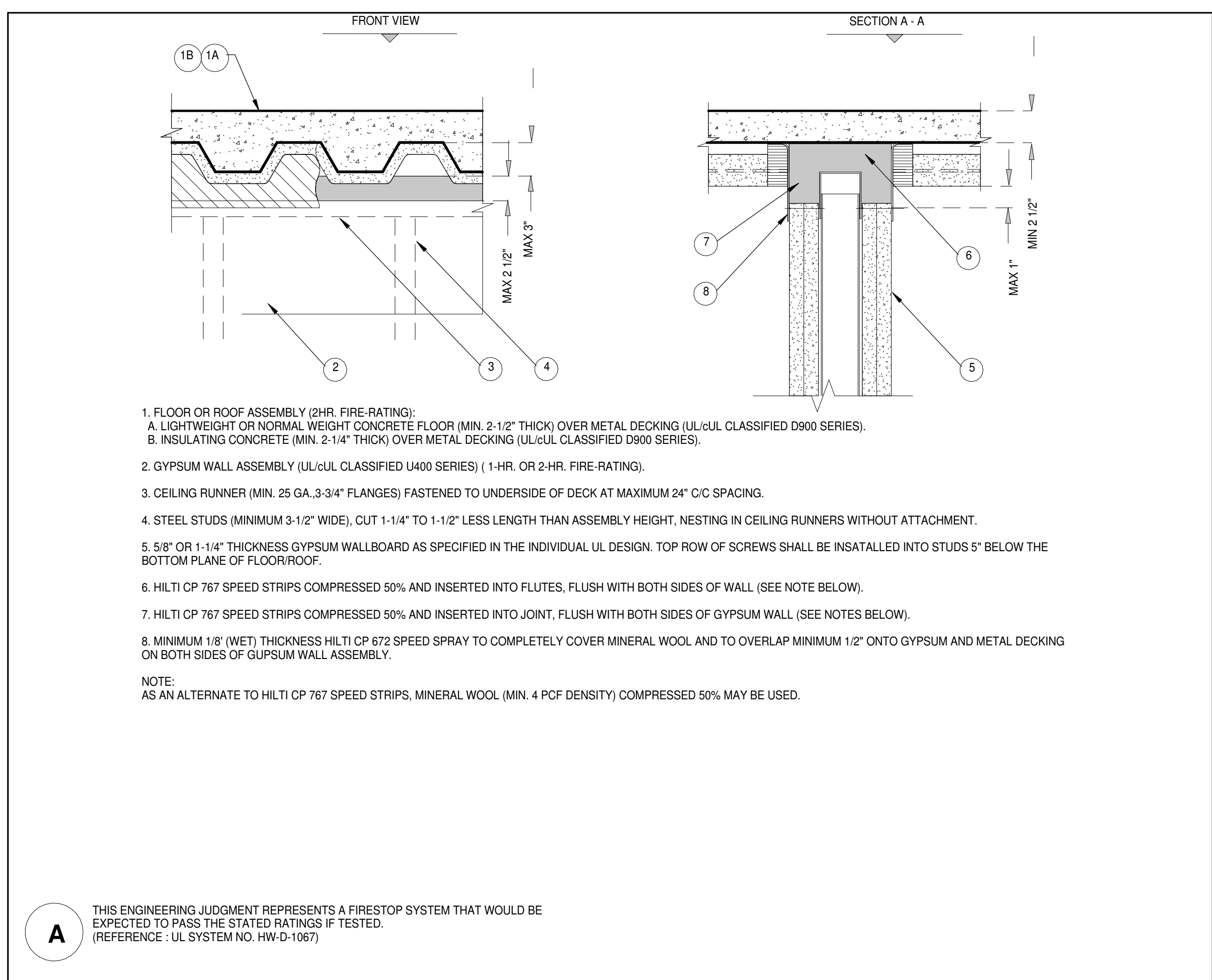
1. FLOOR OR ROOF ASSEMBLY (2HR. FIRE-RATING):
A. LIGHTWEIGHT OR NORMAL WEIGHT CONCRETE FLOOR (MINIMUM 4-1/2" THICK) OVER METAL DECKING (UL/ULC CLASSIFIED D900 SERIES);
B. INSULATING CONCRETE (MIN. 2-1/4" THICK) OVER METAL DECKING (UL/ULC CLASSIFIED D900 SERIES).
2. STEEL I BEAM (FIRE-RATED):
A. LIGHTWEIGHT OR NORMAL WEIGHT CONCRETE WALL (MIN. 6" THICK);
B. ANY UL/ULC CLASSIFIED BLOCK WALL.
3. STEEL ANGLES (MAXIMUM SIZE 5" X 3" X 12GA, OR THICKER) CUT MAXIMUM 12" LONG AND FASTENED TO CONCRETE FLOOR AT MINIMUM 24" C/C. STEEL ANGLES TO BE STAGGERED ON OPPOSITE SIDE OF WALL.
4. MINERAL WOOL (MIN. 4 PCF DENSITY) COMPRESSED 50% AND INSERTED INTO JOINT, FLUSH WITH BOTH SIDES OF WALL ASSEMBLY.
5. MINIMUM 1/8" (WET) THICKNESS HLT/CP SPEED SPRAY TO COMPLETELY COVER MINERAL WOOL AND TO OVERLAP MINIMUM 1/2" ONTO CONCRETE WALL OR CONCRETE BLOCK WALL AND METAL DECK, ON BOTH SIDES OF WALL ASSEMBLY.

D THIS ENGINEERING JUDGMENT REPRESENTS A FIRESTOP SYSTEM THAT WOULD BE EXPECTED TO PASS THE STATED RATINGS IF TESTED. (REFERENCE: UL SYSTEM NO. HW-S-0069 & HW-D-0209)

FIRE STOP DETAIL 2

2

3" = 1'-0"



1. FLOOR OR ROOF ASSEMBLY (2HR. FIRE-RATING):
A. LIGHTWEIGHT OR NORMAL WEIGHT CONCRETE FLOOR (MIN. 2-1/2" THICK) OVER METAL DECKING (UL/ULC CLASSIFIED D900 SERIES);
B. INSULATING CONCRETE (MIN. 2-1/4" THICK) OVER METAL DECKING (UL/ULC CLASSIFIED D900 SERIES).
2. GYPSUM WALL ASSEMBLY (UL/ULC CLASSIFIED U400 SERIES) (1 HR. OR 2-HR. FIRE-RATING).
3. CEILING RUNNER (MIN. 25 GA, 3-3/4" FLANGES) FASTENED TO UNDERSIDE OF DECK AT MAXIMUM 24" C/C SPACING.
4. STEEL STUDS (MINIMUM 3-1/2" WIDE), CUT 1-1/4" TO 1-1/2" LESS LENGTH THAN ASSEMBLY HEIGHT, NESTING IN CEILING RUNNERS WITHOUT ATTACHMENT.
5. 5/8" OR 1-1/4" THICKNESS GYPSUM WALLBOARD AS SPECIFIED IN THE INDIVIDUAL UL DESIGN. TOP ROW OF SCREWS SHALL BE INSTALLED INTO STUDS 5" BELOW THE BOTTOM PLANE OF FLOOR/ROOF.
6. HLT/CP 767 SPEED STRIPS COMPRESSED 50% AND INSERTED INTO FLUTES, FLUSH WITH BOTH SIDES OF WALL (SEE NOTE BELOW).
7. HLT/CP 767 SPEED STRIPS COMPRESSED 50% AND INSERTED INTO JOINT, FLUSH WITH BOTH SIDES OF GYPSUM WALL (SEE NOTES BELOW).
8. MINIMUM 1/8" (WET) THICKNESS HLT/CP 672 SPEED SPRAY TO COMPLETELY COVER MINERAL WOOL AND TO OVERLAP MINIMUM 1/2" ONTO GYPSUM AND METAL DECKING ON BOTH SIDES OF GYPSUM WALL ASSEMBLY.

NOTE:
AS AN ALTERNATE TO HLT/CP 767 SPEED STRIPS, MINERAL WOOL (MIN. 4 PCF DENSITY) COMPRESSED 50% MAY BE USED.

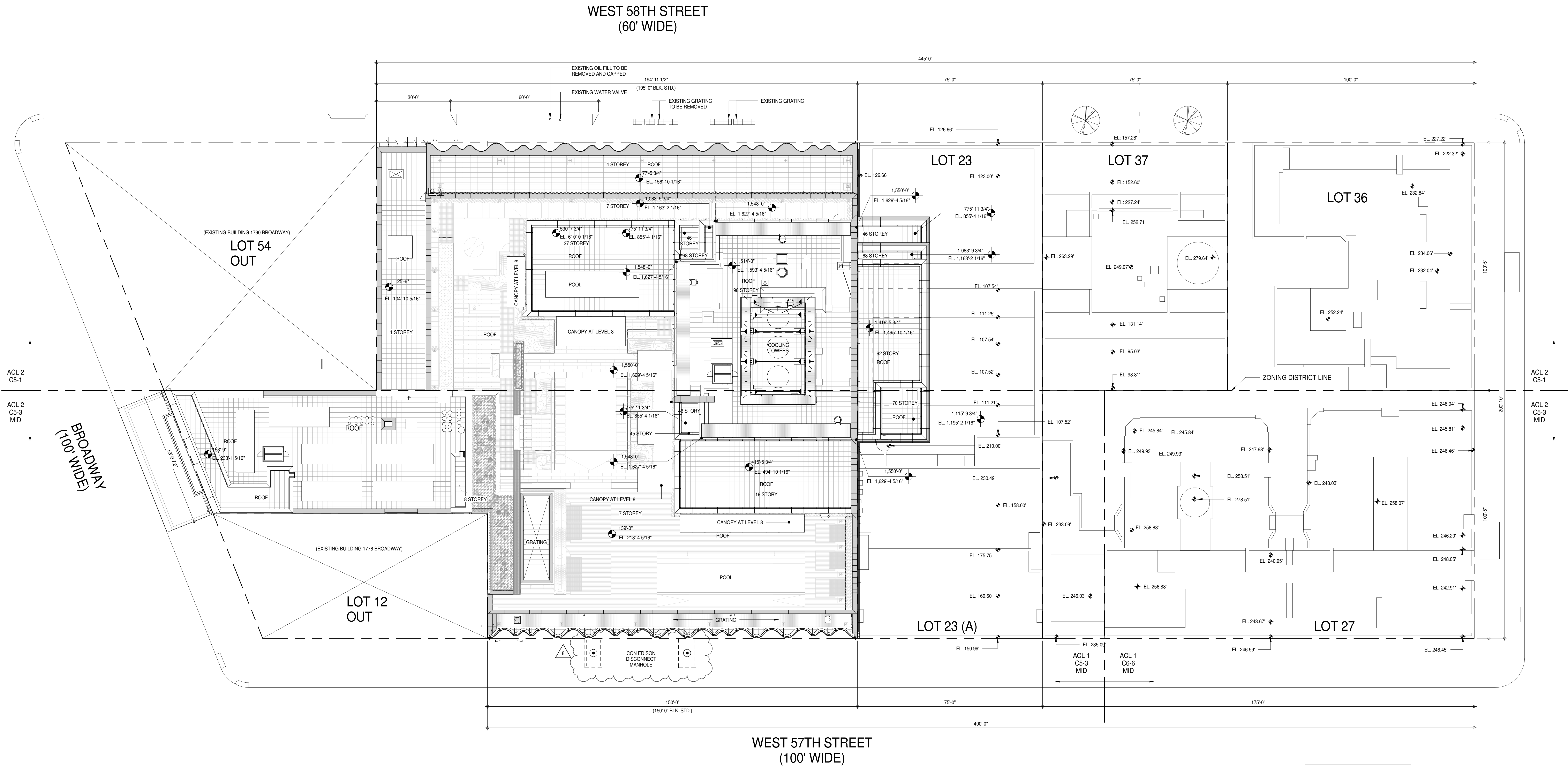
A THIS ENGINEERING JUDGMENT REPRESENTS A FIRESTOP SYSTEM THAT WOULD BE EXPECTED TO PASS THE STATED RATINGS IF TESTED. (REFERENCE: UL SYSTEM NO. HW-D-1067)

FIRE STOP DETAIL 3

1

3" = 1'-0"

KEY PLAN		
PROJECT #65 WEST 58TH ST 7TH AVE WEST 57TH ST		
PROJECT NORTH	TRUE NORTH	
DEVELOPER: EXTELL DEVELOPMENT COMPANY 805 THIRD AVENUE, 7TH FLOOR New York, NY 10022 USA TEL: 212 712 6000 FAX: 212 712 6100		
DESIGN ARCHITECT: Base Building Shell & Core ADRIAN SMITH + GORDON GILL ARCHITECTURE 111 WEST MONROE STREET SUITE 2300 CHICAGO IL 60603 TEL: 312 920 1888 FAX: 312 920 1775		
INTERIOR DESIGNER: Residential Rottel Architecture and Design Studio, PLLC 298 Fifth Ave, 7th Floor New York, NY 10001 TEL: 646 998 7000 FAX:		
ARCHITECT OF RECORD: Base Building Shell, Core, & Residential AAI ARCHITECTS, P.C. 401 Wellington St. W., 3rd Floor Toronto, ON M5V 1E7 Canada TEL: 416 967 1500 FAX: 416 967 7150		
STRUCTURAL ENGINEERS: WSP CANTOR SEINUK 228 EAST 45th Street New York, NY 10017 USA TEL: 212 987 9800 FAX: 646 487 5501		
MEP ENGINEERS: AKF GROUP 165 Broadway, 22nd Floor New York, NY 10006 USA TEL: 212 354 5650 FAX: 212 354 5668		
GEOTECHNICAL ENGINEERS: Langan Engineering & Environmental Services 21 Penn Plaza - 350 West 57th Street, 9th Floor New York, NY 10001-2722 TEL: 212 479 5400 FAX: 212 479 5444		
CODE CONSULTANTS: Construction Consulting Associates 100 Church Street New York, NY 10007 TEL: 212 385 1910 FAX: 212 385 1911		
CURTAINWALL CONSULTANT: AJLP Consulting 40 Worth Street, Suite 806 New York, NY 10013 TEL: 212 757 5550 FAX: 646 219 8508		
LANDMARK/PRESERVATION CONSULTANT: Jan Hind Pokorny Associates, Inc. 39 West 57th Street, 12A New York, NY 10019 TEL: 212 759 6462 FAX: 212 759 6540		
No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 2	19 DEC 14
2	D.O.B. SUBMISSION	18 FEB 15
3	CD PROGRESS ISSUE 3	09 MAR 15
	D.O.B. SUBMISSION	27 APR 15
4	CD PROGRESS ISSUE 4	01 JUN 15
5	CD PROGRESS ISSUE 5	10 AUG 15
	D.O.B. AMENDMENT 2	21 SEP 15
6	CD PROGRESS ISSUE 6	02 NOV 15
7	CMU, DRYWALL, HOLLOW METAL DOORS UP TO 12F	14 JAN 16
8	CD PROGRESS ISSUE 7	29 JAN 16
9	CD ISSUE 8 - GMP SET	31 MAR 16
	D.O.B. AMENDMENT 3	03 OCT 16
D.O.B. SUBMISSION		
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CONSULTANT:		
AAI ARCHITECTS, P.C.		
PROJECT: 217 WEST 57TH STREET NEW YORK, NY		
DRAWING TITLE: FIRESTOPPING DETAILS		
SEAL & SIGNATURE REGISTERED ARCHITECT DAVID L. LAMBERT NEW YORK STATE NO. 028885 EXPIRES 12/31/16	DATE: 19 DEC 14 PROJECT No: 1216-00 DRAWN: Author Checked: 9 SCALE: 3" = 1'-0" DWG No: A-009.02	DOB PAGE No: 42 of 454 DOB 5-SCAN:



PROJECT DATUM $\pm 0.0'$ IS
LOCATED AT EL. 79.36' ABOVE
MANHATTAN DATUM

KEY PLAN

PROJECT NORTH

TRUE NORTH

DEVELOPER:

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT:

Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER:

Residential
Rottet Architecture and Design Studio, PLLC
288 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD:

Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:

VSP CANTOR SEINUK
228 East 45th Street
New York, NY 10017 USA
TEL: 212 887 2885 FAX: 646 487 5501

MEP ENGINEERS:

AKF GROUP
105 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5655 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:

Langan Engineering & Environmental Services
21 Penn Plaza - 350 West 51st Street, 9th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:

Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:

AJLP Consulting
40 Worth Street, Suite 826
New York, NY 10013
TEL: 212 757 6559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:

Jan Hird Pokorny Associates, Inc.
39 West 57th Street, 12A
New York, NY 10019
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
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7	CD PROGRESS ISSUE 5	10 AUG 15
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10	CD PROGRESS ISSUE 7	14 JAN 16
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12	D.O.B. AMENDMENT 3	31 MAR 16
13		03 OCT 16

0' 8' - 0" 16' - 0" 32' - 0"

D.O.B. SUBMISSION

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ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:

AAI
ARCHITECTS, P.C.

PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

SITE PLAN / ROOF PLAN

SEAL & SIGNATURE	DATE:	15 OCT 14
	PROJECT No:	1216-00
	DRAWN: Author	REV:
	SCALE: 1/16" = 1' - 0"	10
DWG No:	A-010.02	
DOB PAGE No:	43 of 454	
DOB EMPLOYEE STAMP:	DOB S-SCAN:	

CODE NOTES

CHAPTER 20 - 26
ALL NEW CONSTRUCTION TO MEET BUILDING MATERIALS DESIGN CRITERIA

CHAPTER 27 - 28
SEE MECHANICAL AND ELECTRICAL DRAWINGS

CHAPTER 29 - PLUMBING SYSTEMS
SEE PLUMBING DRAWINGS
THE NYC PLUMBING CODE AS AMENDED BY NYC FOR OCCUPANCY GROUP B (BUSINESS) COMMENTS
(BC 2902.1) THE COUNT OF PLUMBING FIXTURES PROVIDED IS IN ACCORDANCE WITH TABLE 403.1 OF THE NEW YORK CITY PLUMBING CODE.

CHAPTER 30 - ELEVATORS
ALL NEW CONSTRUCTION TO MEET ELEVATORS DESIGN CRITERIA
* ALL ELEVATORS SHALL CONFORM WITH ALL APPLICABLE REGULATIONS SET FORTH IN THE LATEST EDITIONS OF:
ASME A17.1 AND LATEST AMENDMENTS AND SUPPLEMENTS
NEW YORK CITY BUILDING CODE
CITY OF NEW YORK-RS16 STANDARDS AND LOCAL LAWS
NFPA CODES
NFPA FIRE DOORS-HOISTWAY ENTRANCES
ASME A17.5/CSA - B44.1 - ELEVATOR AND ESCALATOR ELECTRICAL EQUIPMENT
ADAAG
(BC 3002.4) ELEVATOR CAR TO ACCOMMODATE AMBULANCE STRETCHER - AT LEAST ONE ELEVATOR IS PROVIDED FOR FIRE DEPARTMENT EMERGENCY ACCESS TO ALL FLOORS HAVING ELEVATOR CAR WITH SUCH A SIZE AND ARRANGEMENT TO ACCOMMODATE A 24-INCH BY 76-INCH AMBULANCE STRETCHER IN THE HORIZONTAL, OPEN POSITION.

CHAPTER 31 - SPECIAL CONSTRUCTION
(BC 3103.3) (LOCAL LAW 28 OF 2012) SUN CONTROL DEVICES ARE DESIGNED AND CONSTRUCTED TO WITHSTAND WIND OR OTHER LATERAL LOADS AND LIVE LOADS AS REQUIRED BY CHAPTER 16 WITH DUE ALLOWANCE FOR SHAPE, OPEN CONSTRUCTION AND SIMILAR FEATURES THAT RELIEVE THE PRESSURES OR LOADS. STRUCTURAL MEMBERS ARE PROTECTED TO PREVENT DETERIORATION. SUN CONTROL DEVICES ARE CONSTRUCTED OF NONCOMBUSTIBLE MATERIALS.
(BC 3109.4) OUTDOOR AMENITY SWIMMING POOL SHALL BE PROVIDED WITH POWER SAFETY COVER COMPLYING WITH ASTM F 1346, SO NO ENCLOSING FENCE IS REQUIRED.
(BC 3109.5) PRIVATE SWIMMING POOL SHALL BE COMPLETELY ENCLOSED BY A FENCE, WALL OR BUILDING AT LEAST 4 FEET IN HEIGHT. OPENINGS IN THE ENCLOSURE SHALL NOT PERMIT THE PASSAGE OF 4-INCH-DIAMETER SPHERE. THE ENCLOSURE SHALL BE EQUIPPED WITH SELF-CLOSING AND SELF-LATCHING GATES. THE DOOR PROVIDING ACCESS TO THE PRIVATE SWIMMING POOL FROM THE DWELLING SHALL OPEN INWARD, AWAY FROM THE SWIMMING POOL, AND SHALL BE SELF-CLOSING AND HAVE A SELF-LATCHING DEVICE. THE RELEASE MECHANISM OF THE SELF-LATCHING DEVICE SHALL BE LOCATED NO LESS THAN 54 INCHES FROM THE BOTTOM OF THE DOOR.
(BC 3109.4.2) IN ADDITION TO THE REQUIREMENTS OF NYC BUILDING CODE, ANY OTHER, MORE STRINGENT REQUIREMENTS FOR THE CONSTRUCTION AND DESIGN OF SWIMMING POOL AND BARRIERS PROVIDED FOR IN ARTICLE 165 OF THE NEW YORK CITY HEALTH CODE, SHALL ALSO BE APPLICABLE.
(BC 3109.3.2) THE SUPPLY, CIRCULATION, TREATMENT, AND DRAINAGE OF WATER FOR SWIMMING POOLS SHALL MEET THE REQUIREMENTS OF THE NEW YORK CITY PLUMBING CODE.
(BC 3109.3.3) NO OVERHEAD ELECTRICAL CONDUCTORS SHALL BE INSTALLED WITHIN 15 FEET OF THE SWIMMING POOL.

CHAPTER 32 - ENROACHMENTS INTO THE PUBLIC RIGHT-OF-WAY
(BC 3202.2.1) ENTRANCE DOORS WHEN FULLY OPEN, SHALL NOT BE CONSTRUCTED TO PROJECT BEYOND THE STREET LINE NOT MORE THAN 18 INCHES.
(BC 3202.2.1.2) ARCHITECTURAL DETAILS CONSTRUCTED SHALL NOT PROJECT MORE THAN 4 INCHES BEYOND THE STREET LINE WHEN LESS THAN 10 FEET ABOVE THE GROUND OR SIDEWALK LEVEL AND NOT MORE THAN 10 INCHES BEYOND THE STREET LINE WHEN MORE THAN 10 FEET ABOVE THE GROUND OR SIDEWALK LEVEL.
(BC 3202.2.1.9) (LOCAL LAW 28 OF 2012) SUN CONTROL DEVICES ARE FIXED AND CONSTRUCTED IN ACCORDANCE WITH SECTION 3105 AND SUPPORTED ENTIRELY FROM THE BUILDING DO NOT PROJECT BEYOND THE STREET LINE MORE THAN 2 FEET 6 INCHES, AND NO PART OF THE SUN CONTROL DEVICE IS LESS THAN 6 FEET ABOVE THE GROUND OR SIDEWALK LEVEL. NO PORTION OF SUN CONTROL DEVICE IS LOCATED OVER A SIDEWALK VAULT.

CHAPTER 33 - EXCAVATION
(BC 3304.3.1) NOTIFICATION TO DEPARTMENT OF BUILDINGS 24-48 HOURS PRIOR TO COMMENCEMENT OF EARTHWORK.

APPENDIX F RODENT-PROOFING
(BC F101.1) BUILDING DESIGNED TO COMPLY WITH BC F101 RODENT PROOFING REQUIREMENTS.

APPENDIX G - FLOOD HAZARD ZONE REQUIREMENTS
(G102.2) BUILDING SITE IS NOT IN A FLOOD ZONE PER FLOOD HAZARD MAP FEMA FIS 36049 AND FEMA FIRMs 360497.

CODE NOTES (CONTINUED)

LIST OF SEPARATE APPLICATIONS TO BE FILED
FENCE
EXCAVATION
FOUNDATION
SUPPORT OF EXCAVATION
UNDERGROUND PLUMBING
STRUCTURAL
TEST PIT
MECHANICAL
PLUMBING
SPRINKLER
STANDPIPE
TEMPORARY STANDPIPE
GENERATOR
FIRE ALARM
BOLLER
FIRE PROTECTION PLAN
BUILDING PAVEMENT PLAN
CURB CUT
AIR RIGHTS
SIGNAGE
PUBLIC ASSEMBLY
GENERATORS (EMERGENCY POWER SYSTEM)
COMMERCIAL COOKING INSTALLATION

LIST OF CONTROL INSPECTIONS 28-104.7

SPECIAL INSPECTIONS
FIRE ALARM TEST
CONCRETE - CAST-IN-PLACE
MASONRY
SOILS - SITE PREPARATION
SOILS - INVESTIGATIONS (BORINGS/TEST PITS)
PILE FOUNDATIONS & DRILLED PIER INSTALLATION
UNDERPINNING
WALL PANELS, CURTAIN WALLS & VENEERS
SMOKE CONTROL SYSTEMS
MECHANICAL SYSTEMS
FUEL OIL STORAGE & FUEL OIL PIPING SYSTEMS
STRUCTURAL SAFETY - STRUCTURAL STABILITY
EXCAVATION - SHEETING, SHORING, AND BRACING
SITE STORM DRAINAGE DISPOSAL & DETENTION SYSTEM INSTALLATION
SPRINKLER SYSTEMS
STANDPIPE SYSTEMS
HEATING SYSTEMS
FIREFIGHT DRAFTSTOP & FIREBLOCKING SYSTEMS
CONCRETE TEST CYLINDERS TR-2
CONCRETE DESIGN MIX TR-3

NYC ENERGY CONSERVATION CODE NOTES

NYC ENERGY CONSERVATION CODE INSPECTIONS
FOOTING AND FOUNDATION
EN-1
PROTECTION OF FOUNDATION INSULATION
INSULATION PLACEMENT AND R VALUE
FENESTRATION THERMAL VALUES AND RATINGS
FENESTRATION RATINGS FOR AIR LEAKAGE
FENESTRATION AREAS
AIRE SEALING AND INSULATION - VISUAL
AIRE SEALING AND INSULATION - TESTING
LOADING DECK WEATHER SEALS
VESTIBULES
FIREPLACES
HVAC AND SERVICE WATER HEATING EQUIPMENT
HVAC AND SERVICE WATER HEATING SYSTEMS CONTROLS
DUCT PLENUM AND PIPING INSULATION AND SEALING
DUCT LEAKAGE TESTING
ELECTRICAL METERING
LIGHTING IN DWELLING UNITS
SIGNAGE
EXTERIOR LIGHTING POWER
LIGHTING CONTROLS
EXIT SIGNS
TANDEM WIRING
ELECTRICAL MOTORS
MAINTENANCE INFORMATION
FIRE-RESISTANCE RATED CONSTRUCTION
PUBLIC ASSEMBLY EMERGENCY LIGHTING

NYC ENERGY CONSERVATION CODE

CHAPTER 5 - COMMERCIAL ENERGY EFFICIENCY

(ECC 502.2.4) BELOW-GRADE WALLS ARE COMPLETELY BELOW GRADE. AS THERE IS NO GROUP - R RESIDENTIAL USE BELOW GRADE, THERMAL INSULATION IS NOT REQUIRED PER ECC TABLE 502.2(1).

(ECC 502.2.6) ALL SLABS ON GRADE S ARE UNHEATED AND LOCATED BELOW GRADE. AS THERE IS NO GROUP - R RESIDENTIAL USE BELOW GRADE, THERMAL INSULATION IS NOT REQUIRED PER ECC TABLE 502.2(1).

(ECC 502.4.1) AIR LEAKAGE OF WINDOW AND SLIDING OR SWINGING DOOR ASSEMBLIES THAT ARE PART OF THE BUILDING ENVELOPE SHALL BE DETERMINED IN ACCORDANCE WITH AMAMQDMA/CSA 1011 S.2(A440), OR NFRC 400 BY AN ACCREDITED, INDEPENDENT LABORATORY AND LABELED AND CERTIFIED BY THE MANUFACTURER AND SHALL NOT EXCEED 0.3 CFM PER SQUARE FOOT, AND SWINGING DOORS NO MORE THAN 0.5 CFM PER SQUARE FOOT, EXCEPT SITE-CONSTRUCTED WINDOWS AND DOORS SHALL BE WEATHERSTRIPPED OR SEALED IN ACCORDANCE WITH SECTION ECC 502.4.3.

(ECC 502.4.2) CURTAIN WALL, STOREFRONT GLAZING AND COMMERCIAL-GLAZED SWINGING ENTRANCE DOORS AND REVOLVING DOORS SHALL BE TESTED FOR AIR LEAKAGE AT 1.57 POUNDS PER SQUARE FOOT (psf) (75 Pa) IN ACCORDANCE WITH ASTM E 283. FOR CURTAIN WALLS AND STOREFRONT GLAZING, THE LEAKAGE RATE SHALL NOT EXCEED 0.3 CUBIC FOOT PER MINUTE PER SQUARE FOOT (cfm/ft2) OF FENESTRATION AREA FOR COMMERCIAL GLAZED SWINGING ENTRANCE DOORS AND REVOLVING DOORS, AIR LEAKAGE RATE SHALL NOT EXCEED 1.00 cfm/ft2 OF DOOR AREA WHEN TESTED IN ACCORDANCE WITH ASTM E 283.

(ECC 502.4.3) CONTINUOUS AIR BARRIER SHALL BE INSTALLED, SEALING ALL SEAMS, OPENINGS, AND PENETRATIONS OF THE BUILDING AND SHALL BE SEALED WITH CAULKING MATERIALS OR CLOSED WITH GASKETING SYSTEMS COMPATIBLE WITH THE CONSTRUCTION MATERIALS AND LOCATION. JOINTS AND SEAMS SHALL BE SEALED IN THE SAME MANNER OR TAPED OR COVERED WITH A MOISTURE VAPOR PERMEABLE WRAPPING MATERIAL, SEALING MATERIALS SPANNING JOINTS BETWEEN CONSTRUCTION MATERIALS SHALL ALLOW FOR EXPANSION AND CONTRACTION OF THE CONSTRUCTION MATERIALS. AIR BARRIER SHALL BE CONTINUOUS THROUGHOUT THE ENVELOPE WITH ALL JOINTS AND SEAMS SEALED AND WITH SEALED CONNECTIONS BETWEEN ALL TRANSITIONS IN PLANES AND CHANGES IN MATERIALS AND AT ALL PENETRATIONS. AIR BARRIER SHALL BE JOINED AND SEALED IN A FLEXIBLE MANNER TO THE AIR BARRIER COMPONENT OF ADJACENT ASSEMBLIES, ALLOWING FOR THE RELATIVE MOVEMENT OF THESE ASSEMBLIES AND COMPONENTS. AIR BARRIER INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND IN SUCH A MANNER AS TO ACHIEVE THE PERFORMANCE REQUIREMENTS. PENETRATIONS OF THE CONTINUOUS AIR BARRIER SHALL BE MADE IN A WAY SUCH THAT THE INTEGRITY OF THE CONTINUOUS AIR BARRIER IS MAINTAINED.

(ECC 502.4.3.1) AIR BARRIERS SHALL COMPLY EITHER USING INDIVIDUAL MATERIALS THAT HAVE AN AIR PERMEABILITY NOT TO EXCEED 0.004 cfm/ft2 UNDER A PRESSURE DIFFERENTIAL OF 0.3 IN. WATER (1.57 lb/ft2) WHEN TESTED IN ACCORDANCE WITH ASTM E 2178, OR ASSEMBLIES OF MATERIALS AND COMPONENTS SHALL HAVE AN AVERAGE AIR LEAKAGE NOT TO EXCEED 0.04 cfm/ft2 UNDER A PRESSURE DIFFERENTIAL OF 0.3 IN. WATER (1.57 lb/ft2) WHEN TESTED IN ACCORDANCE WITH ASTM E 2387 OR ASTM E 1677. IN ADDITION THESE ASSEMBLIES SHALL MEET THE REQUIREMENT FOR JOINTS PER SECTION ECC 502.4.3.

(ECC 502.4.5) CARGO DOORS AND LOADING DOCK DOORS SHALL BE EQUIPPED WITH WEATHERSEALS TO RESTRICT INFILTRATION WHEN VEHICLES ARE PARKED IN THE DOORWAY.

(ECC 502.4.6) BUILDING ENTRANCE DOORS THAT SEPARATE CONDITIONED SPACE FROM THE EXTERIOR ARE PROTECTED WITH AN ENCLOSED VESTIBULE, WITH ALL DOORS OPENING INTO AND OUT OF THE VESTIBULE EQUIPPED WITH SELF-CLOSING DEVICES. VESTIBULES ARE DESIGNED SO THAT IN PASSING THROUGH THE VESTIBULE IT IS NOT NECESSARY FOR THE INTERIOR AND EXTERIOR DOORS TO OPEN AT THE SAME TIME. VESTIBULES ARE NOT REQUIRED TO BE PROVIDED FOR DOORS NOT INTENDED TO BE USED AS A BUILDING ENTRANCE DOOR, SUCH AS DOORS TO MECHANICAL OR ELECTRICAL EQUIPMENT ROOMS, DOORS OPENING DIRECTLY FROM A SLEEPING UNIT OR DWELLING UNIT, DOORS THAT OPEN DIRECTLY FROM A SPACE LESS THAN 3,000 SQUARE FEET IN AREA, REVOLVING DOORS, AND DOORS USED PRIMARILY TO FACILITATE VEHICULAR MOVEMENT OR MATERIAL HANDLING AND ADJACENT PERSONNEL DOORS.

5

**MULTI DWELLING LAW
(MULTI DWELLING CLASSIFICATION - CLASS A)**

ALL LOT LINE WINDOWS TO COMPLY WITH SEC. 277.1(b) MDL AND TABLE 601 THE BUILDING CODE.

WET PIPE SPRINKLER SYSTEM TO COMPLY WITH MDL 277.4
THIS IS A FIRE PROOF BUILDING.
FLOOR/CEILING IS OF 2 HR. CONSTR. AND COMPLIES WITH MDL 277.6
COMPLY WITH LIGHT AND AIR FOR UNITS AS PER SEC.277.7 OF THE MDL
HARD WIRED SMOKE DETECTOR OUTSIDE EACH SLEEPING OR BEDROOM AREA IS PROVIDED AS PER SEC.277.7g OF THE MDL
ALL STAIRWAYS MUST HAVE SKYLIGHTS AND VENTS AS PER MDL 277.10
ALL SHAFTS MUST COMPLY WITH MDL 277.11 (2HR)
KITCHEN MUST COMPLY WITH MDL 277.12 AND MDL 33
BUILDING MUST COMPLY WITH MDL 277.13
EXISTING INTERIOR COLUMNS ARE PROTECTED AS PER MDL 277.14
ELEVATOR SHAFTS, DOORS AND VESTIBULES MUST COMPLY WITH MDL 277.15
BUILDING MUST COMPLY WITH MDL 278

**MULTI DWELLING LAW AND
HOUSING MAINTENANCE CODE NOTES**

MD1. THE WORK SHALL COMPLY WITH ALL THE RULES AND REGULATIONS OF THE DEPARTMENT OF BUILDINGS OF THE CITY OF NEW YORK AND ALL OTHER APPLICABLE LOCAL, STATE, FEDERAL, DEPARTMENTS AND CODES HAVING JURISDICTION.

MD2. BUILDING TO COMPLY WITH ART.7 M.D.L. & HOUSING AND MAINTENANCE CODE.

MD3. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CHANGES AND DEVIATIONS OF THE APPROVED PLANS.

MD4. BATH VENTS: 12X12 DUCTS, 18 GA. MTL. WITH CORNER CHANNELS SECURED AT ALL FLOORS AND ROOF. FIRE RETARD WITH 2" VERMICULITE PL ON M/L ENTIRE LENGTH OF DUCT; EXTENDED 4" ABOVE ROOF. PROVIDE REGISTER, GRAVITY DAMPER WITH FUSIBLE LINK. FAN ON ROOF TO PROVIDE 4 AIR CHANGES/HR.25 CFM VELOCITY AND TO RUN FROM 6:00 A.M. TO 12 MIDNIGHT.

MD5. KITCHEN AND KITCHENETTE VENT: 8X8 DUCTS SIMILAR TO BATH VENTS EXCEPT FAN ON ROOF TO PROVIDE 6 CHANGES/HR. 150 CFM TO RUN CONTINUOUSLY 16 GA. METAL. SEE ALSO KITCHENS AND KITCHENETTES: SEC.3 M.D.L. AND ART.32 H.M.C.

A. EVERY KITCHEN AND KITCHENETTE SHALL BE PROVIDED WITH FACILITIES FOR COOKING AND SHALL BE EQUIPPED FOR ARTIFICIAL LIGHTING.

B. EVERY KITCHEN AND KITCHENETTE SHALL BE PROVIDED WITH SINK HAVING A MIN. 2" WASTE AND TRAP.

C. LIGHTING AND VENTILATION OF KITCHENETTES SHALL BE PROVIDED UNDER SEC.30 M.D.L. AND ART.30 H.M.C. (SEE NOTE #1)

D. CEILING AND WALL, EXCLUSIVE OF DOORS, OF ALL KITCHENETTES SHALL BE FIRE RETARDED WITH MATERIALS HAVING A ONE HOUR FIRE RATING WITH ONE LAYER PLASTER. F. F.C.80.

E. ALL COMBUSTIBLE MATERIALS IMMEDIATELY UNDERNEATH AND WITHIN ONE FOOT OF COOKING APPARATUS SHALL BE PROPERLY FIRE RETARDED AND A MIN. OF TWO FEET CLEARANCE MAINTAINED ABOVE. EXPOSED COOKING SURFACES COMBUSTIBLE MATERIALS BETWEEN TWO AND THREE FEET ABOVE EXPOSED COOKING SURFACES SHALL BE FIRE RETARDED. SEE 5/8" P/L. BD. FC. 80.

F. GAS RANGES TO BE APPROVED AS PER SEC. 64 M.D.L. & AGA (SEE NOTES #55).

MD6. SPRINKLERS SHALL COMPLY WITH SEC. 187 MDL.

MD7. BOILER ROOMS: SHALL COMPLY WITH SEC. 65 M.D.L. FIRE RETARDED CEILING ENCLOSED IN FIRE FIREPROOF CONSTRUCTION WITH FIREPROOF DOOR TO BE SELF-CLOSING AND SHALL BE 3 HR. RATED WITH USA APPROVED LABEL.

MD8. NATURAL LIGHTING AND VENTILATION FOR ALL OCCUPIED ROOMS SHALL CONFORM WITH LIGHTING AND VENTILATION: SEC. 30 M.D.L. AND ART.30 H.M.C.

A. WINDOWS IN ALL ROOM, EXCEPT BATHROOMS AND KITCHENETTES SHALL BE AT LEAST ONE-TENTH THE AREA OF THE ROOM AND BE AT LEAST 12 S.F. IN AREA B.S.B. AND 50% OPERABLE.

B. ROOMS HAVING ONLY ONE WINDOW LESS THAN 18 S.F. IN AREA SHALL HAVE A TRANSOM OR LOUVER, OVER THE DOOR HAVING A MIN. AREA OF 144 SQ. IN.

MD9. PEEPHOLES: SEC. 51-A. M.D.L. AND ART.20 H.M.C.

A. PEEPHOLES SHALL BE PROVIDED IN ENTRANCE DOORS OF EACH DWELLING UNIT, LOCATED AS PRESCRIBED BY THE DEPARTMENT. B.S.A. APPROVED ASSEMBLY.

MD10. ARTIFICIAL LIGHTING: SEC. 26 & 35 M.D.L. AND ART.19 H.M.C.

A. PROPER ELECTRIC LIGHTING AND EQUIPMENT SHALL BE PROVIDED AND MAINTAINED WITHIN ALL DWELLINGS AND ASSEMBLY.

B. PROPER ELECTRIC LIGHTING SHALL BE INSTALLED AND MAINTAINED AT OR NEAR THE OUTSIDE FRONT ENTRANCE WAY AND IN EVERY REAR YARD, SIDE YARD, FRONT YARD, AND COURTS. MIN. OF 50 WATTS INCANDESCENT ILLUMINATION OR EQUIVALENT AT FRONT ENTRANCE WAY AND A MIN. OF 4 WATTS IN YARDS AND COURTS AND SHALL BE KEPT BURNING FROM SUNSET EACH DAY TO SUNRISE ON THE FOLLOWING DAY.

C. MAIN ENTRANCE AND VESTIBULE DOORS SHALL HAVE NOT LESS THAN FIVE PROPER ELECTRIC LIGHTINGS SHALL BE INSTALLED AND MAINTAINED AT OR NEAR THE OUTSIDE FRONT ENTRANCE WAY AND IN EVERY REAR YARD, SIDE YARD, FRONT YARDS, AND COURTS. MIN. OF 50 WATTS INCANDESCENT ILLUMINATION OR EQUIVALENT AT FRONT ENTRANCE WAY AND MIN. OF 40 WATTS IN YARDS AND COURTS SHALL BE KEPT BURNING FROM SUNSET TO SUNRISE ON THE FOLLOWING DAY.

D. MAIN ENTRANCE AND VESTIBULE DOORS SHALL HAVE NOT LESS THAN FIVE S.F. OF GLAZED SURFACES.

MD11. ENTRANCE DOORS: SEC. 50-A. M.D.L. AND ART.20 H.M.C.

A. BUILDING ENTRANCES AND ALL OTHER EXTERIOR ENTRANCES SHALL BE EQUIPPED WITH APPROVED TYPE AUTOMATIC SELF-CLOSING AND SELF-LOCKING DOORS.

B. ENTRANCE DOORS TO EACH APARTMENT UNIT SHALL HAVE KEY LOCK WITH AT LEAST ONE KEY TO BE PROVIDED BY OWNER, HEAVY DUTY LATCH, SET WITH DEAD BOLT AND DOOR CHAIN GUARD.

MD12. GAS METERS AND GAS APPLIANCES: SEC.64 M.D.L. AND ART.18 H.M.C.

A. GAS METERS SHALL COMPLY WITH SEC.64 M.D.L.

B. GAS APPLIANCES SHALL IN ADDITION TO THESE SECTIONS, COMPLY WITH THE BOARD OF STANDARD APPEAL.

C. YEARLY INSPECTION OF GAS APPLIANCES BY QUALIFIED PERSON SHALL BE MADE IN OCT.

MD13. HEAT AND HOT WATER: SEC.79 M.D.L. AND ART.17 H.M.C.

A. YEARLY INSPECTION SHALL BE MADE BY QUALIFIED PERSON.

B. MINIMUM TEMPERATURE OF HEATING AND HOT WATER SHALL BE MAINTAINED.

MD14. SINGLE STATION SMOKE DETECTORS SHALL BE INSTALLED IMMEDIATELY OUTSIDE OF SLEEPING OR BEDROOM WITH NO INTERVENING WALL SWITCH AS PER SEC. 277.7G.

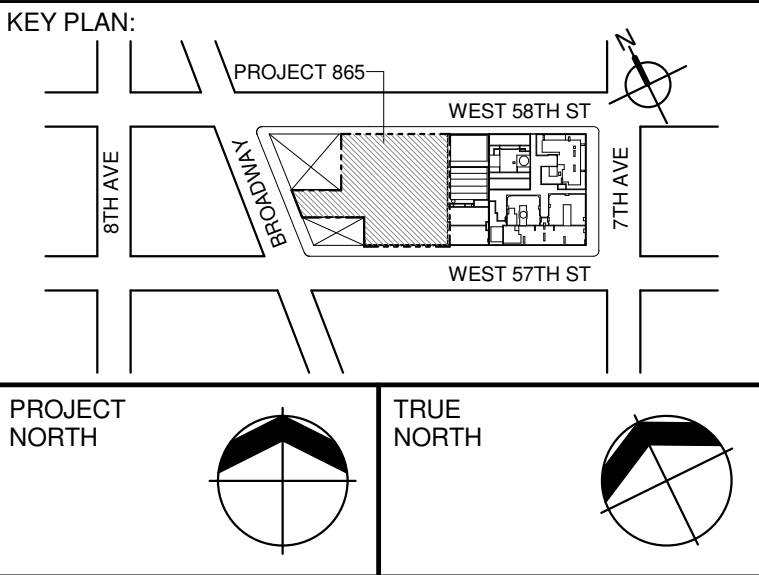
HOUSING MAINTENANCE CODE

THE OWNER SHALL COMPLY WITH AND PROVIDE PROVISIONS OF THE HOUSING MAINTENANCE CODE:

- | | | |
|-----|---------------------------------|---|
| 1. | 27-2005 | OWNER AND TENANT OBLIGATION |
| 2. | 27-2010, 2011, 2012 | CLEANING |
| 3. | 27-2013 | PAINTING |
| 4. | 27-2018 | RODENT AND INSECT ERADICATION |
| 5. | 27-2021 | RECEPTACLE FOR WASTE |
| 6. | 27-2023 | COLLECTION OF WASTE |
| 7. | 27-2024 | WATER SUPPLY |
| 8. | 27-2026, 2027 | PLUMBING AND DRAINAGE |
| 9. | 27-2028, 2029, 2030, 2031, 2033 | HEAT AND HOT WATER |
| 10. | 27-2034, 2035, 2036 | GAS APPLIANCES |
| 11. | 27-2037, 2038, 2039, 2040 | ARTIFICIAL LIGHTING |
| 12. | 27-2041, 2042, 2043, 2045 | PEEPHOLES AND LOOKS |
| 13. | 27-2049 | STREET NUMBER |
| 14. | 27-2047 | APPROVED TYPE MAIL RECEPTACLE AND DIRECTORY |
| 15. | 27-2048 | AND REGULATION OF POST OFFICE DEPARTMENT |
| 16. | 27-2053 | FLOOR SIGNS IN PUBLIC HALL STAIR |
| 17. | 27-2057 | JANITORIAL SERVICES |
| 18. | 27-2063 | LIGHTING AND VENTILATION |
| 19. | 27-2070 | SANITARY FACILITIES |
| 20. | 27-2074 | KITCHEN AND KITCHENETTES |
| 21. | 27-2081 | MAXIMUM PERMITTED OCCUPANCY |
| 22. | 27-2097 | OCCUPANCY OF CELLARS AND BASEMENTS |
| 23. | 27-2104 | REGISTRATION STATEMENT |
| | | POSTING OF REGISTRATION IDENTIFICATION SIGN |
| | | CONTAINING DWELLING SERIAL NUMBER. |

COMPLIANCE

FAIR HOUSING ACT
THESE DOCUMENTS COMPLY WITH THE FAIR HOUSING ACT DESIGN MANUAL.



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

ARCHITECT OF RECORD: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 Wellington St., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
WSP CANTOR SENLUX
228 EAST 42nd Street
New York, NY 10017 USA
TEL: 212 687 9888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
1501 Broadway
New York, NY 10036 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza, 380 West 37th Street, 8th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
A.L.P. Consulting
40 Worth Street, Suite 808
New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Higgins Quasebarth & Partners LLC
11 Hanover Square, 16th Floor
New York, NY 10005
TEL: 212 274 9488 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
59 West 57th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION:	DATE:
1	CD PROGRESS ISSUE 1	15 OCT 14
2	D.O.B. SUBMISSION	05 DEC 14
3	CD PROGRESS ISSUE 2	19 DEC 14
4	D.O.B. SUBMISSION	18 FEB 15
5	CD PROGRESS ISSUE 3	09 MAR 15
6	D.O.B. SUBMISSION	27 APR 15
7	CD PROGRESS ISSUE 4	01 JUN 15
8	CD PROGRESS ISSUE 5	10 AUG 15
9	D.O.B. AMENDMENT 2	21 SEP 15
10	CD PROGRESS ISSUE 6	02 NOV 15
11	CD PROGRESS ISSUE 7	14 JAN 16
12	CD PROGRESS ISSUE 8	29 JAN 16
13	CD PROGRESS ISSUE 9	31 MAR 16
14	D.O.B. AMENDMENT 3	03 OCT 16

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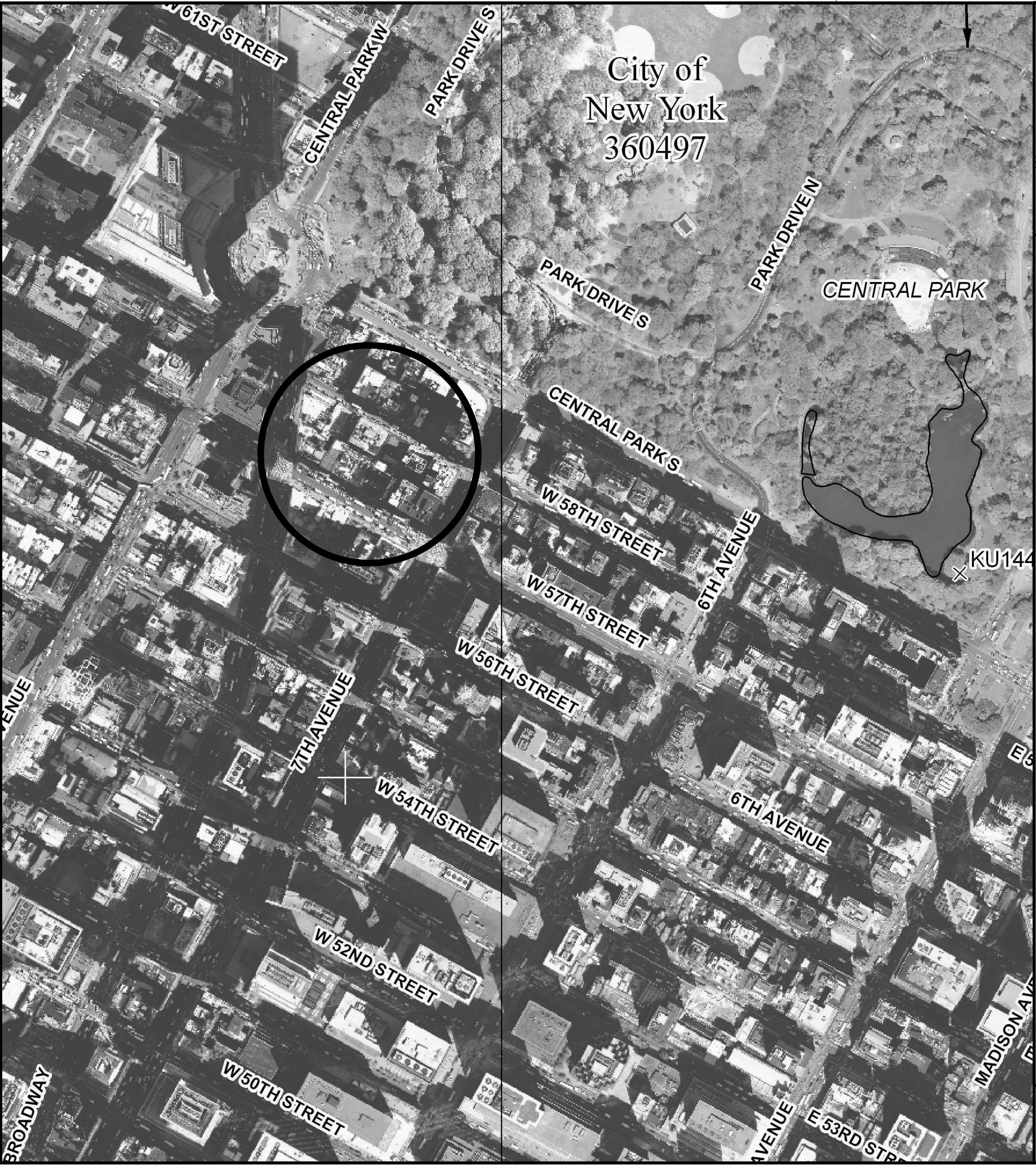


PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

CODE COMPLIANCE NOTES - 2

SEAL & SIGNATURE:	DATE:	15 OCT 14
	PROJECT No:	1216-00
	DRAWN: Author	REV:
	CHECK: Checker	11
	SCALE:	
DWG No:		A-021.02
DOB PAGE No:		44 of 454
DOB EMPLOYEE STAMP:		DOB B-SCAN:



MAP SCALE 1" = 500'

250 0 500 1000 FEET

NATIONAL FLOOD INSURANCE PROGRAM

PANEL 0088F

FIRM

FLOOD INSURANCE RATE MAP

CITY OF NEW YORK, NEW YORK

BROOKLYN, RICHMOND, NEW YORK, QUEENS, AND KINGS COUNTIES

PANEL 88 OF 457

(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:

COMMUNITY	NUMBER	PANEL	SUFFIX
NEW YORK, CITY OF	360497	0088	F

Notice to User: The Map Number shown below should be used when placing map orders; the Community Number shown above should be used on insurance applications for the subject community.

MAP NUMBER 3604970088F

MAP REVISED SEPTEMBER 5, 2007

Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT On-Line. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For the latest product information about National Flood Insurance Program flood maps check the FEMA Flood Map Store at www.msc.fema.gov

OCCUPANT LOADS SUMMARY SUBCELLAR 3 FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
TENANT LAUNDRY ROOM	F-2	290 SF	50 SF	6
AC MER	F-2	287 SF	300 SF	1
DAS EQUIPMENT ROOM	F-2	588 SF	300 SF	2
EJECTOR ROOM	F-2	457 SF	300 SF	3
ELECTRICAL ROOM	F-2	56 SF	300 SF	1
FUEL OIL PUMP ROOM	F-2	203 SF	300 SF	1
MER ROOM	F-2	418 SF	300 SF	2
FUEL OIL TANK ROOM	H-2	662 SF	300 SF	3
AMENITIES PROGRAM STORAGE	S-1	695 SF	300 SF	3
RESIDENTIAL BIKE STORAGE	S-1	848 SF	300 SF	3
RESIDENTIAL STORAGE	S-1	5,425 SF	300 SF	19
STORAGE	S-1	492 SF	300 SF	3
COLD STORAGE	S-2	115 SF	300 SF	1
JANITOR	S-2	65 SF	300 SF	1
PACKAGE ROOM	S-2	790 SF	300 SF	3
Grand total				52

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (N)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (292)	STAIR LOAD TOTAL (52)
STAIR - K	44"	0.3	146	26
STAIR - G	44"	0.3	146	26

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (52)
STAIR - K - DOOR	34"	0.2	170	26
STAIR - G - DOOR	34"	0.2	170	26

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - K	11"	6.75"	21	74.13"
STAIR - G	11"	6.75"	21	141.50"

1780 BROADWAY
EXISTING BUILDING
(NO EXCAVATION)

* RESTROOM FACILITIES ARE LOCATED ON SUB CELLAR 2 FLOOR

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
F-2	250'	100'	50'
H-2	100'	25'	20'
S-1	200'	100'	20'
S-2	250'	100'	20'

EGRESS AND FIRE RATING LEGEND

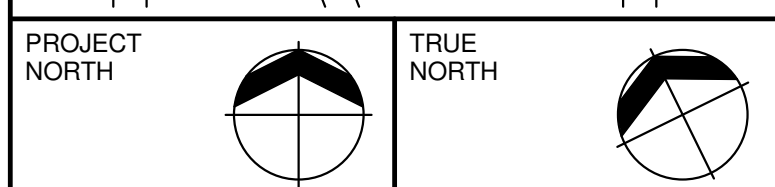
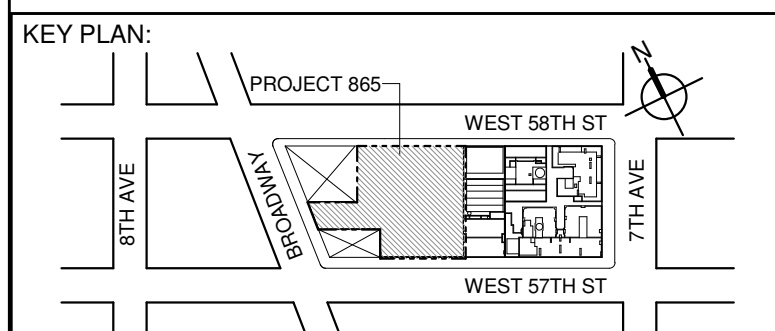
---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
----	TWO HOUR RATED PARTITION	----	DEAD END
-----	THREE HOUR RATED PARTITION	-----	MAXIMUM TRAVEL DISTANCE
-----	FOUR HOUR RATED PARTITION	-----	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
-----	NON RATED SMOKE SEPARATION		

SYMBOLS LEGEND

	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		WALL MOUNTED ILLUMINATED NO EXIT SIGN		FEC FIRE EXTINGUISHER CABINET		SMOKE DETECTOR
	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)		STANDPIPE		SMOKE / CARBON MONOXIDE DETECTOR
	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		ILLUMINATED NO EXIT SIGN		SPRINKLER RISER		CEILING MOUNTED EMERGENCY LIGHT
	ILLUMINATED EXIT SIGN		ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)		SIAMESE CONNECTION		DOOR RATING (MINUTES)

2
A-301

(NO EXCAVATION)



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 11TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

ARCHITECT OF RECORD: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
WSP CANTOR SEINUK
228 EAST 46th Street
New York, NY 10017 USA
TEL: 212 687 9888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
1501 Broadway
New York, NY 10036 USA
TEL: 212 354 5656 FAX: 212 354 5668

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21 Penn Plaza - 360 West 31st Street, 8th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1816 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 808
New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Higgins Quasebarth & Partners LLC
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New York, NY 10005
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NEW YORK, NY

DRAWING TITLE:
SUB CELLAR 3 FLOOR PLAN
BUILDING CODE NOTES (B.O.H. SUPPORT) (MFD-SUB CELLAR 3)

SEAL & SIGNATURE:

DATE: 15 OCT 14

PROJECT No: 1216.00

DRAWN: Author

REV: 12

SCALE: 1/8" = 1'-0"

DWG No:

A-031.02

DOB PAGE No: 46 of 464

DOB EMPLOYEE STAMP:

DOB B-SCAN:

OCCUPANT LOADS SUMMARY 7TH FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
AC AND FAN ROOM	F-2	1,424 SF	300 SF	5
AC AND PUMP ROOM	F-2	1,847 SF	300 SF	6
AC ROOM	F-2	346 SF	300 SF	2
AC UNIT AND FAN ROOM	F-2	1,363 SF	300 SF	5
BOILER ROOM W/ PUMPS	F-2	1,849 SF	300 SF	7
CON ED VAULT	F-2	640 SF	300 SF	4
EMR	F-2	690 SF	300 SF	3
EMR AHU ROOM	F-2	381 SF	300 SF	2
FAN AND DW HEATER ROOM	F-2	414 SF	300 SF	2
FAN ROOM	F-2	472 SF	300 SF	2
GENERATOR ROOM	F-2	3,468 SF	300 SF	12
LS ELECTRICAL ROOM	F-2	336 SF	300 SF	2
NETWORK ROOM	F-2	565 SF	300 SF	4
OS/EM SWITCHGEAR ROOM	F-2	509 SF	300 SF	2
POOL EQUIPMENT ROOM	F-2	108 SF	300 SF	1
SWITCHBOARD ROOM	F-2	3,754 SF	300 SF	13
RECYCLING COLLECTION ROOM	S-1	361 SF	300 SF	2
REFUSE COLLECTION ROOM	S-1	397 SF	300 SF	2
TRASH COMPACTOR ROOM	S-1	242 SF	300 SF	2
Grand total				77

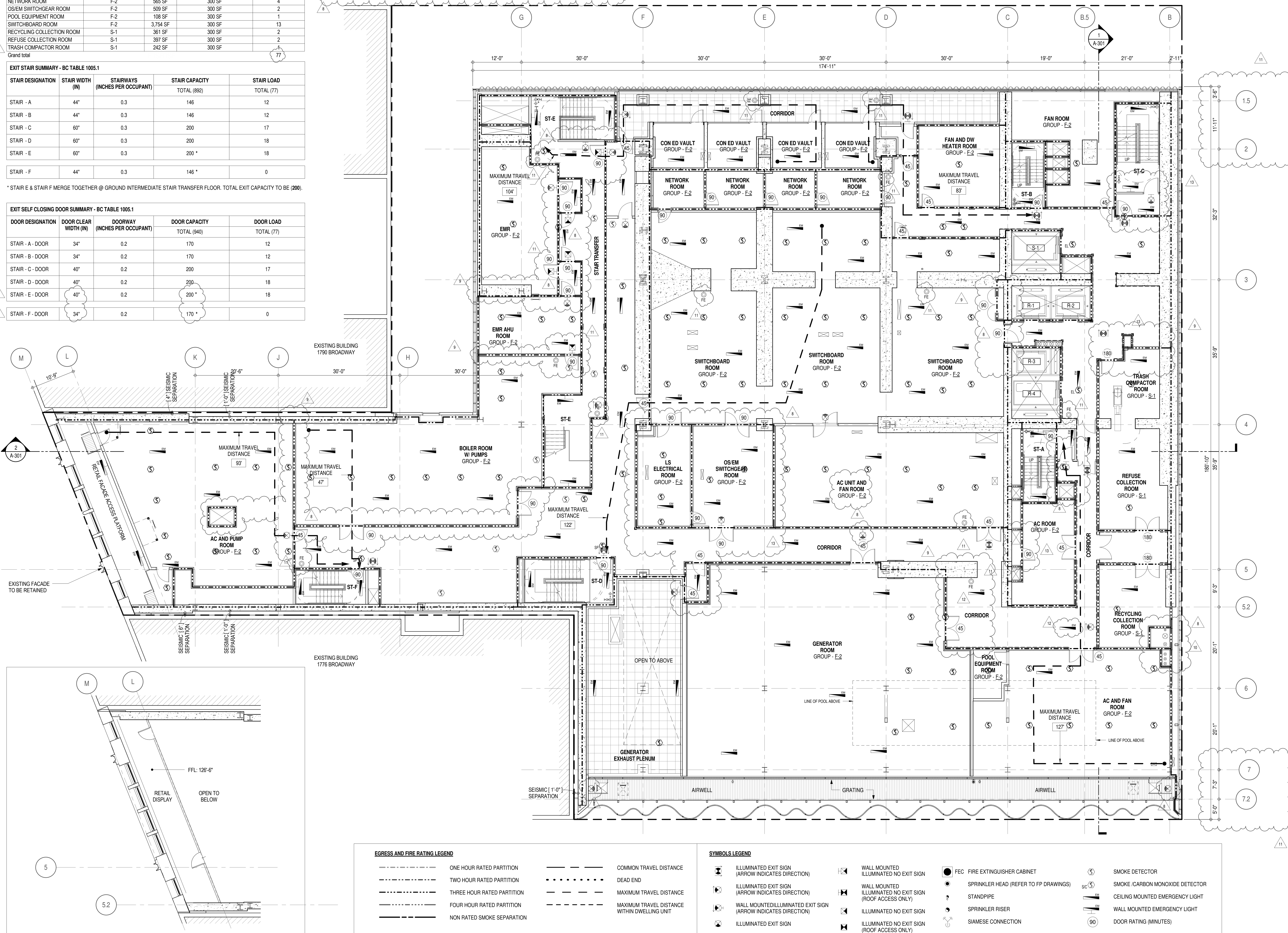
EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (N)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (892)	STAIR LOAD TOTAL (77)
STAIR - A	44"	0.3	146	12
STAIR - B	44"	0.3	146	12
STAIR - C	60"	0.3	200	17
STAIR - D	60"	0.3	200	18
STAIR - E	60"	0.3	200 *	18
STAIR - F	44"	0.3	146 *	0

* STAIR E & STAIR F MERGE TOGETHER @ GROUND INTERMEDIATE STAIR TRANSFER FLOOR. TOTAL EXIT CAPACITY TO BE (200).

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (N)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (940)	DOOR LOAD TOTAL (77)
STAIR - A - DOOR	34"	0.2	170	12
STAIR - B - DOOR	34"	0.2	170	12
STAIR - C - DOOR	40"	0.2	200	17
STAIR - D - DOOR	40"	0.2	200	18
STAIR - E - DOOR	40"	0.2	200 *	18
STAIR - F - DOOR	34"	0.2	170 *	0

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (N)	RISER (N)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.44"	34	66.69"
STAIR - B	9.5"	7.44"	34	66.69"
STAIR - C	11"	7"	36	84.00"
STAIR - D	11"	7"	36	63.00"
STAIR - E	11"	7"	36	70.00"
STAIR - F	11"	7"	36	70.00"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
F-2	250'	100'	50'



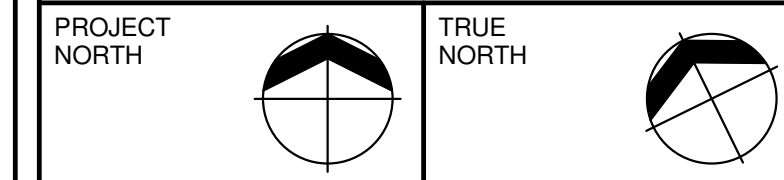
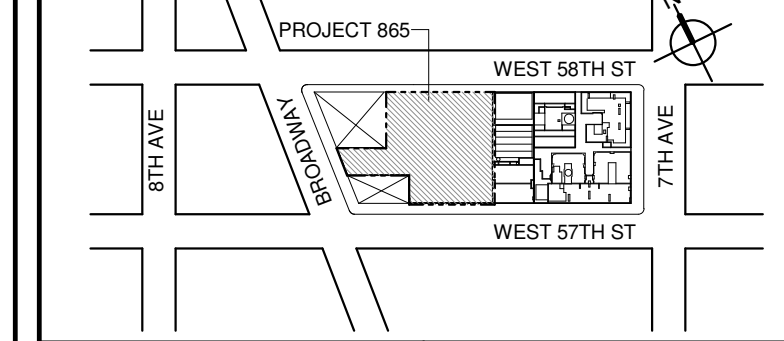
EGRESS AND FIRE RATING LEGEND

ONE HOUR RATED PARTITION	COMMON TRAVEL DISTANCE
TWO HOUR RATED PARTITION	DEAD END
THREE HOUR RATED PARTITION	MAXIMUM TRAVEL DISTANCE
FOUR HOUR RATED PARTITION	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
NON RATED SMOKE SEPARATION	

SYMBOLS LEGEND

ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN	FEC FIRE EXTINGUISHER CABINET	SMOKE DETECTOR
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER HEAD (REFER TO FP DRAWINGS)	SMOKE / CARBON MONOXIDE DETECTOR
WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	ILLUMINATED NO EXIT SIGN	STANDPIPE	CEILING MOUNTED EMERGENCY LIGHT
ILLUMINATED EXIT SIGN	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER RISER	WALL MOUNTED EMERGENCY LIGHT
		SIAMESE CONNECTION	DOOR RATING (MINUTES)

KEY PLAN:



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

ARCHITECT OF RECORD: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 West 31st Street, 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
WSP CANTOR SENIUK
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 687 9888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
1501 Broadway
New York, NY 10036 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza, 360 West 31st Street, 8th Floor
New York, NY 10013-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 808
New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Higgins Quasebarth & Partners LLC
11 Hanover Square, 16th Floor
New York, NY 10005
TEL: 212 274 9468 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
59 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION:	DATE:
1	CD PROGRESS ISSUE 1	15 OCT 14
2	D.O.B. SUBMISSION	05 DEC 14
3	CD PROGRESS ISSUE 2	19 DEC 14
4	D.O.B. SUBMISSION	18 FEB 15
5	CD PROGRESS ISSUE 3	09 MAR 15
6	D.O.B. SUBMISSION	27 APR 15
7	CD PROGRESS ISSUE 4	07 JUN 15
8	CD PROGRESS ISSUE 5	10 AUG 15
9	D.O.B. AMENDMENT 2	21 SEP 15
10	CD PROGRESS ISSUE 6	02 NOV 15
11	CD PROGRESS ISSUE 7	14 JAN 16
12	CD PROGRESS ISSUE 8 - GMP SET	29 JAN 16
13	CD BULLETIN ISSUE - 1	31 MAR 16
14	CD BULLETIN ISSUE - 2	22 APR 16
15	CD BULLETIN ISSUE - 3	14 SEP 16
16	D.O.B. AMENDMENT 3	03 OCT 16

0 4'-0" 8'-0" 16'-0"

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:



PROJECT:

**217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE:

**7TH FLOOR PLAN
BUILDING CODE NOTES
(MECHANICAL) (MFD-7TH FLOOR)**

SEAL & SIGNATURE:

DATE: 15 OCT 14

PROJECT No: 1216.00

DRAWN: Author

REV: 13

SCALE: 1/8" = 1'-0"

DWG No:

A-042.02

DOB PAGE No: 46 of 464

DOB EMPLOYEE STAMP:

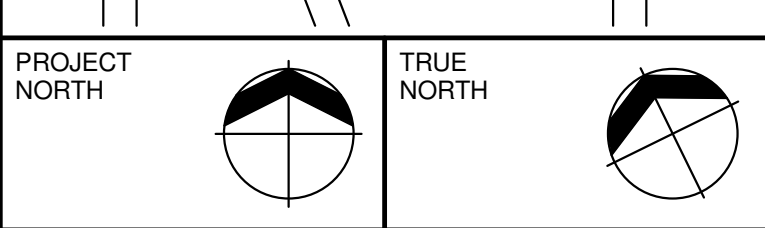
DOB B-SCAN:

* INTERIOR SPACES: ONLY TO USE EXIT STAIRS A AND B. TOTAL INTERIOR OCCUPANT LOAD = 224
SCREENING ROOM AND LOUNGE HAVE BEEN PROVIDED SECOND MEANS OF EGRESS TO EXTERIOR

* STAIR E & STAIR F MERGE TOGETHER @ GROUND INTERMEDIATE STAIR TRANSFER FLOOR. TOTAL EXIT CAPACITY TO BE (200).

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* URINALS MAY BE PROVIDED IN LIEU OF WATER CLOSETS BUT FOR NO MORE THAN 1/2 OF THE REQUIRED NO. OF WATER CLOSETS WHEN MORE THAN 35 PERSONS



DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
 111 WEST MONROE STREET SUITE 2300
 CHICAGO IL 60603
 TEL: 312 920 1888 FAX: 312 920 1775

STRUCTURAL ENGINEERS:
WSP CANTOR SEINUK
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 687 9888 FAX: 646 487 5501

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TEL: 212 757 5659 FAX: 646 219 8508

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AAI
ARCHITECTS PC



DRAWING TITLE:

SEAL & SIGNATURE:	DATE:	15 OCT 14
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	PROJECT No: 1216-00	
	DRAWN: Author	REV:

DWG No: **A 040 00**

STATE OF NEW YORK
No. 028881
A-043.02
DOB PAGE No. 43 of 151

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OCCUPANT LOADS SUMMARY 9TH FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
POOL MECHANICAL EQUIPMENT ROOM	F-2	1,180 SF	300 SF	4
EMR	F-2	207 SF	300 SF	1
MECHANICAL	F-2	972 SF	300 SF	4
MECHANICAL	F-2	121 SF	300 SF	1
Grand total				10

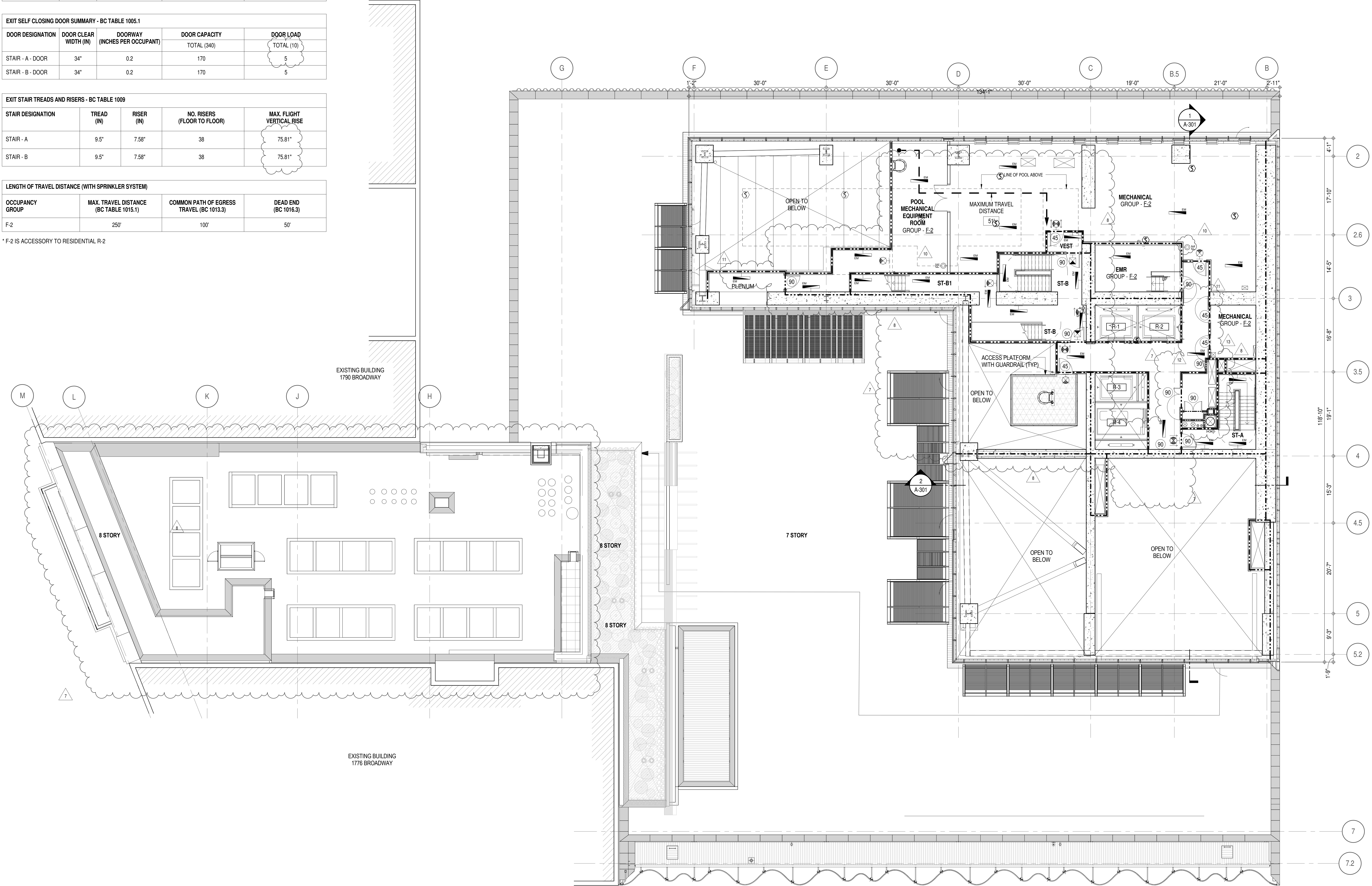
EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (292)	STAIR LOAD TOTAL (10)
STAIR - A	44"	0.3	146	5
STAIR - B	44"	0.3	146	5

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (10)
STAIR - A - DOOR	34"	0.2	170	5
STAIR - B - DOOR	34"	0.2	170	5

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.58"	38	75.81"
STAIR - B	9.5"	7.58"	38	75.81"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
F-2	250'	100'	50'

* F-2 IS ACCESSORY TO RESIDENTIAL R-2

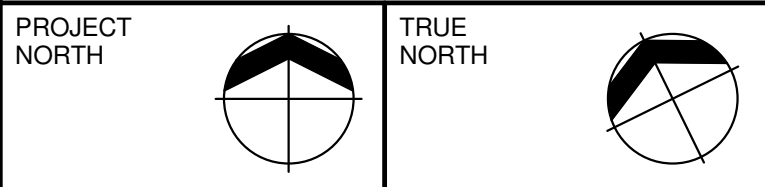
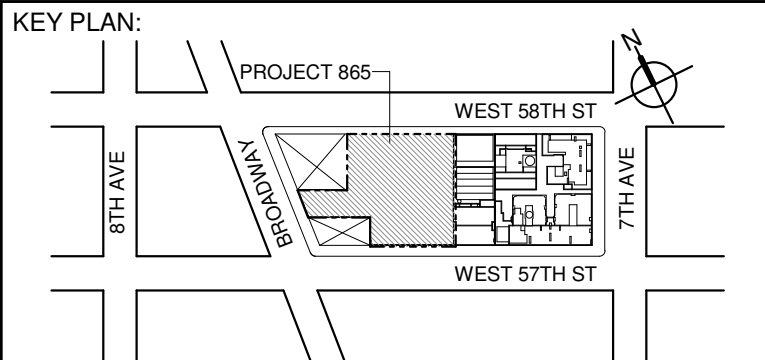


EGRESS AND FIRE RATING LEGEND

---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
---	TWO HOUR RATED PARTITION	---	DEAD END
---	THREE HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE
---	FOUR HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
---	NON RATED SMOKE SEPARATION		

SYMBOLS LEGEND

ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN	FEC FIRE EXTINGUISHER CABINET	SMOKE DETECTOR
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER HEAD (REFER TO FP DRAWINGS)	SMOKE / CARBON MONOXIDE DETECTOR
WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	ILLUMINATED NO EXIT SIGN	STANDPIPE	CEILING MOUNTED EMERGENCY LIGHT
ILLUMINATED EXIT SIGN	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER RISER	WALL MOUNTED EMERGENCY LIGHT
		SIAMESE CONNECTION	DOOR RATING (MINUTES)



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 17TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 West 31st Street, 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 867 1500 FAX: 416 867 1775

ARCHITECT OF RECORD: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 West 31st Street, 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 867 1500 FAX: 416 867 1775

STRUCTURAL ENGINEERS:
WSP CANTOR SENIUK
228 EAST 48th Street
New York, NY 10017 USA
TEL: 212 687 9888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
1501 Broadway
New York, NY 10036 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza, 380 West 31st Street, 8th Floor
New York, NY 10013-2227
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1816 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 828
New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Higgins Quasebarth & Partners LLC
11 Hanover Square, 16th Floor
New York, NY 10005
TEL: 212 274 9468 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
59 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION:	DATE:
1	CD PROGRESS ISSUE 1	15 OCT 14
2	D.O.B. SUBMISSION	05 DEC 14
3	CD PROGRESS ISSUE 2	19 DEC 14
4	D.O.B. SUBMISSION	18 FEB 15
5	CD PROGRESS ISSUE 3	09 MAR 15
6	D.O.B. SUBMISSION	27 APR 15
7	CD PROGRESS ISSUE 4	01 JUN 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	14 JAN 16
11	CD ISSUE 8 - GMP	29 JAN 16
12	CD BULLETIN ISSUE - 1	31 MAR 16
13	CD BULLETIN ISSUE - 2	22 APR 16
14	CD BULLETIN ISSUE - 3	11 MAY 16
15	CD BULLETIN ISSUE - 4	14 SEP 16
16	D.O.B. AMENDMENT 3	03 OCT 16

0 4' - 0" 8' - 0" 16' - 0"

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:
AAI
ARCHITECTS, P.C.

PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
9TH FLOOR PLAN
BUILDING CODE NOTES
(MECHANICAL) (MFD-15TH FLOOR)

SEAL & SIGNATURE: [Signature] DATE: 15 OCT 14
PROJECT No: 1216-00
DRAWN: Author
CHECKED: Checker
SCALE: 1/8" = 1'-0"
DWG No: A-044.02
DOB PAGE No: 48 of 454
DOB B-SCAN:

OCCUPANT LOADS SUMMARY 10TH FLOOR PLAN

OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
WADING POOL	A-3	104 SF	50 SF	3
POOL		867 SF	50 SF	18
POOL DECK		1,747 SF	15 SF	117
A-3				138

EXERCISE ROOM	R-2	1,482 SF	50 SF	30
SITTING AREA	R-2	126 SF	50 SF	3
COUPLES TREATMENT ROOM	R-2	571 SF	50 SF	12
EXERCISE ROOM	R-2	587 SF	50 SF	12
EXERCISE ROOM	R-2	573 SF	50 SF	12
R-2				69
Grand total				207

EXIT STAIR SUMMARY - BC TABLE 1005.1

STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (292) *	STAIR LOAD TOTAL (207)
STAIR - A	44"	0.3	146	103
STAIR - B	44"	0.3	146 *	104

* STAIR B & STAIR B1 MERGE TOGETHER @ 8TH FLOOR INTERMEDIATE STAIR TRANSFER FLOOR. TOTAL EXIT CAPACITY TO BE (146)

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1

DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340) *	DOOR LOAD TOTAL (207)
STAIR - A - DOOR	34"	0.2	170	103
STAIR - B - DOOR	34"	0.2	170 *	104
STAIR - B1 - DOOR	34"	0.2	170 *	0

EXIT STAIR TREADS AND RISERS - BC TABLE 1009

STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.62"	45	76.44"
STAIR - B	9.5"	7.62"	45	114.69"
STAIR - B1	9.5"	7.62"	45	114.69"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)

OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
R-2	200'	125'	40'
S-1	200'	100'	20'

PLUMBING FIXTURES - PER PC TABLE 403.1

OCCUPANCY	OCC. GRP.	NUMBER OF OCCUPANTS		REQUIRED WATER CLOSETS		REQUIRED LAVATORIES		PROVIDED WATER CLOSETS		PROVIDED LAVATORIES	
		M50%	F50%	M	F	M	F	M	F	M	F
POOL / WADING POOL / POOL DECK	A-3	69	69	1	2	1	1	2	3	2	2
EXERCISE / SITTING	R-2	29	29	1	1	1	1				
ASSEMBLY A-2, R-2 ACCESSORY (TOTALS)				2	3	2	2	2	3	2	2
COUPLES TREATMENT ROOMS	R-2	12		1		1		1**		2**	
R-2 ACCESSORY (TOTALS)				1		1		1**		2**	

* URINALS MAY BE PROVIDED IN LIEU OF WATER CLOSETS BUT FOR NO MORE THAN 1/2 OF THE REQUIRED NO. OF WATER CLOSETS WHEN MORE THAN 35 PERSONS.

* TABLE 403.1 REQUIRES THE FOLLOWING ADDITIONAL PLUMBING FIXTURES:
DRINKING FOUNTAINS (1 PER 1,000 P.): 1 REQUIRED, 4 PROVIDED
SERVICE SINK: 1 REQUIRED, 1 PROVIDED

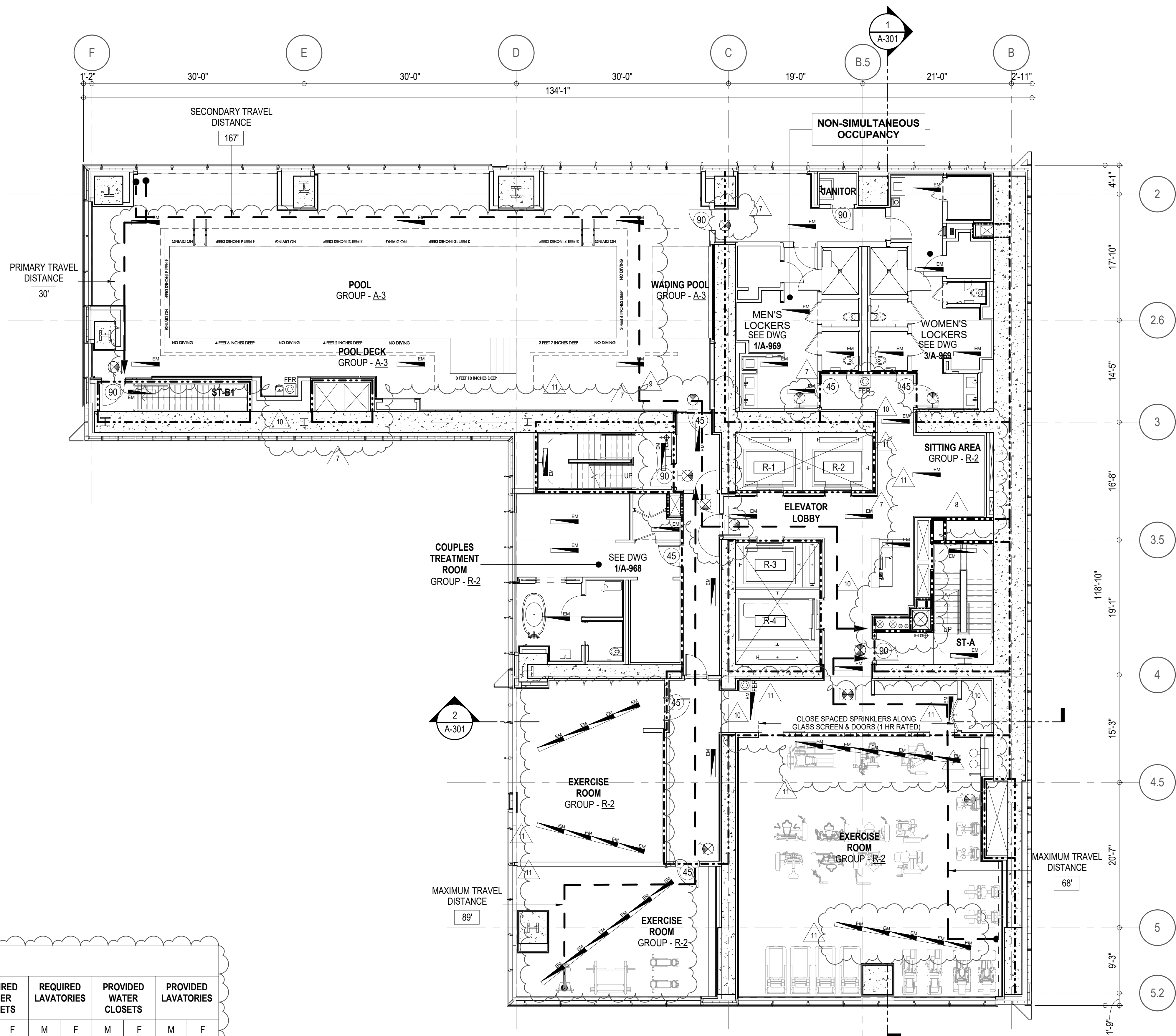
** UNISEX WASHROOM PROVIDED

EGRESS AND FIRE RATING LEGEND

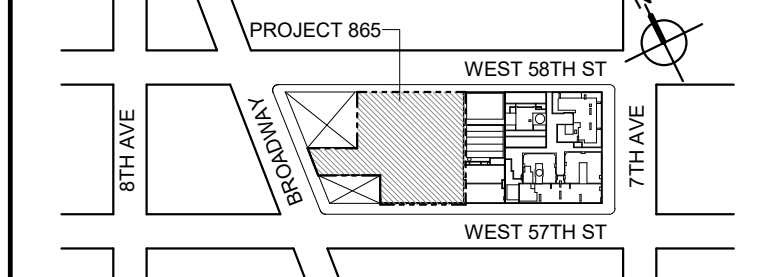
-----	ONE HOUR RATED PARTITION	-----	COMMON TRAVEL DISTANCE
-----	TWO HOUR RATED PARTITION	DEAD END
-----	THREE HOUR RATED PARTITION	-----	MAXIMUM TRAVEL DISTANCE
-----	FOUR HOUR RATED PARTITION	-----	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
-----	NON RATED SMOKE SEPARATION		

SYMBOLS LEGEND

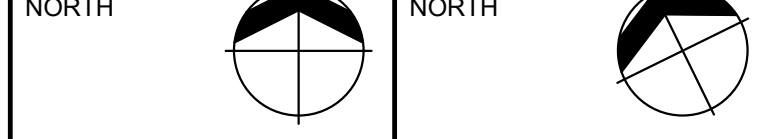
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN	FEC FIRE EXTINGUISHER CABINET	SMOKE DETECTOR
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER HEAD (REFER TO FP DRAWINGS)	SMOKE / CARBON MONOXIDE DETECTOR
WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	ILLUMINATED NO EXIT SIGN	SPRINKLER RISER	CEILING MOUNTED EMERGENCY LIGHT
ILLUMINATED EXIT SIGN	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SIAMESE CONNECTION	WALL MOUNTED EMERGENCY LIGHT
			DOOR RATING (MINUTES)



KEY PLAN



PROJECT NORTH



DEVELOPER:

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 11TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775ARCHITECT OF RECORD: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 1150STRUCTURAL ENGINEERS:
WSP CANTOR SENUK
228 EAST 48th Street
New York, NY 10017 USA
TEL: 212 687 9888 FAX: 646 487 5501MEP ENGINEERS:
AKF GROUP
1501 Broadway
New York, NY 10036 USA
TEL: 212 354 5656 FAX: 212 354 5668GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 380 West 31st Street, 8th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 828
New York, NY 10013
TEL: 212 757 6659 FAX: 646 219 8508LANDMARK/PRESERVATION CONSULTANT:
Higgins Quasbarth & Partners LLC
11 Hanover Square, 16th Floor
New York, NY 10005
TEL: 212 274 9468 FAX: 646 274 9380LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
30 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION:	DATE:
1	CD PROGRESS ISSUE 1	15 OCT 14
2	D.O.B. SUBMISSION	05 DEC 14
3	CD PROGRESS ISSUE 2	19 DEC 14
4	D.O.B. SUBMISSION	18 FEB 15
5	CD PROGRESS ISSUE 3	09 MAR 15
6	D.O.B. SUBMISSION	27 APR 15
7	CD PROGRESS ISSUE 4	01 JUN 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	14 JAN 16
11	CD ISSUE 8 - GMP SET	29 JAN 16
	D.O.B. AMENDMENT 3	03 OCT 16

0 4'-0" 8'-0" 16'-0"

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:



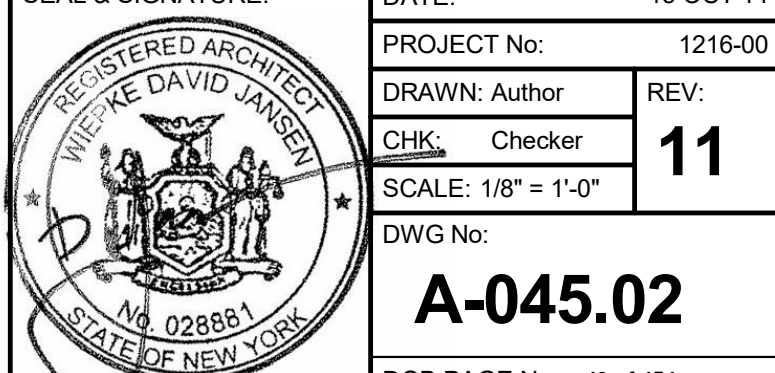
PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

10TH FLOOR PLAN
BUILDING CODE NOTES
(RESIDENTIAL AMENITIES)
(MFD-16TH FLOOR)

SEAL & SIGNATURE:



DATE: 15 OCT 14

PROJECT No: 1216-00

DRAWN: Author

CHK: Checker

SCALE: 1/8" = 1'-0"

DWG No:

DOB PAGE No: 48 of 154

DOB B-SCAN:

NO OCCUPANCY USE.

EXIT STAIR SUMMARY - BC TABLE 1005.1

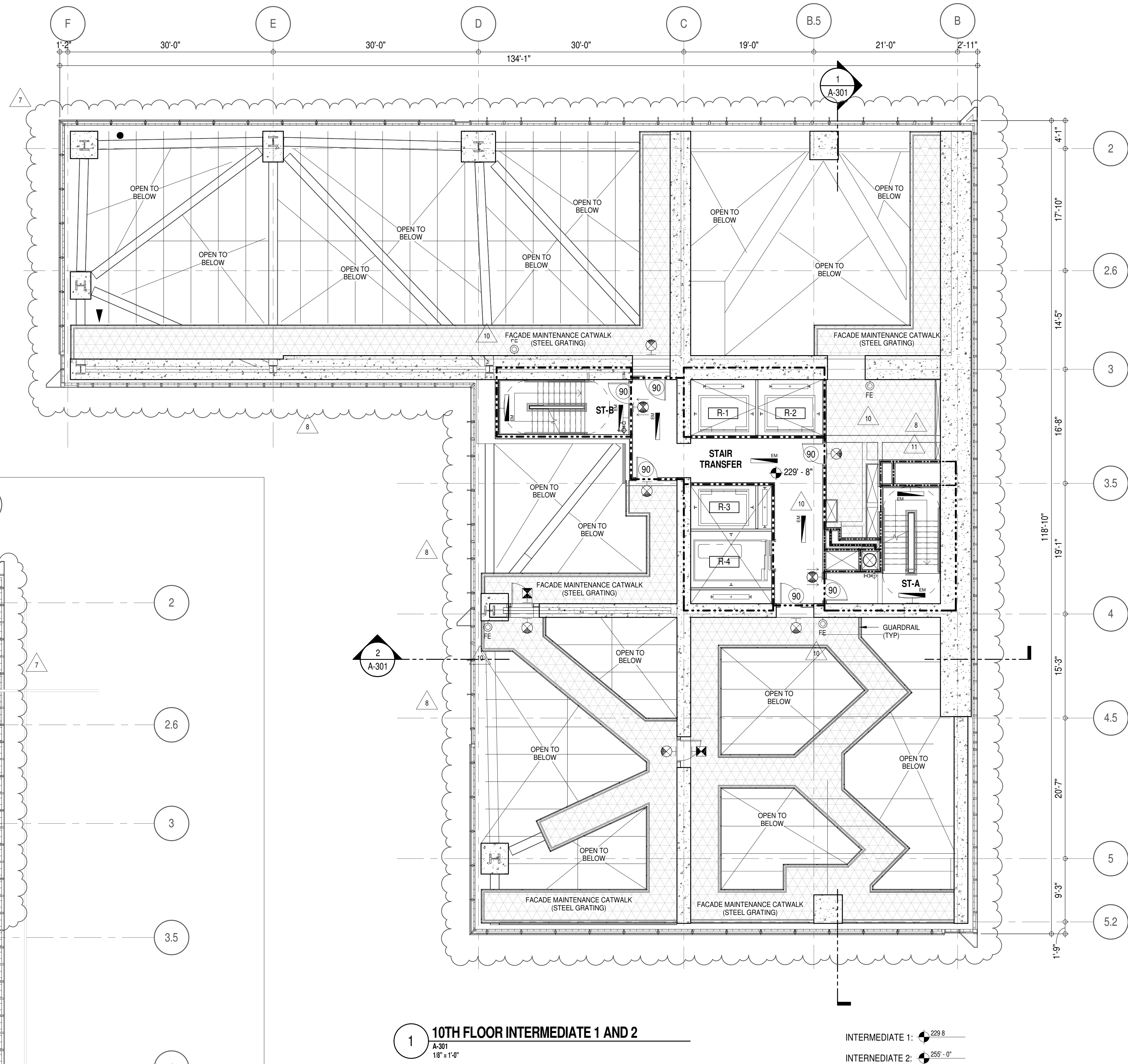
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (292)	STAIR LOAD TOTAL (0)
STAIR - A	44"	0.3	146	0
STAIR - B	44"	0.3	146	0

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1

DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (0)
STAIR - A - DOOR	34"	0.2	170	0
STAIR - B - DOOR	34"	0.2	170	0

EXIT STAIR TREADS AND RISERS - BC TABLE 1009

STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.75"	99	76.00"
STAIR - B	9.5"	7.75"	99	76.00"



2 11TH FLOOR BMU
A-301
1/8" = 1'-0"

1 10TH FLOOR INTERMEDIATE 1 AND 2
A-301
1/8" = 1'-0"

INTERMEDIATE 1: 229'-8"
INTERMEDIATE 2: 229'-17"

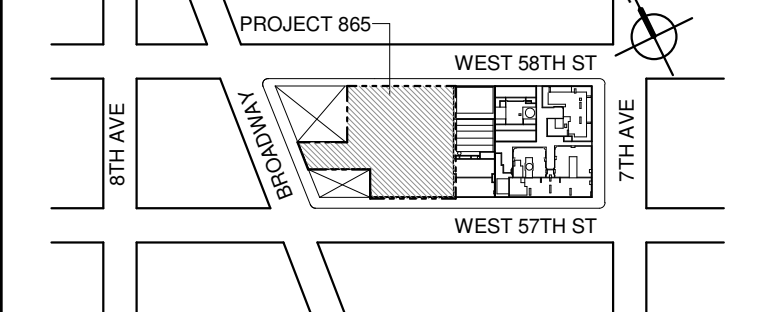
EGRESS AND FIRE RATING LEGEND

---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
---	TWO HOUR RATED PARTITION	---	DEAD END
---	THREE HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE
---	FOUR HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
---	NON RATED SMOKE SEPARATION		

SYMBOLS LEGEND

ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN	FEC FIRE EXTINGUISHER CABINET	SMOKE DETECTOR
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER HEAD (REFER TO PP DRAWINGS)	SMOKE / CARBON MONOXIDE DETECTOR
WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	ILLUMINATED NO EXIT SIGN	STANDPIPE	CEILING MOUNTED EMERGENCY LIGHT
ILLUMINATED EXIT SIGN	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER RISER	WALL MOUNTED EMERGENCY LIGHT
		SIAMESE CONNECTION	DOOR RATING (MINUTES)

KEY PLAN:



PROJECT NORTH

TRUE NORTH



DEVELOPER:

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 17TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 West 57th St, 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 867 1500 FAX: 416 867 1750

ARCHITECT OF RECORD: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 West 57th St, 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 867 1500 FAX: 416 867 1750

STRUCTURAL ENGINEERS:
WSP CANTOR SEIHL
228 EAST 46th Street
New York, NY 10017 USA
TEL: 212 687 9888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
1501 Broadway
New York, NY 10036 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza, 380 West 31st Street, 8th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
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New York, NY 10007
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10	CD PROGRESS ISSUE 7	14 JAN 16
11	CD ISSUE 8 - GMP SET	29 JAN 16
	CD BULLETIN ISSUE - 7	31 MAR 16
	D.O.B. AMENDMENT 3	03 OCT 16

D.O.B. SUBMISSION

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ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:



PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

**10TH INTERMEDIATE, 1, 2, AND
11TH FLOOR BMU PLAN
BUILDING CODE NOTES (STAIR
TRANSFER) (MFD-17TH-19TH
FLOOR)**

SEAL & SIGNATURE:

DATE: 15 OCT 14

PROJECT No: 1216-00

DRAWN: Author

REV: 11

SCALE: 1/8" = 1'-0"

DWG No: A-046.02

DOB PAGE No: 99 of 154

DOB EMPLOYEE STAMP: DOB B-SCAN:

OCCUPANT LOADS SUMMARY 11TH FLOOR PLAN

OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
MECHANICAL	F-2	9,016 SF	300 SF	31
Grand total				31

EXIT STAIR SUMMARY - BC TABLE 1005.1

STAIR DESIGNATION	STAIR WIDTH (W)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (232)	STAIR LOAD TOTAL (31)
STAIR - A	44"	0.3	146	16
STAIR - B	44"	0.3	146	15

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1

DOOR DESIGNATION	DOOR CLEAR WIDTH (W)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (31)
STAIR - A - DOOR	34"	0.2	170	16
STAIR - B - DOOR	34"	0.2	170	15

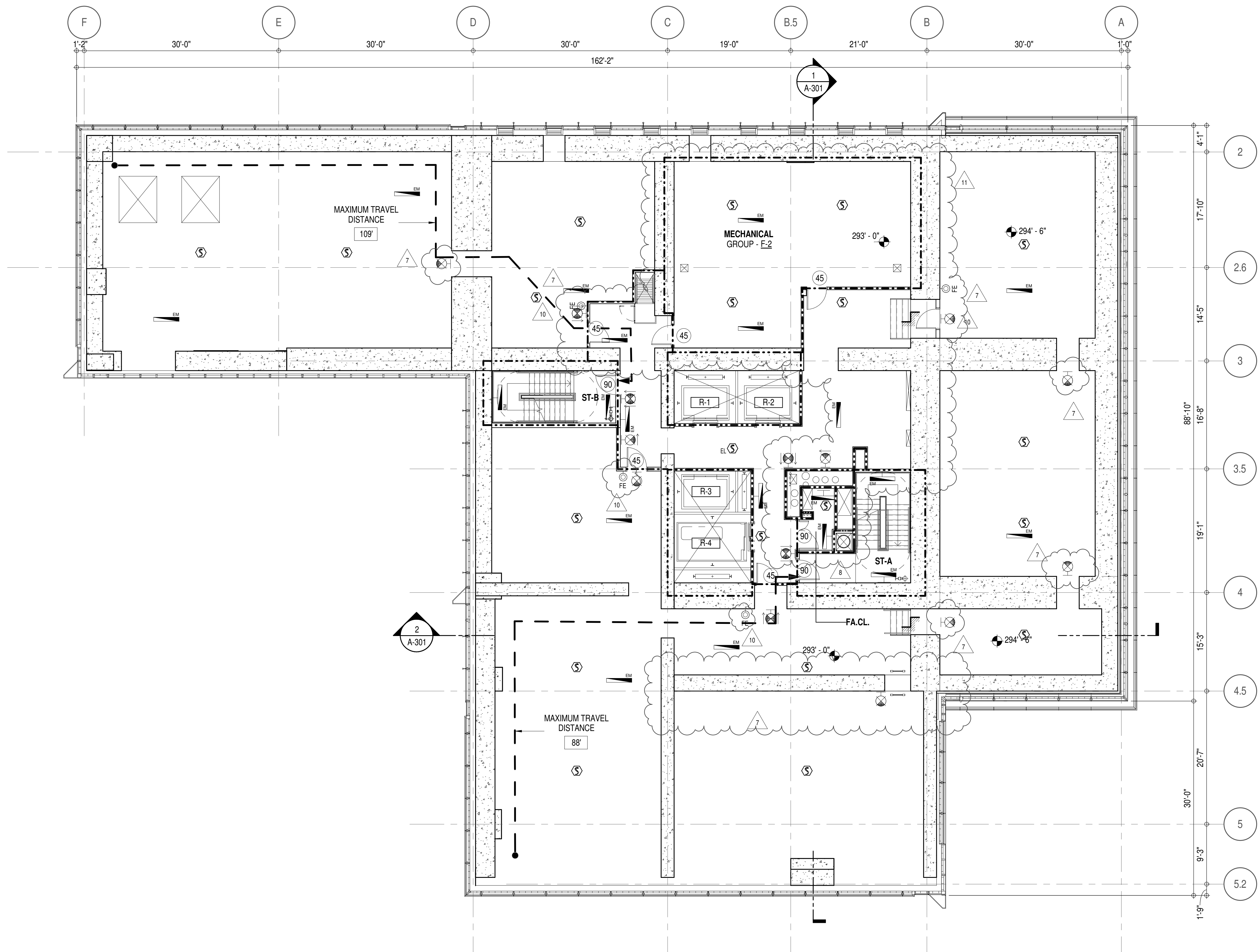
EXIT STAIR TREADS AND RISERS - BC TABLE 1009

STAIR DESIGNATION	TREAD (W)	RISER (H)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.75"	59	77.31"
STAIR - B	9.5"	7.75"	59	77.31"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)

OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
F-2	250'	100'	50'

* F-2 IS ACCESSORY TO RESIDENTIAL R-2



EGRESS AND FIRE RATING LEGEND

---	ONE HOUR RATED PARTITION
---	TWO HOUR RATED PARTITION
---	THREE HOUR RATED PARTITION
---	FOUR HOUR RATED PARTITION
---	NON RATED SMOKE SEPARATION

---	COMMON TRAVEL DISTANCE
---	DEAD END
---	MAXIMUM TRAVEL DISTANCE
---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT

SYMBOLS LEGEND

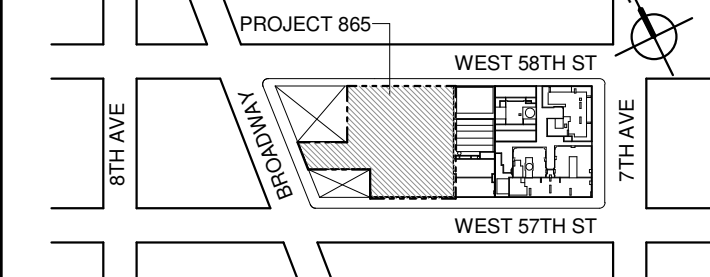
☼	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
☼	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
☼	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
☼	ILLUMINATED EXIT SIGN

☼	WALL MOUNTED ILLUMINATED NO EXIT SIGN
☼	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)
☼	ILLUMINATED NO EXIT SIGN
☼	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)

☼	FEC FIRE EXTINGUISHER CABINET
☼	SPRINKLER HEAD (REFER TO FP DRAWINGS)
☼	STANDPIPE
☼	SPRINKLER RISER
☼	SIAMESE CONNECTION

☼	SMOKE DETECTOR
☼	SMOKE / CARBON MONOXIDE DETECTOR
☼	CEILING MOUNTED EMERGENCY LIGHT
☼	WALL MOUNTED EMERGENCY LIGHT
☼	DOOR RATING (MINUTES)

KEY PLAN:



PROJECT NORTH

TRUE NORTH

DEVELOPER:

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 11TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 West 31st Street, 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 1500
TEL: 312 920 1888 FAX: 312 920 1775

ARCHITECT OF RECORD: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 West 31st Street, 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 1500
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STRUCTURAL ENGINEERS:

WSP CANTOR SENUK
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New York, NY 10017 USA
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New York, NY 10005
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LANDMARK/PRESERVATION CONSULTANT:

Jan Hird Pokorny Associates, Inc.
59 West 37th Street, 12A
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TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION:	DATE:
1	CD PROGRESS ISSUE 1	15 OCT 14
2	D.O.B. SUBMISSION	05 DEC 14
3	CD PROGRESS ISSUE 2	19 DEC 14
4	D.O.B. SUBMISSION	18 FEB 15
5	CD PROGRESS ISSUE 3	08 MAR 15
6	D.O.B. SUBMISSION	27 APR 15
7	CD PROGRESS ISSUE 4	01 JUN 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	14 JAN 16
11	CD ISSUE 8 - GMP SCHEDULE	29 JAN 16
12	CD BULLETIN ISSUE - 7	31 MAR 16
13	D.O.B. AMENDMENT 3	14 SEP 16
14		03 OCT 16

0 4' - 0" 8' - 0" 16' - 0"

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Constructors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:

AAI
ARCHITECTS, P.C.

PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

12TH FLOOR PLAN
BUILDING CODE NOTES
(MECHANICAL) (MFD-20TH FLOOR)

SEAL & SIGNATURE: DATE: 15 OCT 14

PROJECT No: 1216-00

DRAWN: Author REV: 11

CHECKED: Checker

SCALE: 1/8" = 1'-0"

DWG No: A-047.02

DOB PAGE No: 91 of 164

DOB EMPLOYEE STAMP: DOB B-SCAN:

OCCUPANT LOADS SUMMARY - 13TH FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
SUITE A	R-2	2,397 SF	200 SF	12
SUITE B	R-2	2,533 SF	200 SF	13
SUITE C	R-2	2,403 SF	200 SF	13
SUITE D	R-2	2,458 SF	200 SF	13
Grand total				51

EXIT STAIR SUMMARY - BC TABLE 1005.1

STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (232)	STAIR LOAD TOTAL (51)
STAIR - A	44"	0.3	146	25
STAIR - B	44"	0.3	146	26

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1

DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (51)
STAIR - A - DOOR	34"	0.2	170	25
STAIR - B - DOOR	34"	0.2	170	26

EXIT STAIR TREADS AND RISERS - BC TABLE 1009

STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.62"	56	136.94"
STAIR - B	9.5"	7.62"	56	74.74"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)

OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
R-2	200'	125'	40'

SUITE EXIT DOOR SUMMARY	
DOOR DESIGNATION	DOOR WIDTH (IN)
SUITE A DOOR	36"
SUITE B DOOR	36"
SUITE C DOOR	36"
SUITE D DOOR	36"
SUITE E DOOR	36"

MULTI DWELLING LAW	
SECTION 103.1 (b) EGRESS FROM APARTMENT MAXIMUM TRAVEL DISTANCE TO MEANS OF EGRESS FROM ANY ROOM WITHIN APARTMENT	
50'	

LIGHT & AIR CALCULATION 13TH FLOOR

		LIGHT REQUIREMENT -BC-1205>				AIR REQUIREMENT -BC-1203>			
		REQ'D % of Light	# of Curtain Wall Panels (5' typ.)**	PROVIDED Natural Light Area of Vision Glass	% of Natural Light	REQ'D % of Air	PROVIDED Natural Ventilating Openings # of Operable Windows	Area of Ventilating Openings	% of Natural Air
Room Name	Floor Area								
SUITE A									
BEDROOM 2	148 SF	10%	3.0	75.00 SF	50.73%	5%	1	12.18 SF	8.24%
BEDROOM 3	149 SF	10%	1.5	37.50 SF	25.19%	5%	1	12.18 SF	8.18%
KIT-A	112 SF	10%	1.0	25.00 SF	22.24%	5%	1	12.18 SF	10.84%
LIVING ROOM	435 SF	10%	4.0	100.00 SF	22.97%	5%	2	24.36 SF	5.60%
MASTER BEDROOM	217 SF	10%	4.0	100.00 SF	46.01%	5%	2	24.36 SF	11.21%
SUITE B									
BEDROOM 2	151 SF	10%	2.0	50.00 SF	33.07%	5%	1	12.18 SF	8.06%
BEDROOM 3	165 SF	10%	2.0	50.00 SF	30.22%	5%	1	12.18 SF	7.36%
KIT-B / LIVING / DINING	640 SF	10%	4.0	100.00 SF	15.62%	2.5%	2	24.36 SF	3.80%
MASTER BEDROOM	201 SF	10%	2.0	50.00 SF	24.91%	5%	1	12.18 SF	6.07%
SUITE C									
BEDROOM 2	155 SF	10%	2.0	50.00 SF	32.22%	5%	1	12.18 SF	7.85%
BEDROOM 3	147 SF	10%	2.0	50.00 SF	34.10%	5%	1	12.18 SF	8.31%
KIT-C / LIVING / DINING	578 SF	10%	6.0	150.00 SF	25.97%	5%	3	36.54 SF	6.33%
MASTER BEDROOM	211 SF	10%	3.0	75.00 SF	35.47%	5%	1	12.18 SF	5.76%
SUITE D									
BEDROOM 2	148 SF	10%	1.0	25.00 SF	16.88%	5%	1	12.18 SF	8.22%
BEDROOM 3	154 SF	10%	2.0	50.00 SF	32.57%	5%	1	12.18 SF	7.93%
KIT-D	77 SF	N / A				N / A			
LIVING/DINING	333 SF	10%	6.0	150.00 SF	45.05%	5%	2	24.36 SF	7.32%
MASTER BEDROOM	205 SF	10%	2.5	62.50 SF	30.49%	5%	1	12.18 SF	5.94%

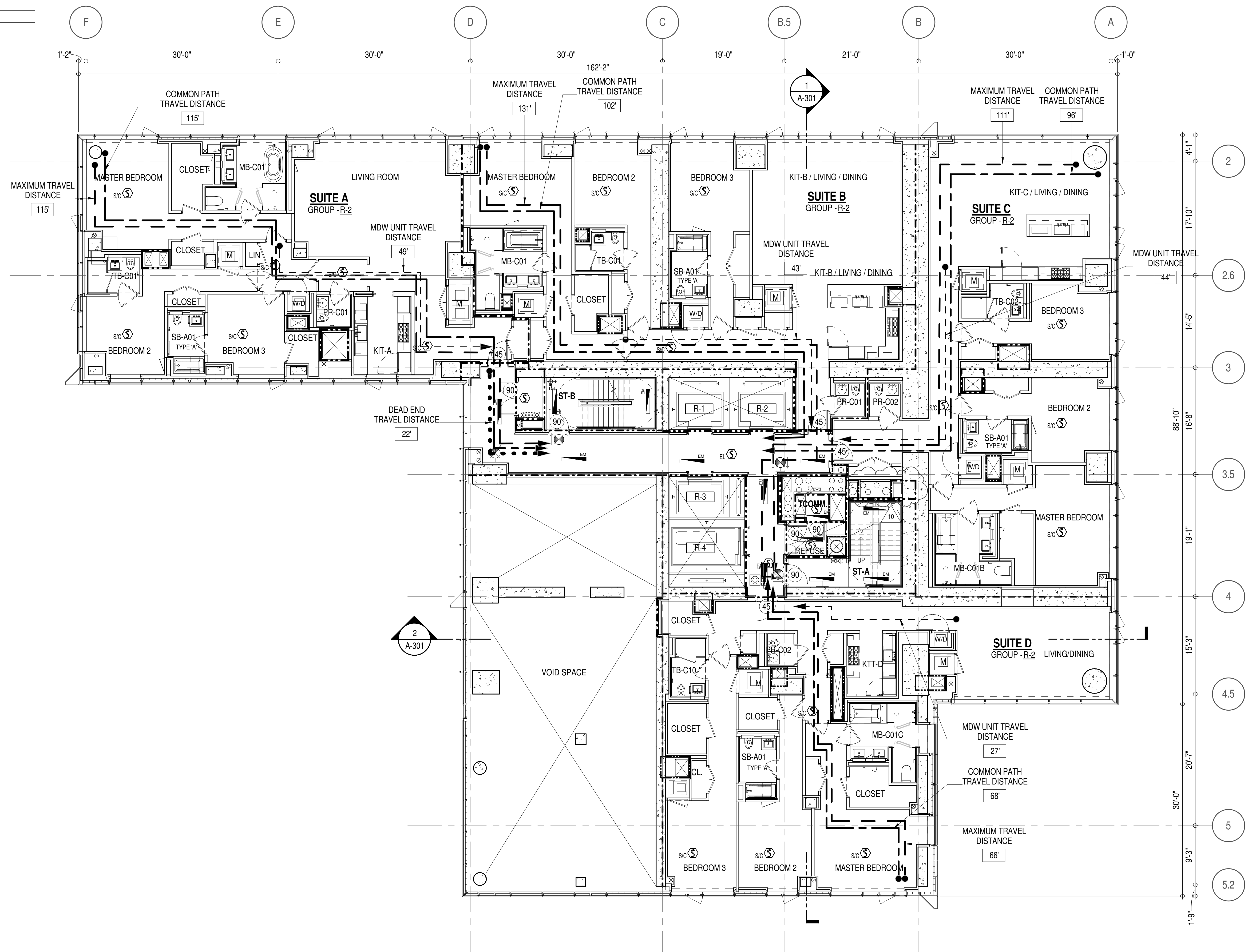
*AREA OF VENTILATING OPENING / UNIT: 12.18 SF

**AREA OF NATURAL LIGHT SOURCES: 25.00 SF
(BASED ON THE MINIMUM AREA PROVIDED FROM 5'-0" MODULE W/ SPLIT MULLION)

*** 2.5% AIR IS REQUIRED PER BC 1203.4.1.2.1 EXCEPTION 1

RESTROOM TYPES		
NAME	TYPE	DETAIL DRAWINGS
MB-C01	ADAPTABLE	1/A-973
MB-C01	ADAPTABLE	1/A-973
MB-C01B	ADAPTABLE	1/A-979
MB-C01C	ADAPTABLE	7/A-979
PR-C01	ADAPTABLE	1/A-988
PR-C01	ADAPTABLE	1/A-988
PR-C02	ADAPTABLE	6/A-988
PR-C02	ADAPTABLE	6/A-988
SB-A01	A	1/A-970
SB-A01	A	1/A-970
SB-A01	A	1/A-970
SB-A01	A	1/A-970
TB-C01	ADAPTABLE	1/A-981
TB-C01	ADAPTABLE	1/A-981
TB-C02	ADAPTABLE	10/A-981
TB-C10	ADAPTABLE	1/A-984

KITCHENS	
NAME	DETAIL DRAWINGS
KIT-A	1/A-950
KIT-B / LIVING / DINING	5/A-950
KIT-C / LIVING / DINING	1/A-951
KIT-D	7/A-951



EGRESS AND FIRE RATING LEGEND

---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
---	TWO HOUR RATED PARTITION	---	DEAD END
---	THREE HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE
---	FOUR HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
---	NON RATED SMOKE SEPARATION		

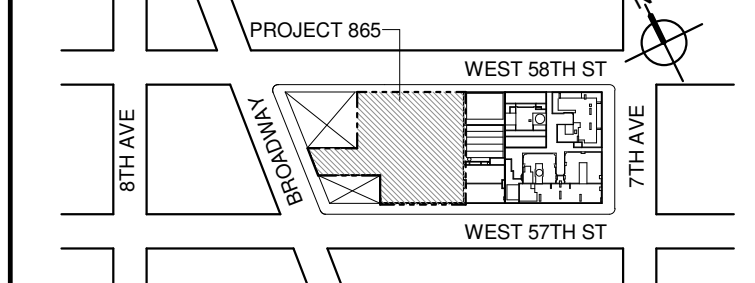
SYMBOLS LEGEND

ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN	FEC FIRE EXTINGUISHER CABINET	SMOKE DETECTOR
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER HEAD (REFER TO FP DRAWINGS)	SMOKE / CARBON MONOXIDE DETECTOR
WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	ILLUMINATED NO EXIT SIGN	SPRINKLER RISER	CEILING MOUNTED EMERGENCY LIGHT
ILLUMINATED EXIT SIGN	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SIAMESE CONNECTION	WALL MOUNTED EMERGENCY LIGHT
			DOOR RATING (MINUTES)

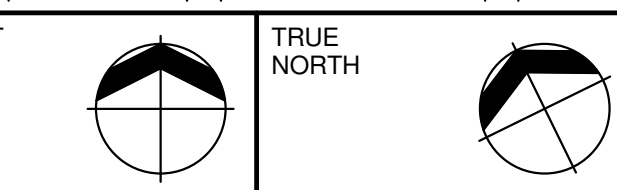
SYMBOLS LEGEND

REVERSIBLE DOOR SWING
STACKED W/D TO BE REPLACED BY ACCESSIBLE COMBINATION UNIT AT REQUEST OF DWELLING UNIT OWNER
MECHANICAL UNIT

KEY PLAN:



PROJECT NORTH



DEVELOPER:

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 17TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

ARCHITECT OF RECORD: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 West 37th Street, 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

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228 EAST 46th Street
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TEL: 212 687 9888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
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New York, NY 10036 USA
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11 Hanover Square, 16th Floor
New York, NY 10005
TEL: 212 274 9468 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
59 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION:	DATE:
1	CD PROGRESS ISSUE 1	15 OCT 14
2	D.O.B. SUBMISSION	05 DEC 14
3	CD PROGRESS ISSUE 2	19 DEC 14
4	D.O.B. SUBMISSION	18 FEB 15
5	CD PROGRESS ISSUE 3	08 MAR 15
6	D.O.B. SUBMISSION	27 APR 15
7	CD PROGRESS ISSUE 4	01 JUN 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	CD BULLETIN ISSUE - 7	14 SEP 16
13	D.O.B. AMENDMENT 3	03 OCT 16

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Corrections must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:



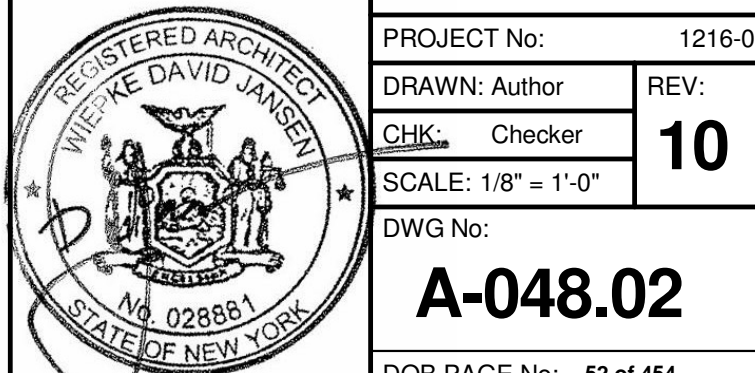
PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

13TH - FLOOR PLAN
BUILDING CODE NOTES
(RESIDENTIAL-TIER 1) (MFD-32ND FLOOR)

SEAL & SIGNATURE:



DOB EMPLOYEE STAMP:

DOB B-SCAN:

OCCUPANT LOADS SUMMARY 14TH - 16TH FLOOR PLAN

OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
SUITE A	R-2	2,425 SF	200 SF	13
SUITE B	R-2	2,553 SF	200 SF	13
SUITE C	R-2	2,380 SF	200 SF	12
SUITE D	R-2	1,854 SF	200 SF	10
SUITE E	R-2	553 SF	200 SF	3
SUITE F	R-2	2,053 SF	200 SF	11
Grand total				62

EXIT STAIR SUMMARY - BC TABLE 1005.1

STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (232)	STAIR LOAD TOTAL (62)
STAIR - A	44"	0.3	146	31
STAIR - B	44"	0.3	146	31

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1

DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (62)
STAIR - A - DOOR	34"	0.2	170	31
STAIR - B - DOOR	34"	0.2	170	31

EXIT STAIR TREADS AND RISERS - BC TABLE 1009

STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.5"	19	59.81"
STAIR - B	9.5"	7.5"	19	74.75"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)

OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
R-2	200'	125'	40'

SUITE EXIT DOOR SUMMARY

DOOR DESIGNATION	DOOR WIDTH (IN)
SUITE A DOOR	36"
SUITE B DOOR	36"
SUITE C DOOR	36"
SUITE D DOOR	36"
SUITE E DOOR	36"
SUITE F DOOR	36"

MULTI DWELLING LAW

SECTION 103.1 (b) EGRESS FROM APARTMENT
MAXIMUM TRAVEL DISTANCE TO MEANS OF EGRESS
FROM ANY ROOM WITHIN APARTMENT

50'

LIGHT & AIR CALCULATION 14TH - 16TH FLOOR

Room Name	Floor Area	LIGHT REQUIREMENT <BC-1205>				AIR REQUIREMENT <BC-1203>			
		REQ'D % of Light	# of Curtain % of Wall Panels (5' typ.)**	PROVIDED Natural Light	% of Natural Light	REQ'D % of Air	PROVIDED Natural Ventilating Openings	% of Natural Air	
SUITE A									
BEDROOM 2	151 SF	10%	3.0	75.00 SF	49.58%	5%	1	12.18 SF	8.05%
BEDROOM 3	148 SF	10%	1.5	37.50 SF	25.15%	5%	1	12.18 SF	8.17%
KIT-A	113 SF	10%	1.0	25.00 SF	22.10%	5%	1	12.18 SF	10.77%
LIVING ROOM	435 SF	10%	4.0	100.00 SF	22.98%	5%	2	24.36 SF	5.60%
MASTER BEDROOM	217 SF	10%	4.0	100.00 SF	46.06%	5%	2	24.36 SF	11.22%
SUITE B									
BEDROOM 2	151 SF	10%	2.0	50.00 SF	33.04%	5%	1	12.18 SF	8.05%
BEDROOM 3	165 SF	10%	2.0	50.00 SF	30.21%	5%	1	12.18 SF	7.36%
KIT-B / LIVING / DINING	638 SF	10%	4.0	100.00 SF	15.69%	2.5%	2	24.36 SF	3.82%
MASTER BEDROOM	199 SF	10%	2.0	50.00 SF	25.12%	5%	1	12.18 SF	6.12%
SUITE C									
BEDROOM 2	155 SF	10%	2.0	50.00 SF	32.22%	5%	1	12.18 SF	7.85%
BEDROOM 3	145 SF	10%	2.0	50.00 SF	34.40%	5%	1	12.18 SF	8.38%
KIT-C / LIVING / DINING	576 SF	10%	6.0	150.00 SF	26.03%	5%	3	36.54 SF	6.34%
MASTER BEDROOM	212 SF	10%	3.0	75.00 SF	35.45%	5%	1	12.18 SF	5.76%
SUITE D									
BEDROOM 2	148 SF	10%	1.0	25.00 SF	16.86%	5%	1	12.18 SF	8.22%
KIT-D	77 SF	10%							
LIVING/DINING	336 SF	10%	6.0	150.00 SF	44.67%	5%	2	24.36 SF	7.25%
MASTER BEDROOM	205 SF	10%	3.0	75.00 SF	36.57%	5%	1	12.18 SF	5.94%
SUITE E									
BEDROOM 3	151 SF	10%	2.0	50.00 SF	33.22%	5%	1	12.18 SF	8.09%
KIT-E	47 SF	10%							
SUITE F									
BEDROOM 2	160 SF	10%	1.0	25.00 SF	15.65%	5%	1	12.18 SF	7.63%
KIT-F	137 SF	10%	2.0	50.00 SF	36.48%	5%	1	12.18 SF	8.89%
LIVING / DINING	477 SF	10%	5.5	137.50 SF	28.80%	5%	3	36.54 SF	7.65%
MASTER BEDROOM	201 SF	10%	2.0	50.00 SF	24.83%	5%	1	12.18 SF	6.05%

*AREA OF VENTILATING OPENING / UNIT: 12.18 SF

**AREA OF NATURAL LIGHT SOURCES: 25.00 SF
(BASED ON THE MINIMUM AREA PROVIDED FROM 5'-0" MODULE W/ SPLIT MULLION)

*** 2.5% AIR IS REQUIRED PER BC 1203.4.1.2.1 EXCEPTION 1

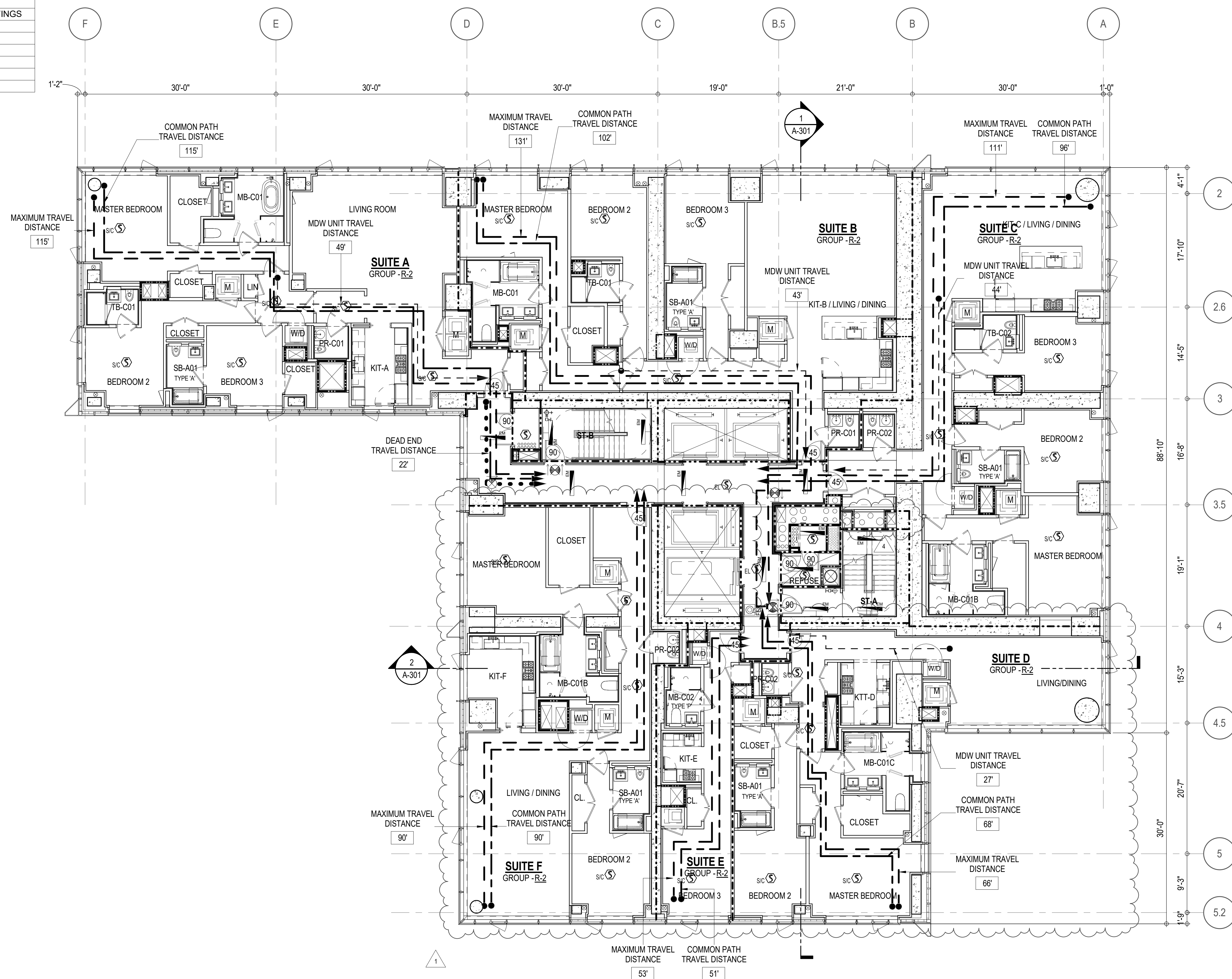
RESTROOM TYPES

NAME	TYPE	DETAIL DRAWINGS
MB-C01	ADAPTABLE	1/A-973
MB-C01	ADAPTABLE	1/A-973
MB-C01B	ADAPTABLE	1/A-979
MB-C01B	ADAPTABLE	1/A-979
MB-C01C	ADAPTABLE	7/A-979
MB-C02	(P*)	10/A-973
PR-C01	ADAPTABLE	1/A-988
PR-C01	ADAPTABLE	1/A-988
PR-C02	ADAPTABLE	6/A-988
PR-C02	ADAPTABLE	6/A-988
PR-C02	ADAPTABLE	6/A-988
SB-A01	A	1/A-970
SB-A01	A	1/A-970
SB-A01	A	1/A-970
SB-A01	A	1/A-970
TB-C01	ADAPTABLE	1/A-981
TB-C01	ADAPTABLE	1/A-981
TB-C02	ADAPTABLE	10/A-981

*APPENDIX 11 BATHROOM OF THE NEW YORK BUILDING CODE

KITCHENS

NAME	DETAIL DRAWINGS
KIT-A	1/A-950
KIT-B / LIVING / DINING	5/A-950
KIT-C / LIVING / DINING	1/A-951
KIT-E	14/A-952
KIT-F	4/A-952
KIT-D	7/A-951



EGRESS AND FIRE RATING LEGEND

---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
---	TWO HOUR RATED PARTITION	---	DEAD END
---	THREE HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE
---	FOUR HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
---	NON RATED SMOKE SEPARATION		

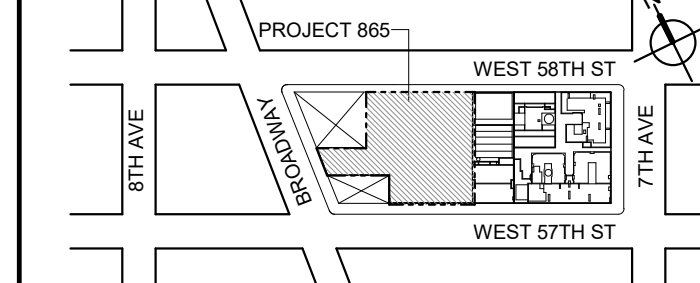
SYMBOLS LEGEND

⊙	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	⊙	WALL MOUNTED ILLUMINATED NO EXIT SIGN	⊙	FEC FIRE EXTINGUISHER CABINET	⊙	SMOKE DETECTOR
⊙	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	⊙	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	⊙	SPRINKLER HEAD (REFER TO FP DRAWINGS)	⊙	SMOKE / CARBON MONOXIDE DETECTOR
⊙	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	⊙	ILLUMINATED NO EXIT SIGN	⊙	SPRINKLER RISER	⊙	CEILING MOUNTED EMERGENCY LIGHT
⊙	ILLUMINATED EXIT SIGN	⊙	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	⊙	SIAMESE CONNECTION	⊙	WALL MOUNTED EMERGENCY LIGHT

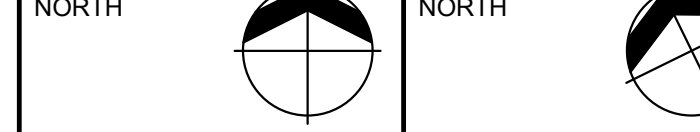
SYMBOLS LEGEND

↔	REVERSIBLE DOOR SWING
WD	STACKED WID TO BE REPLACED BY ACCESSIBLE COMBINATION UNIT AT REQUEST OF DWELLING UNIT OWNER
M	MECHANICAL UNIT

KEY PLAN



PROJECT NORTH



DEVELOPER:

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 1TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

ARCHITECT OF RECORD: Base Building Shell & Core

AAI ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 867 1500 FAX: 416 867 7150

STRUCTURAL ENGINEERS:

WSP CANTOR SENUK
228 EAST 46th Street
New York, NY 10017 USA
TEL: 212 687 9888 FAX: 646 487 5501

MEP ENGINEERS:

AKF GROUP
1501 Broadway
New York, NY 10036 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:

Langan Engineering & Environmental Services
21 Fern Plaza - 380 West 31st Street, 8th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:

Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1816 FAX: 212 385 1911

CURTAINWALL CONSULTANT:

AJLP Consulting
40 Worth Street, Suite 828
New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:

Higgins Quasbarth & Partners LLC
11 Hanover Square, 16th Floor
New York, NY 10005
TEL: 212 274 9498 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:

Jan Hird Pokorny Associates, Inc.
50 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION:	DATE:
1	D.O.B. AMENDMENT 2	21 SEP 15
1	CD PROGRESS ISSUE 6	02 NOV 15
2	CD PROGRESS ISSUE 7	29 JAN 16
3	CD ISSUE 8 - GMP SET	31 MAR 16
4	CD BULLETIN ISSUE - 7	14 SEP 16
	D.O.B. AMENDMENT 3	03 OCT 16

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:



PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

14TH - 16TH FLOOR PLAN
BUILDING CODE NOTES
(RESIDENTIAL-TIER 1)
(MFD-33RD-3TH FLOOR)

SEAL & SIGNATURE:

DATE:	21 SEP 15
PROJECT No:	1216-00
DRAWN: Author	REV:
CHECK: Checker	4
SCALE: 1/8" = 1'-0"	
DWG No:	
A-049.02	

DOB EMPLOYEE STAMP:

DOB PAGE No: 53 of 454 DOB B-SCAN:

OCCUPANT LOADS SUMMARY 17TH - 18TH FLOOR PLAN

OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
SUITE A	R-2	2,412 SF	200 SF	13
SUITE B	R-2	2,533 SF	200 SF	13
SUITE C	R-2	2,381 SF	200 SF	12
SUITE D	R-2	1,833 SF	200 SF	10
SUITE E	R-2	557 SF	200 SF	3
SUITE F	R-2	2,050 SF	200 SF	11
Grand total				62

EXIT STAIR SUMMARY - BC TABLE 1005.1

STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (232)	STAIR LOAD TOTAL (62)
STAIR - A	44"	0.3	146	31
STAIR - B	44"	0.3	146	31

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1

DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (62)
STAIR - A - DOOR	34"	0.2	170	31
STAIR - B - DOOR	34"	0.2	170	31

EXIT STAIR TREADS AND RISERS - BC TABLE 1009

STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.7"	19	59.81"
STAIR - B	9.5"	7.5"	19	74.75"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)

OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
R-2	200'	125'	40'

SUITE EXIT DOOR SUMMARY

DOOR DESIGNATION	DOOR WIDTH (IN)
SUITE A DOOR	36"
SUITE B DOOR	36"
SUITE C DOOR	36"
SUITE D DOOR	36"
SUITE E DOOR	36"
SUITE F DOOR	36"

MULTI DWELLING LAW

SECTION 103.1 (b) EGRESS FROM APARTMENT
MAXIMUM TRAVEL DISTANCE TO MEANS OF EGRESS
FROM ANY ROOM WITHIN APARTMENT

50'

LIGHT & AIR CALCULATION 17TH - 18TH FLOOR

Room Name	Floor Area	REQ'D % of Light	# of Curtain % of Wall Panels (5' typ.)**	LIGHT REQUIREMENT <BC-1205> PROVIDED Natural Light			REQ'D % of Air	AIR REQUIREMENT <BC-1203> PROVIDED Natural Ventilating Openings		
				Area of Vision Glass	% of Natural Light	% of Natural Light		# of Operable Windows*	Area of Ventilating Openings	% of Natural Air
SUITE A										
BEDROOM 2	151 SF	10%	3.0	75.00 SF	49.58%	5%	5%	1	12.18 SF	8.05%
BEDROOM 3	150 SF	10%	1.5	37.50 SF	24.94%	5%	5%	1	12.18 SF	8.10%
KIT-A	113 SF	10%	1.0	25.00 SF	22.10%	5%	5%	1	12.18 SF	10.77%
LIVING ROOM	436 SF	10%	4.0	100.00 SF	22.92%	5%	5%	2	24.36 SF	5.58%
MASTER BEDROOM	217 SF	10%	4.0	100.00 SF	46.06%	5%	5%	2	24.36 SF	11.22%
SUITE B										
BEDROOM 2	153 SF	10%	2.0	50.00 SF	32.66%	5%	5%	1	12.18 SF	7.96%
BEDROOM 3	167 SF	10%	2.0	50.00 SF	29.97%	5%	5%	1	12.18 SF	7.30%
KIT-B / LIVING / DINING	639 SF	10%	4.0	100.00 SF	15.64%	2.5%	5%	2	24.36 SF	3.81%
MASTER BEDROOM	200 SF	10%	2.0	50.00 SF	25.01%	5%	5%	1	12.18 SF	6.09%
SUITE C										
BEDROOM 2	168 SF	10%	2.0	50.00 SF	29.78%	5%	5%	1	12.18 SF	7.26%
BEDROOM 3	154 SF	10%	2.0	50.00 SF	32.37%	5%	5%	1	12.18 SF	7.88%
KIT-C / LIVING / DINING	578 SF	10%	6.0	150.00 SF	25.97%	5%	5%	3	36.54 SF	6.33%
MASTER BEDROOM	212 SF	10%	3.0	75.00 SF	35.45%	5%	5%	1	12.18 SF	5.76%
SUITE D										
BEDROOM 2	139 SF	10%	1.0	25.00 SF	17.98%	5%	5%	1	12.18 SF	8.76%
KIT-D	77 SF	10%								
LIVING/DINING	336 SF	10%	6.0	150.00 SF	44.67%	5%	5%	2	24.36 SF	7.25%
MASTER BEDROOM	208 SF	10%	3.0	75.00 SF	36.10%	5%	5%	1	12.18 SF	5.86%
SUITE E										
BEDROOM 3	147 SF	10%	2.0	50.00 SF	33.97%	5%	5%	1	12.18 SF	8.28%
KIT-E	46 SF	10%								
SUITE F										
BEDROOM 2	159 SF	10%	1.0	25.00 SF	15.74%	5%	5%	1	12.18 SF	7.67%
KIT-F	138 SF	10%	2.0	50.00 SF	36.14%	5%	5%	1	12.18 SF	8.80%
LIVING / DINING	478 SF	10%	5.5	137.50 SF	28.77%	5%	5%	3	36.54 SF	7.65%
MASTER BEDROOM	202 SF	10%	2.0	50.00 SF	24.73%	5%	5%	1	12.18 SF	6.02%

*AREA OF VENTILATING OPENING / UNIT: 12.18 SF

**AREA OF NATURAL LIGHT SOURCES: 25.00 SF
(BASED ON THE MINIMUM AREA PROVIDED FROM 5'-0" MODULE W/ SPLIT MULLION)

*** 2.5% AIR IS REQUIRED PER BC 1203.4.1.2.1 EXCEPTION 1

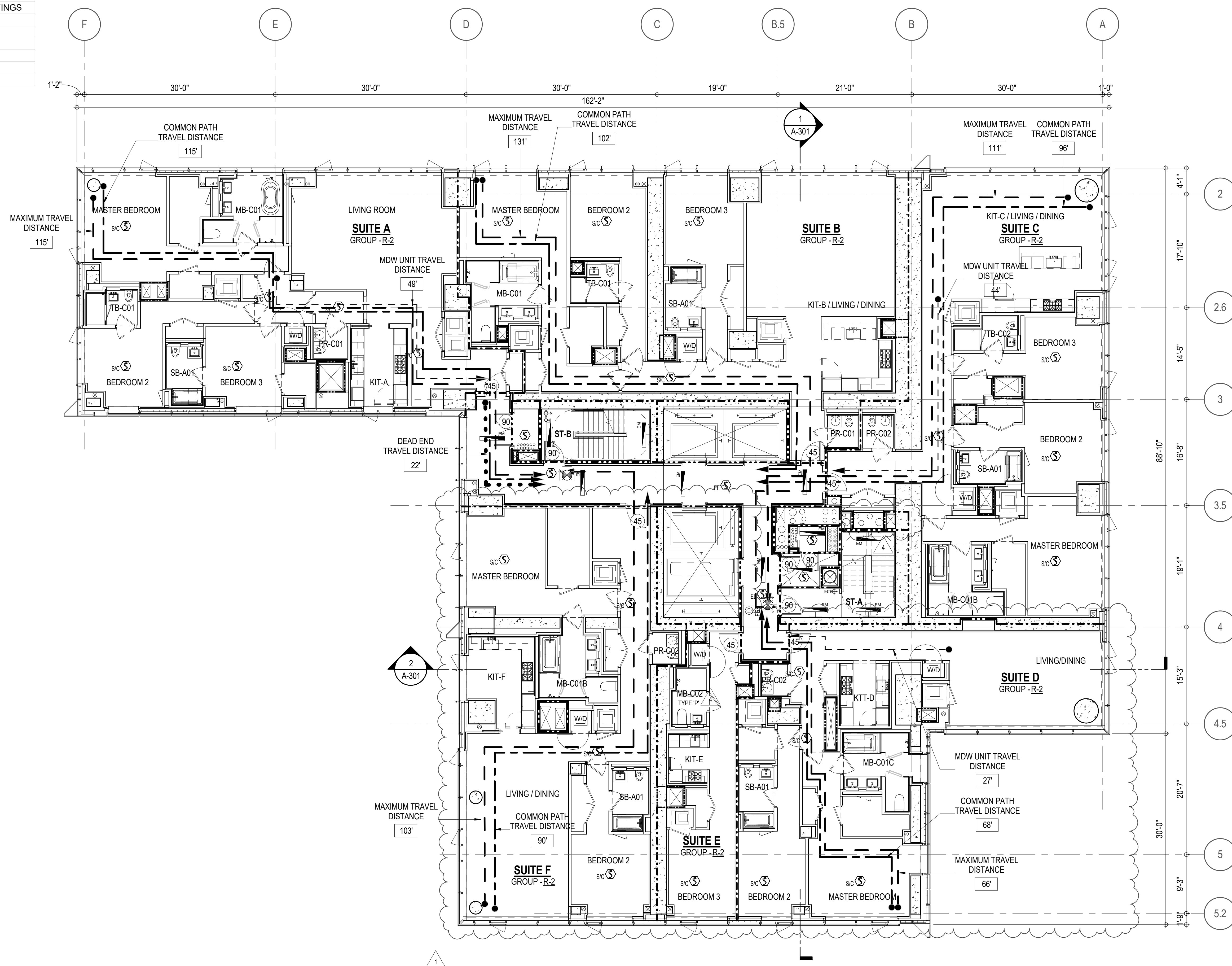
RESTROOM TYPES

NAME	TYPE	DETAIL DRAWINGS
MB-C01	ADAPTABLE	1/A-973
MB-C01	ADAPTABLE	1/A-973
MB-C01B	ADAPTABLE	1/A-979
MB-C01B	ADAPTABLE	1/A-979
MB-C01C	ADAPTABLE	7/A-979
MB-C02	(P*)	10/A-973
PR-C01	ADAPTABLE	1/A-988
PR-C01	ADAPTABLE	1/A-988
PR-C02	ADAPTABLE	6/A-988
PR-C02	ADAPTABLE	6/A-988
PR-C02	ADAPTABLE	6/A-988
SB-A01	A	1/A-970
SB-A01	A	1/A-970
SB-A01	A	1/A-970
SB-A01	A	1/A-970
SB-A01	A	1/A-970
TB-C01	ADAPTABLE	1/A-981
TB-C01	ADAPTABLE	1/A-981
TB-C02	ADAPTABLE	10/A-981

*APPENDIX 11 BATHROOM OF THE NEW YORK BUILDING CODE

KITCHENS

NAME	DETAIL DRAWINGS
KIT-A	1/A-950
KIT-B / LIVING / DINING	5/A-950
KIT-C / LIVING / DINING	1/A-951
KIT-E	14/A-952
KIT-F	4/A-952
KIT-D	7/A-951



EGRESS AND FIRE RATING LEGEND

---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
---	TWO HOUR RATED PARTITION	---	DEAD END
---	THREE HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE
---	FOUR HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
---	NON RATED SMOKE SEPARATION		

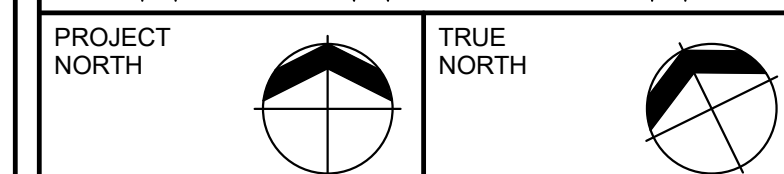
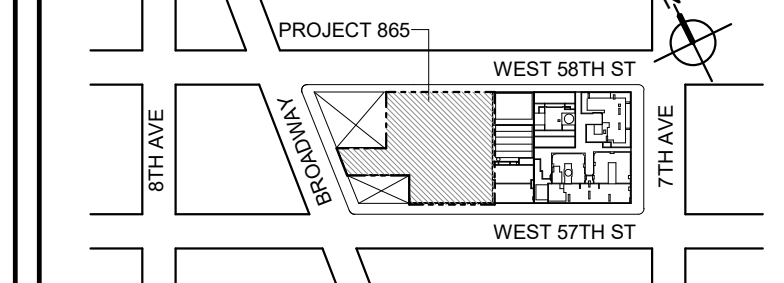
SYMBOLS LEGEND

⬡	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	⬡	WALL MOUNTED ILLUMINATED NO EXIT SIGN	●	FEC FIRE EXTINGUISHER CABINET	⬡	SMOKE DETECTOR
⬡	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	⬡	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	●	SPRINKLER HEAD (REFER TO FP DRAWINGS)	⬡	SMOKE / CARBON MONOXIDE DETECTOR
⬡	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	⬡	ILLUMINATED NO EXIT SIGN	●	SPRINKLER RISER	⬡	CEILING MOUNTED EMERGENCY LIGHT
⬡	ILLUMINATED EXIT SIGN	⬡	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	●	SIAMESE CONNECTION	⬡	WALL MOUNTED EMERGENCY LIGHT

SYMBOLS LEGEND

⬡	REVERSIBLE DOOR SWING
⬡	STACKED W/D TO BE REPLACED BY ACCESSIBLE COMBINATION UNIT AT REQUEST OF DWELLING UNIT OWNER
⬡	MECHANICAL UNIT

KEY PLAN



DEVELOPER:

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 17TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

ARCHITECT OF RECORD: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 867 1500 FAX: 416 867 7150

STRUCTURAL ENGINEERS:
WSP CANTOR SENUK
228 EAST 46th Street
New York, NY 10017 USA
TEL: 212 687 9888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
1501 Broadway
New York, NY 10036 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Fern Plaza - 380 West 31st Street, 8th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1816 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 828
New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Higgins Quasbarth & Partners LLC
11 Hanover Square, 16th Floor
New York, NY 10005
TEL: 212 274 9458 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
50 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION:	DATE:
1	D.O.B. AMENDMENT 2	21 SEP 15
1	CD PROGRESS ISSUE 6	02 NOV 15
2	CD PROGRESS ISSUE 7	29 JAN 16
3	CD ISSUE 8 - GMP SET	31 MAR 16
4	CD BULLETIN ISSUE - 7	14 SEP 16
	D.O.B. AMENDMENT 3	03 OCT 16

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:



PROJECT:
**217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE:
**17TH - 18TH FLOOR PLAN
BUILDING CODE NOTES
(RESIDENTIAL-TIER 1)
(MFD-36TH-37TH FLOOR)**

SEAL & SIGNATURE: DATE: 21 SEP 15

PROJECT No: 1216-00

DRAWN: Author REV: 4

CHECKED: Checker

SCALE: 1/8" = 1'-0"

DWG No: A-050.02

DOB PAGE No: 54 of 154

DOB EMPLOYEE STAMP: DOB B-SCAN:

OCCUPANT LOADS SUMMARY 19TH FLOOR PLAN

OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
SUITE A	R-2	2,426 SF	200 SF	13
SUITE B	R-2	2,552 SF	200 SF	13
SUITE C	R-2	2,374 SF	200 SF	12
SUITE D	R-2	1,841 SF	200 SF	10
SUITE E	R-2	547 SF	200 SF	3
SUITE F	R-2	2,051 SF	200 SF	11
Grand total				62

EXIT STAIR SUMMARY - BC TABLE 1005.1

STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (232)	STAIR LOAD TOTAL (62)
STAIR - A	44"	0.3	146	31
STAIR - B	44"	0.3	146	31

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1

DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (62)
STAIR - A - DOOR	34"	0.2	170	31
STAIR - B - DOOR	34"	0.2	170	31

EXIT STAIR TREADS AND RISERS - BC TABLE 1009

STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.5"	19	59.81"
STAIR - B	9.5"	7.5"	19	74.75"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)

OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
R-2	200'	125'	40'

SUITE EXIT DOOR SUMMARY

DOOR DESIGNATION	DOOR WIDTH (IN)
SUITE A DOOR	36"
SUITE B DOOR	36"
SUITE C DOOR	36"
SUITE D DOOR	36"
SUITE E DOOR	36"
SUITE F DOOR	36"

MULTI DWELLING LAW

SECTION 103.1 (b) EGRESS FROM APARTMENT
MAXIMUM TRAVEL DISTANCE TO MEANS OF EGRESS
FROM ANY ROOM WITHIN APARTMENT

50'

LIGHT & AIR CALCULATION 19TH FLOOR

Room Name	Floor Area	LIGHT REQUIREMENT <BC-1205>				AIR REQUIREMENT <BC-1203>			
		REQ'D % of Light	# of Curtain % of Wall Panels (5' typ)**	PROVIDED Natural Light Area of Vision Glass	% of Natural Light	REQ'D % of Air	# of Operable Windows*	PROVIDED Natural Ventilating Openings Area of Ventilating Openings	% of Natural Air
SUITE A									
BEDROOM 2	149 SF	10%	3.0	85.50 SF	57.43%	5%	1	13.64 SF	9.16%
BEDROOM 3	150 SF	10%	1.5	42.75 SF	28.57%	5%	1	13.64 SF	9.12%
KIT-A	112 SF	10%	1.0	28.50 SF	25.48%	5%	1	13.64 SF	12.19%
LIVING ROOM	437 SF	10%	4.0	114.00 SF	26.10%	5%	2	27.28 SF	6.25%
MASTER BEDROOM	219 SF	10%	4.0	114.00 SF	52.07%	5%	2	27.28 SF	12.46%
SUITE B									
BEDROOM 2	153 SF	10%	2.0	57.00 SF	37.23%	5%	1	13.64 SF	8.91%
BEDROOM 3	167 SF	10%	2.0	57.00 SF	34.18%	5%	1	13.64 SF	8.18%
KIT-B / LIVING / DINING	634 SF	10%	4.0	114.00 SF	17.98%	2.5%	2	27.28 SF	4.30%
MASTER BEDROOM	200 SF	10%	2.0	57.00 SF	28.51%	5%	1	13.64 SF	6.82%
SUITE C									
BEDROOM 2	169 SF	10%	2.0	57.00 SF	33.77%	5%	1	13.64 SF	8.08%
BEDROOM 3	156 SF	10%	2.0	57.00 SF	36.64%	5%	1	13.64 SF	8.77%
KIT-C / LIVING / DINING	576 SF	10%	6.0	171.00 SF	29.68%	5%	3	40.92 SF	7.10%
MASTER BEDROOM	210 SF	10%	3.0	85.50 SF	40.65%	5%	1	13.64 SF	6.49%
SUITE D									
BEDROOM 2	139 SF	10%	1.0	28.50 SF	20.50%	5%	1	13.64 SF	9.81%
KIT-D	77 SF	10%							
LIVING/DINING	359 SF	10%	6.0	171.00 SF	47.59%	5%	2	27.28 SF	7.59%
MASTER BEDROOM	208 SF	10%	3.0	85.50 SF	41.15%	5%	1	13.64 SF	6.57%
SUITE E									
BEDROOM 3	140 SF	10%	2.0	57.00 SF	40.82%	5%	1	13.64 SF	9.77%
KIT-E	47 SF	10%							
SUITE F									
BEDROOM 2	156 SF	10%	1.0	28.50 SF	18.31%	5%	1	13.64 SF	8.76%
KIT-F	137 SF	10%	2.0	57.00 SF	41.59%	5%	1	13.64 SF	9.35%
LIVING / DINING	475 SF	10%	5.5	156.75 SF	32.99%	5%	3	40.92 SF	8.61%
MASTER BEDROOM	201 SF	10%	2.0	57.00 SF	28.31%	5%	1	13.64 SF	6.77%

*AREA OF VENTILATING OPENING / UNIT: 13.64 SF

**AREA OF NATURAL LIGHT SOURCES: 28.50 SF
(BASED ON THE MINIMUM AREA PROVIDED FROM 5'-0" MODULE W/ SPLIT MULLION)

*** 2.5% AIR IS REQUIRED PER BC 1203.4.1.2.1 EXCEPTION 1

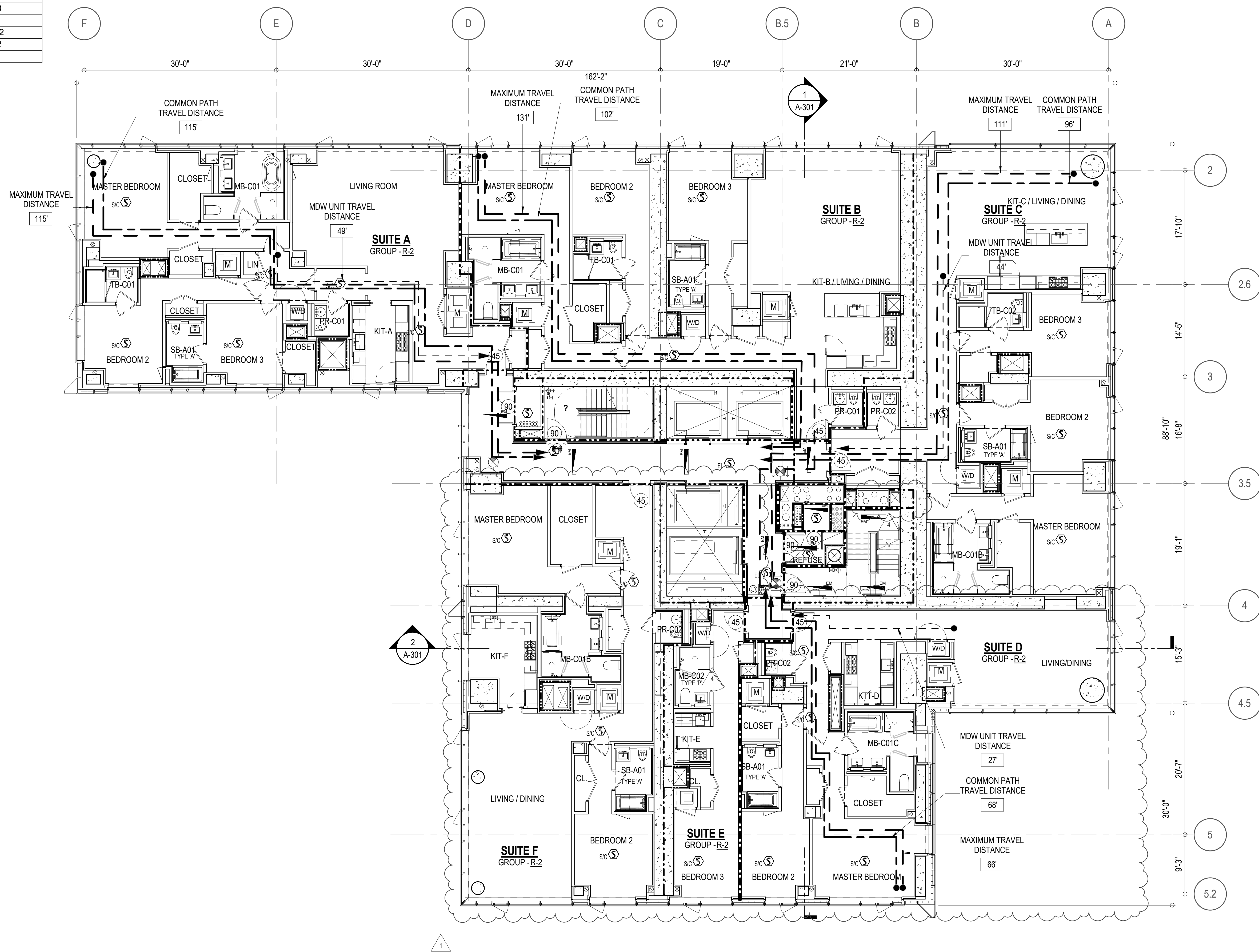
RESTROOM TYPES

NAME	TYPE	DETAIL DRAWINGS
MB-C01	ADAPTABLE	1/A-973
MB-C01	ADAPTABLE	1/A-973
MB-C01B	ADAPTABLE	1/A-979
MB-C01B	ADAPTABLE	1/A-979
MB-C01C	ADAPTABLE	7/A-979
MB-C02	(P*)	10/A-973
PR-C01	ADAPTABLE	1/A-988
PR-C01	ADAPTABLE	1/A-988
PR-C02	ADAPTABLE	6/A-988
PR-C02	ADAPTABLE	6/A-988
SB-A01	A	1/A-970
SB-A01	A	1/A-970
SB-A01	A	1/A-970
SB-A01	A	1/A-970
TB-C01	ADAPTABLE	1/A-981
TB-C01	ADAPTABLE	1/A-981
TB-C02	ADAPTABLE	10/A-981

*APPENDIX 11 BATHROOM OF THE NEW YORK BUILDING CODE

KITCHENS

NAME	DETAIL DRAWINGS
KIT-A	1/A-950
KIT-B / LIVING / DINING	5/A-950
KIT-C / LIVING / DINING	1/A-951
KIT-E	1/A-952
KIT-F	4/A-952
KIT-D	7/A-951



EGRESS AND FIRE RATING LEGEND

---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
---	TWO HOUR RATED PARTITION	---	DEAD END
---	THREE HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE
---	FOUR HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
---	NON RATED SMOKE SEPARATION		

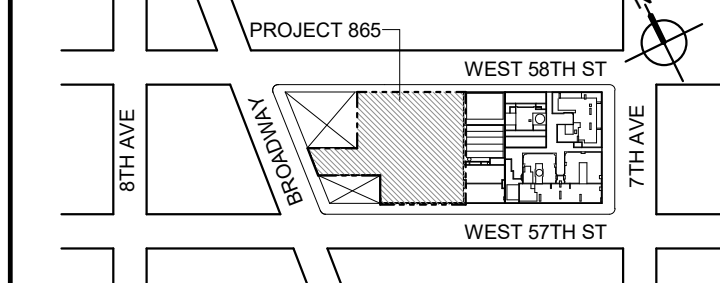
SYMBOLS LEGEND

☼	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	⊠	WALL MOUNTED ILLUMINATED NO EXIT SIGN	●	FEC FIRE EXTINGUISHER CABINET	☼	SMOKE DETECTOR
☼	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	⊠	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	●	SPRINKLER HEAD (REFER TO FP DRAWINGS)	☼	SMOKE / CARBON MONOXIDE DETECTOR
☼	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	⊠	ILLUMINATED NO EXIT SIGN	●	SPRINKLER RISER	☼	CEILING MOUNTED EMERGENCY LIGHT
☼	ILLUMINATED EXIT SIGN	⊠	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	●	SIAMESE CONNECTION	☼	WALL MOUNTED EMERGENCY LIGHT

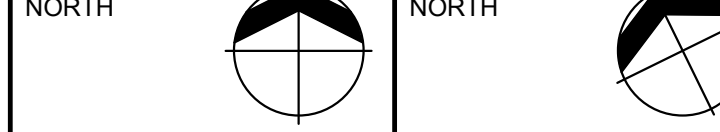
SYMBOLS LEGEND

↔	REVERSIBLE DOOR SWING
WD	STACKED WID TO BE REPLACED BY ACCESSIBLE COMBINATION UNIT AT REQUEST OF DWELLING UNIT OWNER
M	MECHANICAL UNIT

KEY PLAN



PROJECT NORTH



DEVELOPER:

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 11TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

ARCHITECT OF RECORD: Base Building Shell & Core

AAI ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 867 1500 FAX: 416 867 1750

STRUCTURAL ENGINEERS:

WSP CANTOR SENUK
228 EAST 46th Street
New York, NY 10017 USA
TEL: 212 687 9888 FAX: 646 487 5501

MEP ENGINEERS:

AKF GROUP
1501 Broadway
New York, NY 10036 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:

Langan Engineering & Environmental Services
21 Fern Plaza - 380 West 31st Street, 8th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:

Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1816 FAX: 212 385 1911

CURTAINWALL CONSULTANT:

AJLP Consulting
40 Worth Street, Suite 828
New York, NY 10013
TEL: 212 757 6659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:

Higgins Quasbarth & Partners LLC
11 Hanover Square, 16th Floor
New York, NY 10005
TEL: 212 274 9458 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:

Jan Hird Pokorny Associates, Inc.
50 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION:	DATE:
	D.O.B. AMENDMENT 2	21 SEP 15
1	CD PROGRESS ISSUE 6	02 NOV 15
2	CD PROGRESS ISSUE 7	29 JAN 16
3	CD ISSUE 8 - GMP SET	31 MAR 16
4	CD BULLETIN ISSUE - 7	14 SEP 16
	D.O.B. AMENDMENT 3	03 OCT 16

D.O.B. SUBMISSION

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ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:



PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

19TH FLOOR PLAN
BUILDING CODE NOTES
(RESIDENTIAL-TIER 1) (MFD-38TH FLOOR)

SEAL & SIGNATURE: DATE: 21 SEP 1502 NOV

PROJECT No: 1216-00

DRAWN: Author REV: 4

CHECK: Checker

SCALE: 1/8" = 1'-0"

DWG No: A-051.02

DOB PAGE No: 55 of 154

DOB EMPLOYEE STAMP: DOB B-SCAN:

OCCUPANT LOADS SUMMARY 20TH FLOOR PLAN

OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
SUITE A	R-2	2,412 SF	200 SF	13
SUITE B	R-2	7,225 SF	200 SF	37
Grand total				50

EXIT STAIR SUMMARY - BC TABLE 1005.1

STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (292)	STAIR LOAD TOTAL (50)
STAIR - A	44"	0.3	146	25
STAIR - B	44"	0.3	146	25

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1

DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (50)
STAIR - A - DOOR	34"	0.2	170	25
STAIR - B - DOOR	34"	0.2	170	25

EXIT STAIR TREADS AND RISERS - BC TABLE 1009

STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.38"	26	51.69"
STAIR - B	9.5"	7.68"	25	69.12"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)

OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
R-2	200'	125'	40'

SUITE EXIT DOOR SUMMARY

DOOR DESIGNATION	DOOR WIDTH (IN)
SUITE A DOOR	36"
SUITE B DOOR 1	36"
SUITE B DOOR 2	36"

MULTI DWELLING LAW
SECTION 103.1 (b) EGRESS FROM APARTMENT
MAXIMUM TRAVEL DISTANCE TO MEANS OF EGRESS FROM ANY ROOM WITHIN APARTMENT
50'

LIGHT & AIR CALCULATION 20TH FLOOR

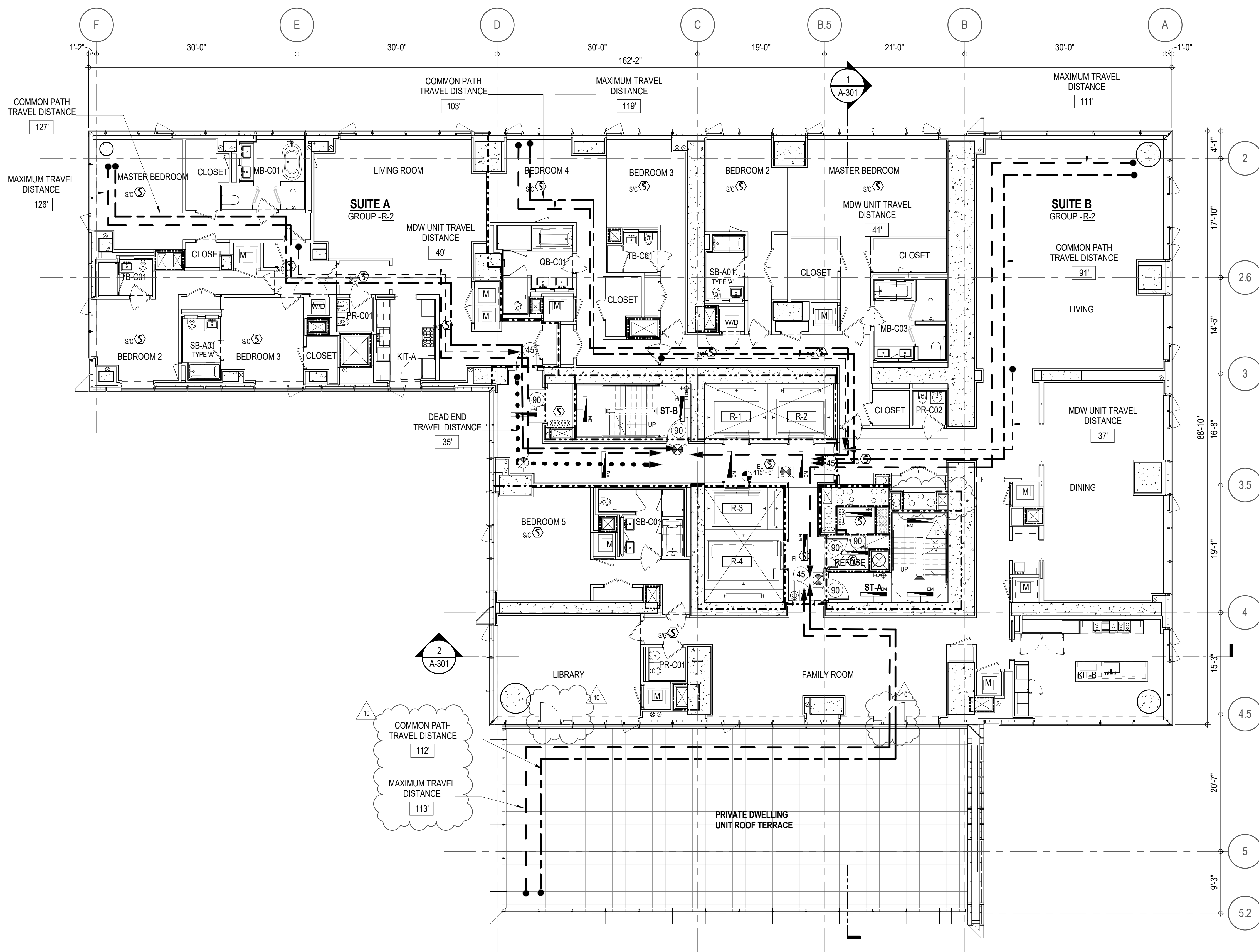
Room Name	Floor Area	LIGHT REQUIREMENT <BC-1205>				AIR REQUIREMENT <BC-1203>				
		PROVIDED Natural Light				PROVIDED Natural Ventilating Openings				
		REQ'D % of Light	# of Curtain Wall Panels (5' typ.)**	Area of Vision Glass	% of Natural Light	REQ'D % of Air	Door Opening Area	# of Operable Windows*	Area of Ventilating Openings	% of Natural Air
SUITE A										
BEDROOM 2	149 SF	10%	3.0	85.50 SF	57.40%	5%	0.00 SF	1	13.64 SF	9.16%
BEDROOM 3	151 SF	10%	1.5	42.75 SF	28.32%	5%	0.00 SF	1	13.64 SF	9.04%
KIT-A	112 SF	10%	1.0	28.50 SF	25.51%	5%	0.00 SF	1	13.64 SF	12.21%
LIVING ROOM	438 SF	10%	4.0	114.00 SF	26.02%	5%	0.00 SF	2	27.28 SF	6.23%
MASTER BEDROOM	220 SF	10%	4.0	114.00 SF	51.91%	5%	0.00 SF	2	27.28 SF	12.42%
SUITE B										
BEDROOM 2	166 SF	10%	2.0	57.00 SF	34.44%	5%	0.00 SF	1	13.64 SF	8.24%
BEDROOM 3	154 SF	10%	2.0	57.00 SF	37.06%	5%	0.00 SF	1	13.64 SF	8.87%
BEDROOM 4	193 SF	10%	2.0	57.00 SF	29.53%	5%	0.00 SF	1	13.64 SF	7.07%
BEDROOM 5	234 SF	10%	3.0	85.50 SF	36.61%	5%	0.00 SF	1	13.64 SF	5.84%
DINING	575 SF	10%	5.0	142.50 SF	24.77%	5%	0.00 SF	3	40.92 SF	7.11%
FAMILY ROOM	513 SF	10%	6.0	171.00 SF	33.36%	5%	20.00 SF	1	33.64 SF	6.56%
KIT-B	335 SF	10%	6.0	171.00 SF	51.05%	5%	0.00 SF	2	27.28 SF	8.14%
LIBRARY	327 SF	10%	5.0	142.50 SF	43.57%	5%	20.00 SF	2	47.28 SF	14.46%
LIVING	956 SF	10%	8.0	228.00 SF	23.85%	5%	0.00 SF	4	54.56 SF	5.71%
MASTER BEDROOM	339 SF	10%	4.0	114.00 SF	33.66%	5%	0.00 SF	2	27.28 SF	8.05%

*AREA OF VENTILATING OPENING / UNIT: 13.64 SF

**AREA OF NATURAL LIGHT SOURCES: 28.50 SF
(BASED ON THE MINIMUM AREA PROVIDED FROM 5'-0" MODULE W/ SPLIT MULLION)

RESTROOM TYPES		
NAME	TYPE	DETAIL DRAWINGS
MB-C01	ADAPTABLE	1/A-973
MB-C03	ADAPTABLE	1/A-974
PR-C01	ADAPTABLE	1/A-988
PR-C01	ADAPTABLE	1/A-988
PR-C02	ADAPTABLE	6/A-988
QB-C01	ADAPTABLE	1/A-985
SB-A01	A	1/A-970
SB-A01	A	1/A-970
SB-C01	ADAPTABLE	1/A-980
TB-C01	ADAPTABLE	1/A-981
TB-C01	ADAPTABLE	1/A-981

KITCHENS		
NAME	DETAIL DRAWINGS	
KIT-A	1/A-950	
KIT-B	7/A-952	



EGRESS AND FIRE RATING LEGEND

---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
----	TWO HOUR RATED PARTITION	----	DEAD END
-----	THREE HOUR RATED PARTITION	-----	MAXIMUM TRAVEL DISTANCE
-----	FOUR HOUR RATED PARTITION	-----	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
-----	NON RATED SMOKE SEPARATION		

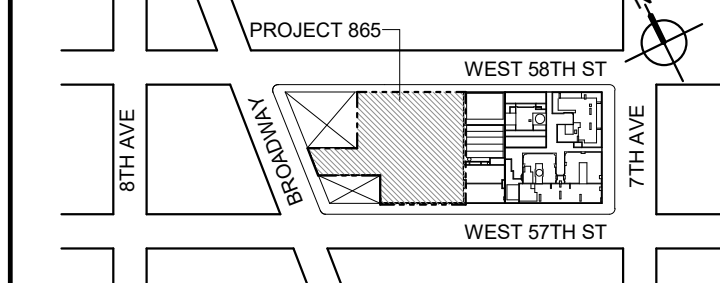
SYMBOLS LEGEND

⬇	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	⬇	WALL MOUNTED ILLUMINATED NO EXIT SIGN	●	FIRE EXTINGUISHER CABINET	⊙	SMOKE DETECTOR
⬆	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	⬆	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	●	SPRINKLER HEAD (REFER TO FP DRAWINGS)	⊙	SMOKE /CARBON MONOXIDE DETECTOR
⬆	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	⬆	ILLUMINATED NO EXIT SIGN	●	SPRINKLER RISER	⊙	WALL MOUNTED EMERGENCY LIGHT
⬆	ILLUMINATED EXIT SIGN	⬆	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	●	SIAMESE CONNECTION	⊙	DOOR RATING (MINUTES)

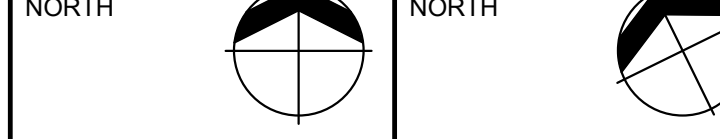
SYMBOLS LEGEND

↔	REVERSIBLE DOOR SWING
W/D	STACKED W/D TO BE REPLACED BY ACCESSIBLE COMBINATION UNIT AT REQUEST OF DWELLING UNIT OWNER
M	MECHANICAL UNIT

KEY PLAN



PROJECT NORTH



DEVELOPER:

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 17TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 West 31st Street, 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 867 1500 FAX: 416 867 1150

ARCHITECT OF RECORD: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 West 31st Street, 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 867 1500 FAX: 416 867 1150

STRUCTURAL ENGINEERS:
WSP CANTOR SENUK
228 EAST 46th Street
New York, NY 10017 USA
TEL: 212 687 9888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
1501 Broadway
New York, NY 10036 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 380 West 31st Street, 8th Floor
New York, NY 10013-2727
TEL: 212 757 5659 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1816 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
A.J.P. Consulting
40 Worth Street, Suite 828
New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Higgins Quasbarth & Partners LLC
11 Hanover Square, 16th Floor
New York, NY 10005
TEL: 212 274 9458 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	D.O.B. SUBMISSION	05 DEC 14
3	CD PROGRESS ISSUE 2	19 DEC 14
4	D.O.B. SUBMISSION	18 FEB 15
5	CD PROGRESS ISSUE 3	08 MAR 15
6	D.O.B. SUBMISSION	27 APR 15
7	CD PROGRESS ISSUE 4	01 JUN 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	CD BULLETIN ISSUE - 5	12 AUG 16
13	D.O.B. AMENDMENT 3	03 OCT 16

0 4'-0" 8'-0" 16'-0"

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:



PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

20TH FLOOR PLAN
BUILDING CODE NOTES
(RESIDENTIAL-TIER 1) (MFD-39TH FLOOR)

SEAL & SIGNATURE:

DATE:	15 OCT 14
PROJECT No:	1216-00
DRAWN: Author	REV:
CHECK: Checker	10
SCALE: 1/8" = 1'-0"	
DWG No:	
DOB PAGE No:	96 of 164
DOB B-SCAN:	

DOB EMPLOYEE STAMP:














DOB B-SCAN:

RESTROOM TYPES		
NAME	TYPE	DETAIL DRAWINGS
MB-C01	ADAPTABLE	1/A-973
MB-C01B	ADAPTABLE	1/A-979
MB-C04	ADAPTABLE	10/A-974
MB-C05	ADAPTABLE	1/A-975
PR-C01	ADAPTABLE	1/A-988
PR-C01	ADAPTABLE	1/A-988
PR-C01	ADAPTABLE	1/A-988
PR-C02	ADAPTABLE	6/A-988
SB-A01	A	1/A-970
SB-A01	A	1/A-970
SB-A01	A	1/A-970
TB-C01	ADAPTABLE	1/A-981
TB-C01	ADAPTABLE	1/A-981
TB-C04	ADAPTABLE	1/A-982




KITCHEN	
NAME	DETAIL DRAWINGS
KIT-A	1/A-950
KIT-B / LIVING / DINING	5/A-950
KIT-C	1/A-953
KIT-D	7/A-953


MULTI DWELLING LAW
SECTION 103.1 (b) EGRESS FROM APARTMENT MAXIMUM TRAVEL DISTANCE TO MEANS OF EGRESS FROM ANY ROOM WITHIN APARTMENT
50'

MAXIMUM DIST.

SYMBOLS LEGEND			
	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		WALL MOUNTED ILLUMINATED NO EXIT SIGN
	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)
	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		ILLUMINATED NO EXIT SIGN
	ILLUMINATED EXIT SIGN		ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)
			FEC FIRE EXTINGUISHER CABINET
			SPRINKLER HEAD (REFER TO
			STANDPIPE
			SPRINKLER RISER
			SIAMESE CONNECTION

SYMBOLS LEGEND

	REVERSIBLE DOOR SWING
	STACKED W/D TO BE REPLACED BY ACCESSIBLE COMBINATION UNIT AT REQUEST OF DWELLING UNIT OWNER
	MECHANICAL UNIT

SEAL & SIGNATURE: 	DATE: 15 OCT 14 PROJECT No: 1216-00 DRAWN: Author CHK: Checker SCALE: 1/8" = 1'-0" DWG No: A-053.02 DOB PAGE No: 57 of 454
DOB EXP. / VESSE. STAMP:	DOB & SCALE:

OCCUPANT LOADS SUMMARY 22ND - 25HT FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
SUITE A	R-2	2,425 SF	200 SF	13
SUITE B	R-2	2,537 SF	200 SF	13
SUITE C	R-2	3,282 SF	200 SF	17
SUITE D	R-2	1,423 SF	200 SF	8
Grand total				51

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (292)	STAIR LOAD TOTAL (51)
STAIR - A	44"	0.3	146	26
STAIR - B	44"	0.3	146	25

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (51)
STAIR - A - DOOR	34"	0.2	170	26
STAIR - B - DOOR	34"	0.2	170	25

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.5"	19	59.81"
STAIR - B	9.5"	7.5"	19	74.75"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
R-2	200'	125'	40'

SUITE EXIT DOOR SUMMARY		MULTI DWELLING LAW SECTION 103.1 (b) EGRESS FROM APARTMENT MAXIMUM TRAVEL DISTANCE TO MEANS OF EGRESS FROM ANY ROOM WITHIN APARTMENT
DOOR DESIGNATION	DOOR WIDTH (IN)	
SUITE A DOOR	36"	
SUITE B DOOR	36"	
SUITE C DOOR	36"	
SUITE D DOOR	36"	

LIGHT & AIR CALCULATION 22ND - 25HT FLOOR									
Room Name	Floor Area	LIGHT REQUIREMENT <BC-1205>				AIR REQUIREMENT <BC-1203>			
		REQ'D % of Light	# of Curtain Wall Panels (5' typ.)*	PROVIDED Natural Light		REQ'D % of Air	PROVIDED Natural Ventilating Openings		
				Area of Vision Glass	% of Natural Light		Area of Ventilating Openings	% of Natural Air	
SUITE A									
BEDROOM 2	150 SF	10%	3.0	75.00 SF	49.94%	5%	1	12.18 SF	8.11%
BEDROOM 3	151 SF	10%	1.5	37.50 SF	24.82%	5%	1	12.18 SF	8.06%
KIT-A	112 SF	10%	1.0	25.00 SF	22.35%	5%	1	12.18 SF	10.89%
LIVING / DINING	438 SF	10%	4.0	100.00 SF	22.84%	5%	2	24.36 SF	5.56%
MASTER BEDROOM	220 SF	10%	4.0	100.00 SF	45.49%	5%	2	24.36 SF	11.08%
SUITE B									
BEDROOM 2	154 SF	10%	2.0	50.00 SF	32.52%	5%	1	12.18 SF	7.92%
BEDROOM 3	167 SF	10%	2.0	50.00 SF	29.95%	5%	1	12.18 SF	7.30%
KIT-B / LIVING / DINING	635 SF	10%	4.0	100.00 SF	15.75%	2.5%	2	24.36 SF	3.84%
MASTER BEDROOM	196 SF	10%	2.0	50.00 SF	25.47%	5%	1	12.18 SF	6.20%
SUITE C									
BEDROOM 2	207 SF	10%	3.0	75.00 SF	36.19%	5%	1	12.18 SF	5.88%
BEDROOM 3	177 SF	10%	2.0	50.00 SF	28.20%	5%	1	12.18 SF	6.87%
KIT-C	240 SF	10%	3.0	75.00 SF	31.30%	5%	1	12.18 SF	5.08%
LIVING / DINING	620 SF	10%	6.0	150.00 SF	24.17%	5%	3	36.54 SF	5.89%
MASTER BEDROOM	295 SF	10%	5.0	125.00 SF	42.43%	5%	2	24.36 SF	8.27%
SUITE D									
KIT-D	101 SF	10%	3.0	75.00 SF	74.42%	5%	1	12.18 SF	12.09%
LIVING ROOM	331 SF	10%	5.0	125.00 SF	37.82%	5%	2	24.36 SF	7.37%
MASTER BEDROOM	189 SF	10%	3.0	75.00 SF	39.65%	5%	1	12.18 SF	6.44%

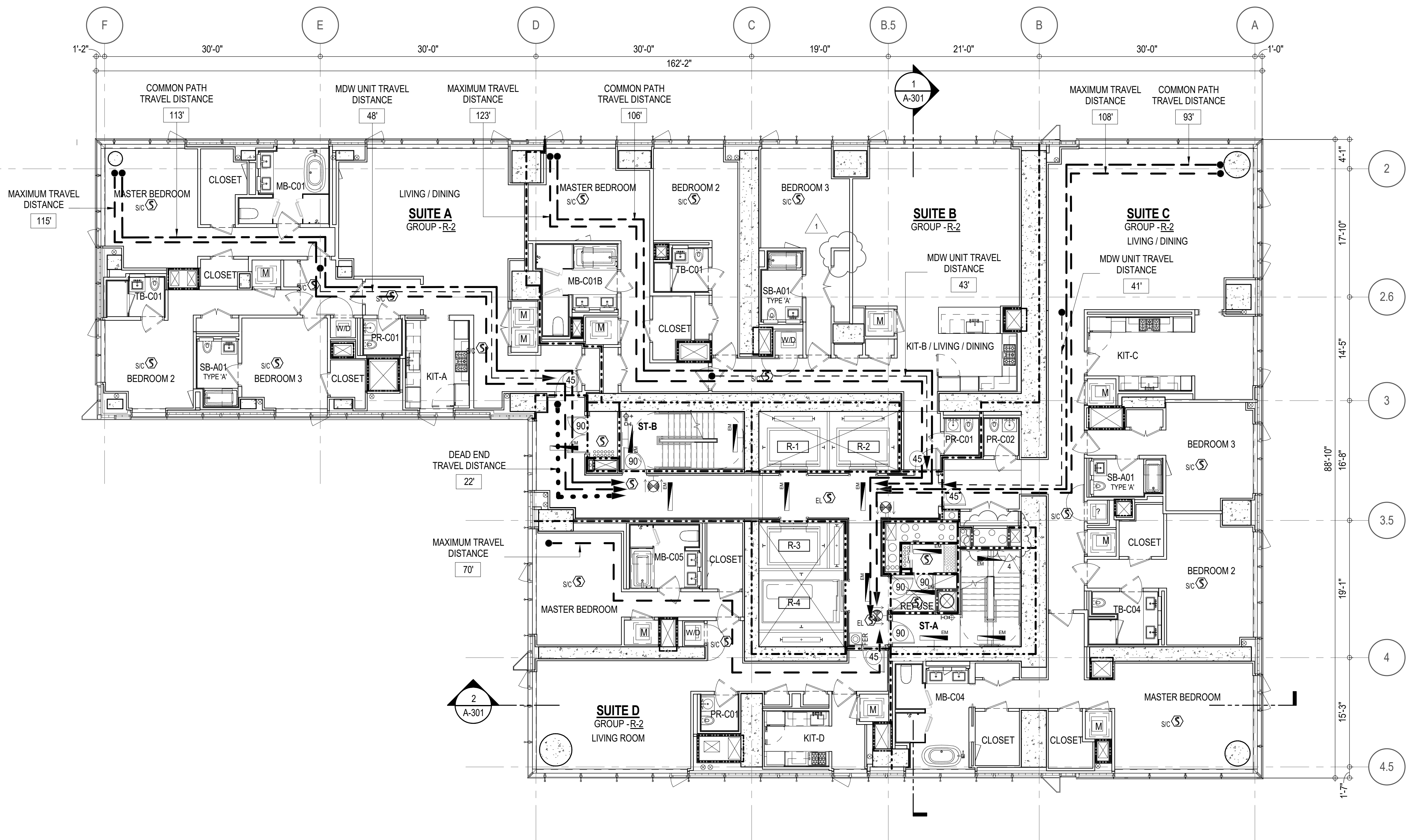
*AREA OF VENTILATING OPENING / UNIT: 12.18 SF

**AREA OF NATURAL LIGHT SOURCES: 25.00 SF
(BASED ON THE MINIMUM AREA PROVIDED FROM 5'-0" MODULE W/ SPLIT MULLION)

*** 2.5% AIR IS REQUIRED PER BC 1203.4.1.2.1 EXCEPTION 1

RESTROOM TYPES		
NAME	TYPE	DETAIL DRAWINGS
MB-C01	ADAPTABLE	1/A-973
MB-C01B	ADAPTABLE	1/A-979
MB-C04	ADAPTABLE	10/A-974
MB-C05	ADAPTABLE	1/A-975
PR-C01	ADAPTABLE	1/A-988
PR-C01	ADAPTABLE	1/A-988
PR-C01	ADAPTABLE	1/A-988
PR-C02	ADAPTABLE	6/A-988
SB-A01	A	1/A-970
SB-A01	A	1/A-970
SB-A01	A	1/A-970
TB-C01	ADAPTABLE	1/A-981
TB-C01	ADAPTABLE	1/A-981
TB-C04	ADAPTABLE	1/A-982

KITCHEN	
NAME	DETAIL DRAWINGS
KIT-A	1/A-950
KIT-B / LIVING / DINING	5/A-950
KIT-C	1/A-953
KIT-D	7/A-953



EGRESS AND FIRE RATING LEGEND

-----	ONE HOUR RATED PARTITION	-----	COMMON TRAVEL DISTANCE
-----	TWO HOUR RATED PARTITION	-----	DEAD END
-----	THREE HOUR RATED PARTITION	-----	MAXIMUM TRAVEL DISTANCE
-----	FOUR HOUR RATED PARTITION	-----	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
-----	NON RATED SMOKE SEPARATION		

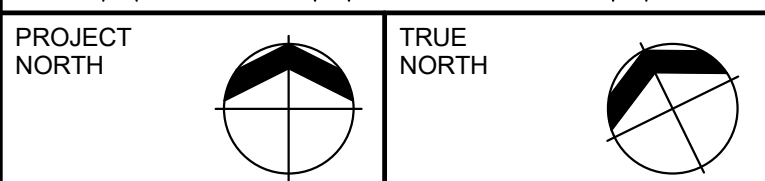
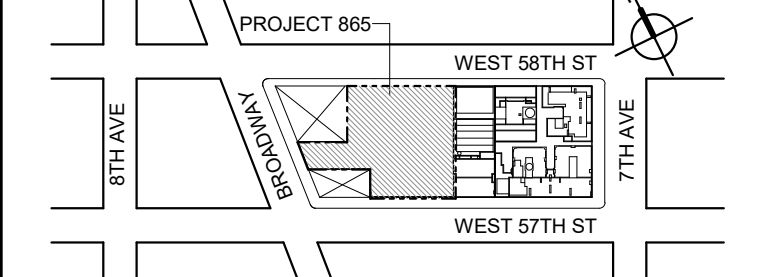
SYMBOLS LEGEND

ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN	FEC FIRE EXTINGUISHER CABINET	SMOKE DETECTOR
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER HEAD (REFER TO FP DRAWINGS)	SMOKE / CARBON MONOXIDE DETECTOR
WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	ILLUMINATED NO EXIT SIGN	SPRINKLER RISER	CEILING MOUNTED EMERGENCY LIGHT
ILLUMINATED EXIT SIGN	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SIAMESE CONNECTION	WALL MOUNTED EMERGENCY LIGHT
			DOOR RATING (MINUTES)

SYMBOLS LEGEND

REVERSIBLE DOOR SWING
STACKED W/D TO BE REPLACED BY ACCESSIBLE COMBINATION UNIT AT REQUEST OF DWELLING UNIT OWNER
MECHANICAL UNIT

KEY PLAN



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 11TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
AAI ARCHITECTS, P.C.
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

ARCHITECT OF RECORD: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 Wellington St., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 867 1500 FAX: 416 867 1750

STRUCTURAL ENGINEERS:
WSP CANTOR SENUK
228 EAST 46th Street
New York, NY 10017 USA
TEL: 212 687 9888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
1501 Broadway
New York, NY 10036 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Fern Plaza - 380 West 31st Street, 8th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1816 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 828
New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Higgins Quasbarth & Partners LLC
11 Hanover Square, 16th Floor
New York, NY 10005
TEL: 212 274 9498 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
50 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION:	DATE:
	D.O.B. AMENDMENT 2	21 SEP 15
1	CD PROGRESS ISSUE 6	02 NOV 15
2	CD PROGRESS ISSUE 7	29 JAN 16
3	CD ISSUE 8 - GMP SET	31 MAR 16
4	CD BULLETIN ISSUE - 7	14 SEP 16
	D.O.B. AMENDMENT 3	03 OCT 16

D.O.B. SUBMISSION

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ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:



PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
22ND - 25TH FLOOR PLAN
BUILDING CODE NOTES
(RESIDENTIAL-TIER 1) (45TH-48TH FLOOR)

SEAL & SIGNATURE:	DATE:	21 SEP 15
PROJECT No:	1216-00	
DRAWN: Author	REV:	
Checked	4	
SCALE: 1/8" = 1'-0"		
DWG No:		
DOB PAGE No: 58 of 154		
DOB B-SCAN:		

DOB EMPLOYEE STAMP:

OCCUPANT LOADS SUMMARY 26TH FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
SUITE A	R-2	2,425 SF	200 SF	13
SUITE B	R-2	2,536 SF	200 SF	13
SUITE C	R-2	3,282 SF	200 SF	17
SUITE D	R-2	1,423 SF	200 SF	8
Grand total				51

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY	STAIR LOAD
			TOTAL (292)	TOTAL (48)
STAIR - A	44"	0.3	146	24
STAIR - B	44"	0.3	146	24

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY	DOOR LOAD
			TOTAL (340)	TOTAL (48)
STAIR - A - DOOR	34"	0.2	170	24
STAIR - B - DOOR	34"	0.2	170	24

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.5"	19	59.81"
STAIR - B	9.5"	7.5"	19	74.75"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
R-2	200'	125'	40'

SUITE EXIT DOOR SUMMARY		MULTI DWELLING LAW SECTION 103.1 (b) EGRESS FROM APARTMENT MAXIMUM TRAVEL DISTANCE TO MEANS OF EGRESS FROM ANY ROOM WITHIN APARTMENT
DOOR DESIGNATION	DOOR WIDTH (IN)	
SUITE A DOOR	36"	
SUITE B DOOR	36"	
SUITE C DOOR	36"	
SUITE D DOOR	36"	

LIGHT & AIR CALCULATION 26TH FLOOR									
Room Name	Floor Area	LIGHT REQUIREMENT <BC-1205>				AIR REQUIREMENT <BC-1203>			
		REQ'D % of Light	# of Curtain Wall Panels (5' typ.)	PROVIDED		REQ'D % of Air	PROVIDED		
				Area of Vision Glass	% of Natural Light		Natural Ventilating Openings	% of Natural Air	
SUITE A									
BEDROOM 2	149 SF	10%	3.0	85.50 SF	57.37%	5%	1	13.64 SF	9.15%
BEDROOM 3	150 SF	10%	1.5	42.75 SF	28.53%	5%	1	13.64 SF	9.10%
KIT-A	111 SF	10%	1.0	28.50 SF	25.62%	5%	1	13.64 SF	12.26%
LIVING / DINING	432 SF	10%	4.0	114.00 SF	26.37%	5%	2	27.28 SF	6.31%
MASTER BEDROOM	213 SF	10%	4.0	114.00 SF	53.45%	5%	2	27.28 SF	12.79%
SUITE B									
BEDROOM 2	155 SF	10%	2.0	57.00 SF	36.80%	5%	1	13.64 SF	8.81%
BEDROOM 3	167 SF	10%	2.0	57.00 SF	34.14%	5%	1	13.64 SF	8.17%
KIT-B / LIVING / DINING	632 SF	10%	4.0	114.00 SF	18.04%	2.5%	2	27.28 SF	4.32%
MASTER BEDROOM	196 SF	10%	2.0	57.00 SF	29.14%	5%	1	13.64 SF	6.97%
SUITE C									
BEDROOM 2	205 SF	10%	3.0	85.50 SF	41.74%	5%	1	13.64 SF	6.66%
BEDROOM 3	167 SF	10%	2.0	57.00 SF	34.14%	5%	1	13.64 SF	8.17%
KIT-C	242 SF	10%	3.0	85.50 SF	35.28%	5%	1	13.64 SF	5.63%
LIVING / DINING	613 SF	10%	6.0	171.00 SF	27.91%	5%	3	40.92 SF	6.68%
MASTER BEDROOM	289 SF	10%	5.0	142.50 SF	49.29%	5%	2	27.28 SF	9.44%
SUITE D									
KIT-D	101 SF	10%	3.0	85.50 SF	84.81%	5%	1	13.64 SF	13.53%
LIVING ROOM	331 SF	10%	5.0	142.50 SF	43.12%	5%	2	27.28 SF	8.25%
MASTER BEDROOM	189 SF	10%	3.0	85.50 SF	45.23%	5%	1	13.64 SF	7.21%

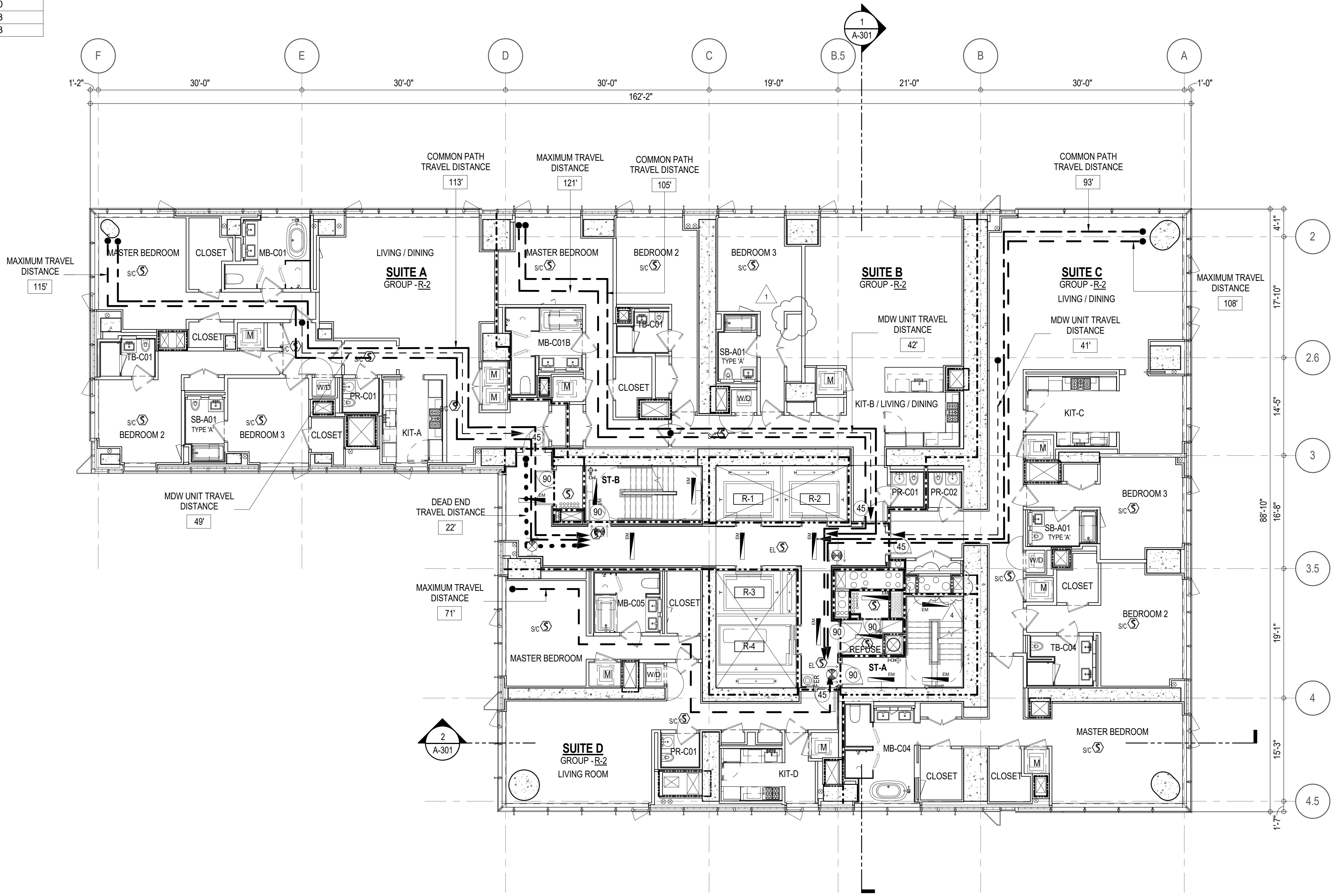
*AREA OF VENTILATING OPENING / UNIT: 13.64 SF

**AREA OF NATURAL LIGHT SOURCES: 28.50 SF
(BASED ON THE MINIMUM AREA PROVIDED FROM 5'-0" MODULE W/ SPLIT MULLION)

*** 2.5% AIR IS REQUIRED PER BC 1203.4.1.2.1 EXCEPTION 1

RESTROOM TYPES		
NAME	TYPE	DETAIL DRAWINGS
MB-C01	ADAPTABLE	1/A-973
MB-C01B	ADAPTABLE	1/A-979
MB-C04	ADAPTABLE	10/A-974
MB-C05	ADAPTABLE	1/A-975
PR-C01	ADAPTABLE	1/A-988
PR-C01	ADAPTABLE	1/A-988
PR-C01	ADAPTABLE	1/A-988
PR-C02	ADAPTABLE	6/A-988
SB-A01	A	1/A-970
SB-A01	A	1/A-970
SB-A01	A	1/A-970
TB-C01	ADAPTABLE	1/A-981
TB-C01	ADAPTABLE	1/A-981
TB-C04	ADAPTABLE	1/A-982

KITCHEN	
NAME	DETAIL DRAWINGS
KIT-A	1/A-950
KIT-B / LIVING / DINING	5/A-950
KIT-C	1/A-953
KIT-D	7/A-953



EGRESS AND FIRE RATING LEGEND

-----	ONE HOUR RATED PARTITION	-----	COMMON TRAVEL DISTANCE
-----	TWO HOUR RATED PARTITION	-----	DEAD END
-----	THREE HOUR RATED PARTITION	-----	MAXIMUM TRAVEL DISTANCE
-----	FOUR HOUR RATED PARTITION	-----	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
-----	NON RATED SMOKE SEPARATION		

SYMBOLS LEGEND

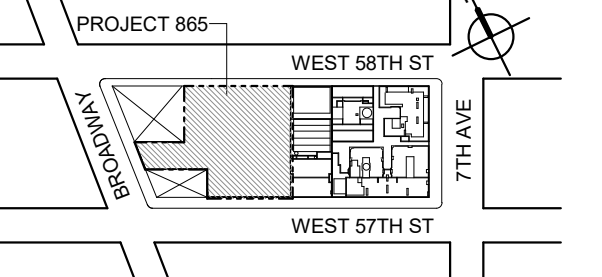
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN	FEC FIRE EXTINGUISHER CABINET
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER HEAD (REFER TO FP DRAWINGS)
WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	ILLUMINATED NO EXIT SIGN	SPRINKLER RISER
ILLUMINATED EXIT SIGN	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SIAMESE CONNECTION

SC SMOKE DETECTOR	SC SMOKE / CARBON MONOXIDE DETECTOR	WALL MOUNTED EMERGENCY LIGHT
SC SMOKE / CARBON MONOXIDE DETECTOR	CEILING MOUNTED EMERGENCY LIGHT	DOOR RATING (MINUTES)

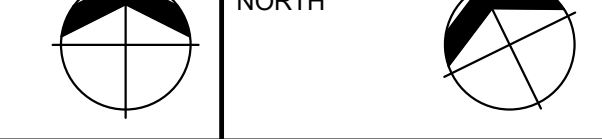
SYMBOLS LEGEND

REVERSIBLE DOOR SWING	STACKED W/D TO BE REPLACED BY ACCESSIBLE COMBINATION UNIT AT REQUEST OF DWELLING UNIT OWNER	MECHANICAL UNIT
-----------------------	---	-----------------

KEY PLAN



PROJECT NORTH



DEVELOPER:

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 11TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

ARCHITECT OF RECORD: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
WSP CANTOR SENUK
228 EAST 46th Street
New York, NY 10017 USA
TEL: 212 687 9888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
1501 Broadway
New York, NY 10036 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Fern Plaza - 380 West 31st Street, 8th Floor
New York, NY 10013-2727
TEL: 212 757 5659 FAX: 646 219 8508

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1816 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 828
New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Higgins Quasbarth & Partners LLC
11 Hanover Square, 16th Floor
New York, NY 10005
TEL: 212 274 9468 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
50 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	D.O.B. AMENDMENT 2	21 SEP 15
1	CD PROGRESS ISSUE 6	02 NOV 15
2	CD PROGRESS ISSUE 7	29 JAN 16
3	CD ISSUE 8 - GMP SET	31 MAR 16
4	CD BULLETIN ISSUE - 7	14 SEP 16
	D.O.B. AMENDMENT 3	03 OCT 16

D.O.B. SUBMISSION

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CONSULTANT:



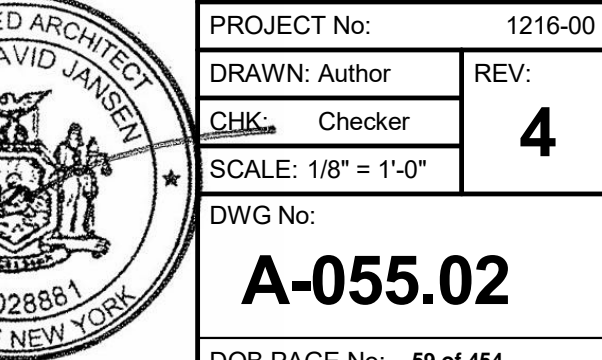
PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

26TH FLOOR PLAN
BUILDING CODE NOTES
(RESIDENTIAL-TIER 1) (MFD-49TH FLOOR)

SEAL & SIGNATURE:



DOB EMPLOYEE STAMP:

DOB B-SCAN:

OCCUPANT LOADS SUMMARY 27TH FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
ELECTRICAL ROOM	F-2	742 SF	300 SF	3
MECHANICAL	F-2	7,743 SF	300 SF	26
Grand total				29

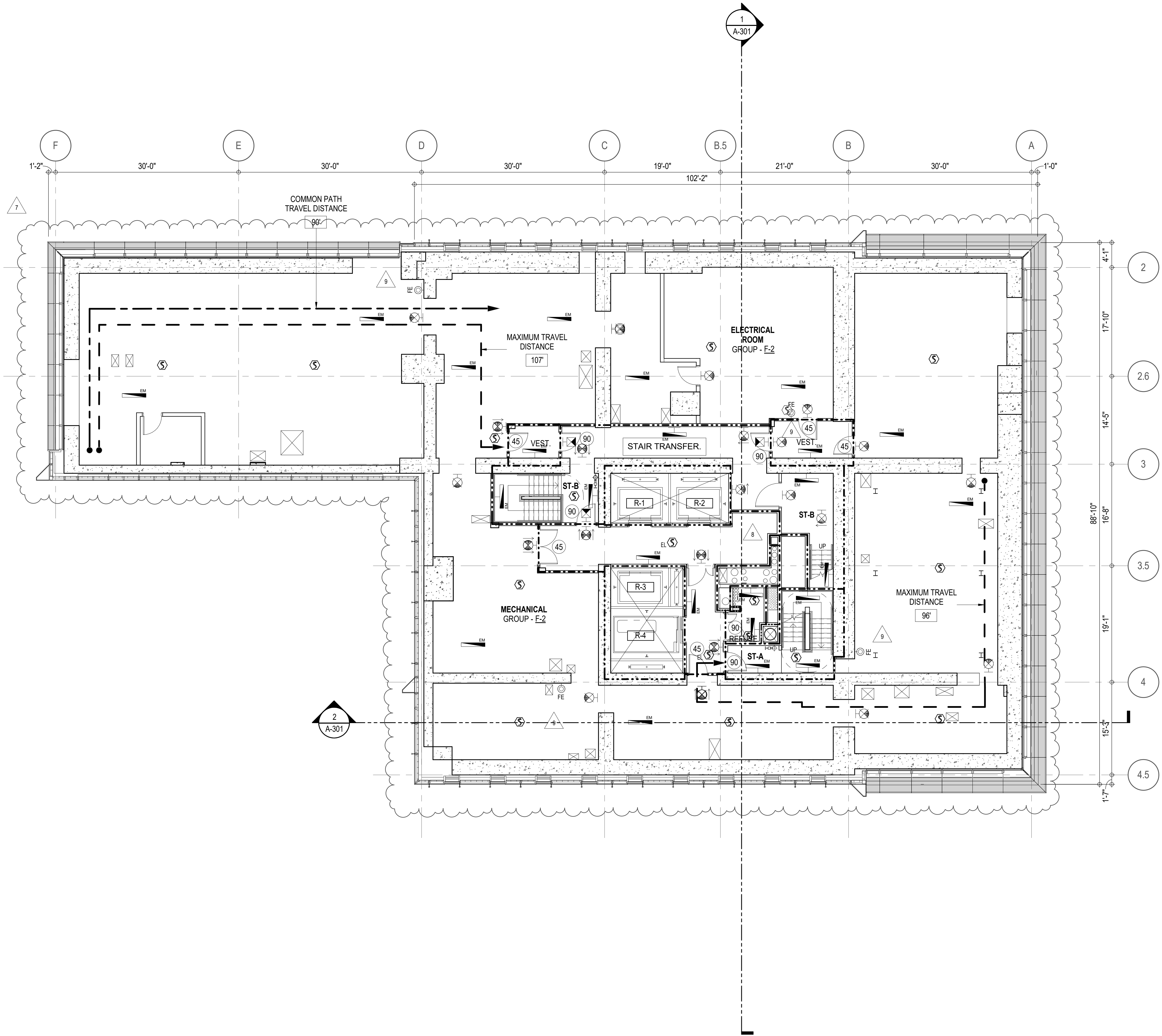
EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (N)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (292)	STAIR LOAD TOTAL (29)
STAIR - A	44"	0.3	146	14
STAIR - B	44"	0.3	146	15

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (N)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (29)
STAIR - A - DOOR	34"	0.2	170	14
STAIR - B - DOOR	34"	0.2	170	15

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.38"	26	51.69"
STAIR - B	9.5"	7.68"	25	69.12"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
F-2	250'	100'	50'

* F-2 IS ACCESSORY TO RESIDENTIAL R-2



EGRESS AND FIRE RATING LEGEND

---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
- - - - -	TWO HOUR RATED PARTITION	...	DEAD END
- . - . -	THREE HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE
- - - - -	FOUR HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
---	NON RATED SMOKE SEPARATION		

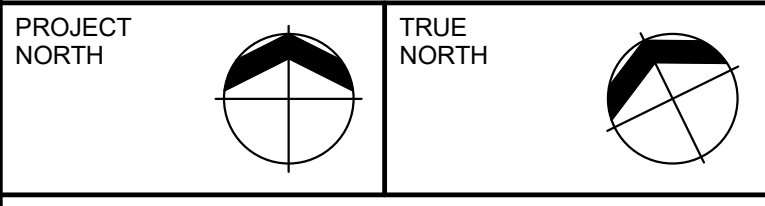
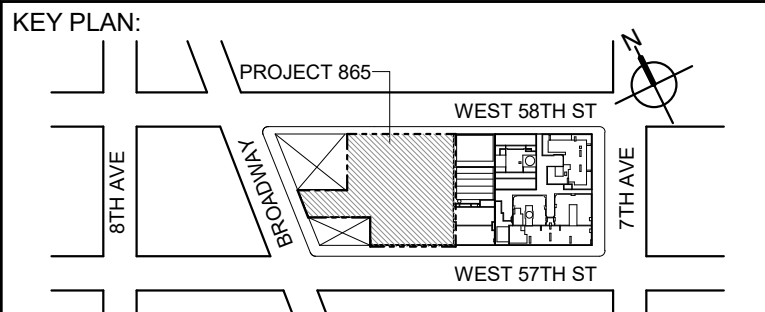
SYMBOLS LEGEND

⬡	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	⬡	WALL MOUNTED ILLUMINATED NO EXIT SIGN	⬡	FEC FIRE EXTINGUISHER CABINET
⬡	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	⬡	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	⬡	SPRINKLER HEAD (REFER TO FP DRAWINGS)
⬡	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	⬡	ILLUMINATED NO EXIT SIGN	⬡	STANDPIPE
⬡	ILLUMINATED EXIT SIGN	⬡	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	⬡	SPRINKLER RISER
		⬡		⬡	SIAMESE CONNECTION

⬡	SMOKE DETECTOR	⬡	WALL MOUNTED EMERGENCY LIGHT
⬡	SMOKE / CARBON MONOXIDE DETECTOR	⬡	DOOR RATING (MINUTES)
⬡	CEILING MOUNTED EMERGENCY LIGHT		

SYMBOLS LEGEND

↔	REVERSIBLE DOOR SWING
W/D	STACKED W/D TO BE REPLACED BY ACCESSIBLE COMBINATION UNIT AT REQUEST OF DWELLING UNIT OWNER
M	MECHANICAL UNIT



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 17TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

ARCHITECT OF RECORD: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 1750

STRUCTURAL ENGINEERS:
WSP CANTOR SENUK
228 EAST 48th Street
New York, NY 10017 USA
TEL: 212 687 9888 FAX: 646 487 5501

MEP ENGINEERS:
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1501 Broadway
New York, NY 10036 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Fern Plaza - 380 West 31st Street, 8th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
A.J.L.P. Consulting
40 Worth Street, Suite 828
New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Higgins Quasbarth & Partners LLC
11 Hanover Square, 18th Floor
New York, NY 10005
TEL: 212 274 9468 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
30 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION:	DATE:
1	CD PROGRESS ISSUE 1	15 OCT 14
2	D.O.B. SUBMISSION	05 DEC 14
3	CD PROGRESS ISSUE 2	19 DEC 14
4	D.O.B. SUBMISSION	18 FEB 15
5	CD PROGRESS ISSUE 3	08 MAR 15
6	D.O.B. SUBMISSION	27 APR 15
7	CD PROGRESS ISSUE 4	01 JUN 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	D.O.B. AMENDMENT 3	03 OCT 16

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:
AAI
ARCHITECTS, P.C.




PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
27TH FLOOR PLAN
BUILDING CODE NOTES
(MECHANICAL) (MFD-50TH FLOOR)

SEAL & SIGNATURE:	DATE:	15 OCT 14
	PROJECT No:	1216-00
	DRAWN: Author	REV:
	Checked	9
DWG No:	SCALE: 1/8" = 1'-0"	
A-056.02	DOB PAGE No:	88 of 154
DOB EMPLOYEE STAMP:	DOB B-SCAN:	

*** 2.5% AIR IS REQUIRED PER BC 1203.4.1.2.1 EXCEPTION 1

SYMBOLS LEGEND

	REVERSIBLE DOOR SWING
	STACKED W/D TO BE REPLACED BY ACCESSIBLE COMBINATION UNIT AT REQUEST OF DWELLING UNIT OWNER
	MECHANICAL UNIT

LAST ISSUES AS A NEW CD PROCESS ISSUE 4'

OCCUPANT LOADS SUMMARY 45TH FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
SUITE A	R-2	3,046 SF	200 SF	16
SUITE B	R-2	1,381 SF	200 SF	7
SUITE C	R-2	3,224 SF	200 SF	17
Grand total				40

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (292)	STAIR LOAD TOTAL (40)
STAIR - A	44"	0.3	146	20
STAIR - B	44"	0.3	146	20

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (40)
STAIR - A - DOOR	34"	0.2	170	20
STAIR - B - DOOR	34"	0.2	170	20

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.5"	19	142.00"
STAIR - B	9.5"	7.5"	19	142.00"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
R-2	200'	125'	40'

SUITE EXIT DOOR SUMMARY		MULTI DWELLING LAW SECTION 103.1 (b) EGRESS FROM APARTMENT MAXIMUM TRAVEL DISTANCE TO MEANS OF EGRESS FROM ANY ROOM WITHIN APARTMENT
DOOR DESIGNATION	DOOR WIDTH (IN)	
SUITE A DOOR	36"	
SUITE B DOOR	36"	
SUITE C DOOR	36"	

LIGHT & AIR CALCULATION 45TH FLOOR									
Room Name	Floor Area	LIGHT REQUIREMENT <BC-1205>				AIR REQUIREMENT <BC-1203>			
		REQ'D % of Light	# of Curtain Wall Panels (5' typ.)**	Area of Vision Glass	% of Natural Light	REQ'D % of Air	# of Operable Windows*	Area of Ventilating Openings	% of Natural Air
SUITE A									
BEDROOM 2	146 SF	10%	2.0	57.00 SF	38.94%	5%	1	13.64 SF	9.32%
BEDROOM 3	203 SF	10%	3.0	85.50 SF	42.18%	5%	1	13.64 SF	6.73%
KIT-A	201 SF	10%	2.0	57.00 SF	28.36%	5%	1	13.64 SF	6.79%
LIVING ROOM	620 SF	10%	8.0	228.00 SF	36.76%	***2.5%	2	27.28 SF	4.40%
MASTER BEDROOM	327 SF	10%	6.0	171.00 SF	52.25%	5%	2	27.28 SF	8.34%
SUITE B									
BEDROOM 2	149 SF	10%	2.0	57.00 SF	38.22%	5%	1	13.64 SF	9.15%
KIT-B	70 SF	10%	2.0	57.00 SF	22.62%	5%	1	13.64 SF	5.41%
LIVING / DINING	252 SF	10%	2.0	57.00 SF	33.04%	5%	1	13.64 SF	7.91%
MASTER BEDROOM	172 SF	10%	2.0	57.00 SF		5%	1	13.64 SF	
SUITE C									
BEDROOM 2	154 SF	10%	2.0	57.00 SF	37.08%	5%	1	13.64 SF	8.87%
BEDROOM 3	163 SF	10%	2.0	57.00 SF	35.01%	5%	1	13.64 SF	8.38%
KIT-C/FAMILY RM	290 SF	10%	2.5	71.25 SF	24.61%	5%	2	27.28 SF	9.42%
LIVING / DINING	774 SF	10%	7.0	199.50 SF	25.77%	5%	4	54.56 SF	7.05%
MASTER BEDROOM	318 SF	10%	5.0	142.50 SF	44.80%	5%	2	27.28 SF	8.58%

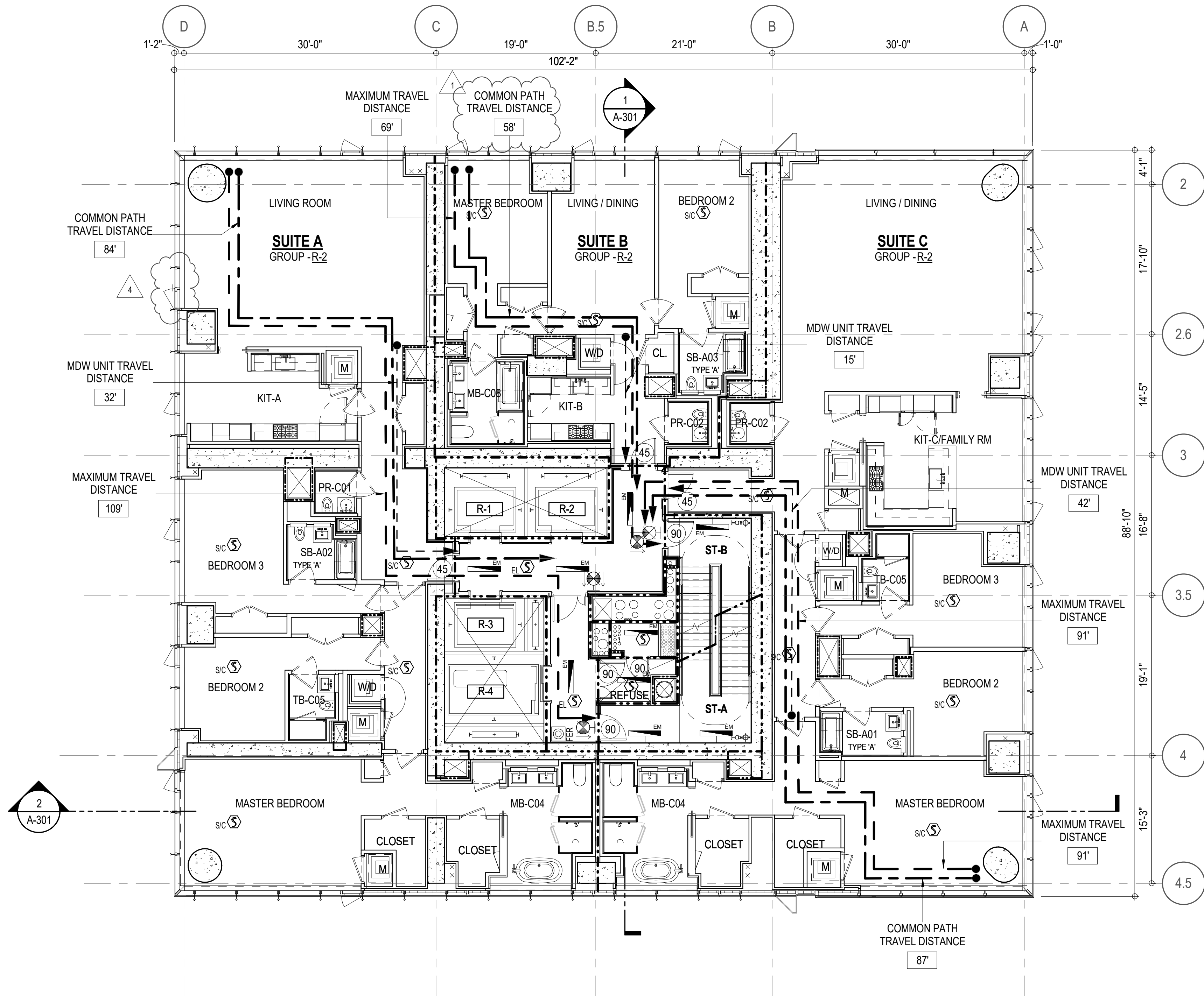
*AREA OF VENTILATING OPENING / UNIT: 13.64 SF

**AREA OF NATURAL LIGHT SOURCES: 28.50 SF
(BASED ON THE MINIMUM AREA PROVIDED FROM 5'-0" MODULE W/ SPLIT MULLION)

*** 2.5% AIR IS REQUIRED PER BC 1203.4.1.2.1 EXCEPTION 1

RESTROOM TYPES		
NAME	TYPE	DETAIL DRAWINGS
MB-C04	ADAPTABLE	10/A-974
MB-C04	ADAPTABLE	10/A-974
MB-C08	ADAPTABLE	6/A-976
PR-C01	ADAPTABLE	1/A-988
PR-C02	ADAPTABLE	6/A-988
PR-C02	ADAPTABLE	6/A-988
SB-A01	A	1/A-970
SB-A02	A	6/A-970
SB-A03	A	12/A-970
TB-C05	ADAPTABLE	6/A-982
TB-C05	ADAPTABLE	6/A-982

KITCHENS	
NAME	DETAIL DRAWINGS
KIT-A	1/A-954
KIT-B	4/A-954
KIT-C/FAMILY RM	1/A-955



EGRESS AND FIRE RATING LEGEND

---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
---	TWO HOUR RATED PARTITION	---	DEAD END
---	THREE HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE
---	FOUR HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
---	NON RATED SMOKE SEPARATION		

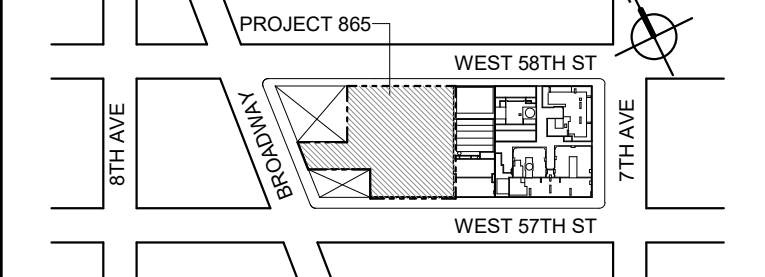
SYMBOLS LEGEND

ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN	FEC FIRE EXTINGUISHER CABINET	SMOKE DETECTOR
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER HEAD (REFER TO FP DRAWINGS)	SMOKE /CARBON MONOXIDE DETECTOR
WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	ILLUMINATED NO EXIT SIGN	STANDPIPE	CEILING MOUNTED EMERGENCY LIGHT
ILLUMINATED EXIT SIGN	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER RISER	WALL MOUNTED EMERGENCY LIGHT
		SIAMESE CONNECTION	DOOR RATING (MINUTES)

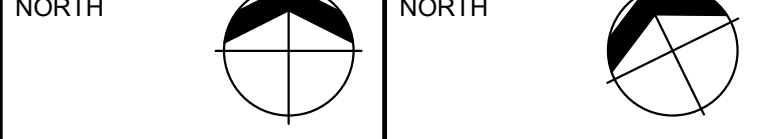
SYMBOLS LEGEND

REVERSIBLE DOOR SWING
STACKED WID TO BE REPLACED BY ACCESSIBLE COMBINATION UNIT AT REQUEST OF DWELLING UNIT OWNER
MECHANICAL UNIT

KEY PLAN



PROJECT NORTH



DEVELOPER

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 17TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 867 1500 FAX: 416 867 1750

ARCHITECT OF RECORD: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 867 1500 FAX: 416 867 1750

STRUCTURAL ENGINEERS:
WSP CANTOR SEINUK
228 EAST 46th Street
New York, NY 10017 USA
TEL: 212 687 9888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
1501 Broadway
New York, NY 10036 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Fern Plaza - 380 West 31st Street, 8th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1816 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 828
New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Higgins Quasbarth & Partners LLC
11 Hanover Square, 16th Floor
New York, NY 10005
TEL: 212 274 9468 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
30 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION:	DATE:
	D.O.B. AMENDMENT 2	21 SEP 15
1	CD PROGRESS ISSUE 6	02 NOV 15
2	CD PROGRESS ISSUE 7	29 JAN 16
3	CD ISSUE 8 - GMP SET	31 MAR 16
4	CD BULLETIN ISSUE - 5	12 AUG 16
	D.O.B. AMENDMENT 3	03 OCT 16

D.O.B. SUBMISSION

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CONSULTANT:



PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

45TH FLOOR PLAN
BUILDING CODE NOTES
(RESIDENTIAL-TIER 2) (MFD-70TH FLOOR)

SEAL & SIGNATURE: DATE: 21 SEP 15

PROJECT No: 1216-00

DRAWN: Author REV: 4

CHECK: Checker

SCALE: 1/8" = 1'-0"

DWG No: A-059.02

DOB PAGE No: 63 of 164

DOB EMPLOYEE STAMP: DOB B-SCAN:

OCCUPANT LOADS SUMMARY 48TH FLOOR PLAN

OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
SUITE A	R-2	2,924 SF	200 SF	15
SUITE B	R-2	3,999 SF	200 SF	20
Grand total				35

EXIT STAIR SUMMARY - BC TABLE 1005.1

STAIR DESIGNATION	STAIR WIDTH (N)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (232)	STAIR LOAD TOTAL (35)
STAIR - A	44"	0.3	146	18
STAIR - B	44"	0.3	146	17

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1

DOOR DESIGNATION	DOOR CLEAR WIDTH (N)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (35)
STAIR - A - DOOR	34"	0.2	170	18
STAIR - B - DOOR	34"	0.2	170	17

EXIT STAIR TREADS AND RISERS - BC TABLE 1009

STAIR DESIGNATION	TREAD (N)	RISER (N)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.68"	20	77.00"
STAIR - B	9.5"	7.68"	20	77.00"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)

OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
R-2	200'	125'	40'

SUITE EXIT DOOR SUMMARY

DOOR DESIGNATION	DOOR WIDTH (N)
SUITE A DOOR	36"
SUITE B DOOR	36"

MULTI DWELLING LAW

SECTION 103.1 (b) EGRESS FROM APARTMENT MAXIMUM TRAVEL DISTANCE TO MEANS OF EGRESS FROM ANY ROOM WITHIN APARTMENT	50'
---	-----

LIGHT & AIR CALCULATION 48TH FLOOR

Room Name	Floor Area	LIGHT REQUIREMENT <BC-1205>				AIR REQUIREMENT <BC-1203>			
		REQ'D % of Light	# of Curtain Wall Panels (5' typ.)**	Area of Vision Glass	% of Natural Light	REQ'D % of Air	# of Operable Windows	Area of Ventilating Openings	% of Natural Air
SUITE A									
BEDROOM 2	180 SF	10%	2.0	57.00 SF	31.69%	5%	1	13.64 SF	7.58%
BEDROOM 3	210 SF	10%	3.0	85.50 SF	40.71%	5%	1	13.64 SF	6.49%
KIT-A / LIVING	781 SF	10%	9.0	256.50 SF	32.84%	***2.5%	2	27.28 SF	3.49%
MASTER BEDROOM	298 SF	10%	5.0	142.50 SF	47.77%	5%	2	16.44 SF	5.51%
SUITE B									
BEDROOM 2	171 SF	10%	2.0	57.00 SF	33.26%	5%	1	13.64 SF	7.96%
BEDROOM 3	169 SF	10%	2.0	57.00 SF	33.80%	5%	1	13.64 SF	8.09%
BEDROOM 4	175 SF	10%	2.0	57.00 SF	32.60%	5%	1	13.64 SF	7.80%
KIT-B / FAMILY RM	508 SF	10%	6.0	171.00 SF	33.65%	5%	2	27.28 SF	5.37%
LIVING / DINING	924 SF	10%	7.0	199.50 SF	21.60%	5%	5	46.52 SF	5.04%
MASTER BEDROOM	311 SF	10%	5.0	142.50 SF	45.82%	5%	2	27.28 SF	8.77%

*AREA OF VENTILATING OPENING / UNIT: 8.22 SF / 13.64 SF

**AREA OF NATURAL LIGHT SOURCES: 28.50 SF
(BASED ON THE MINIMUM AREA PROVIDED FROM 5'-0" MODULE W/ SPLIT MULLION)

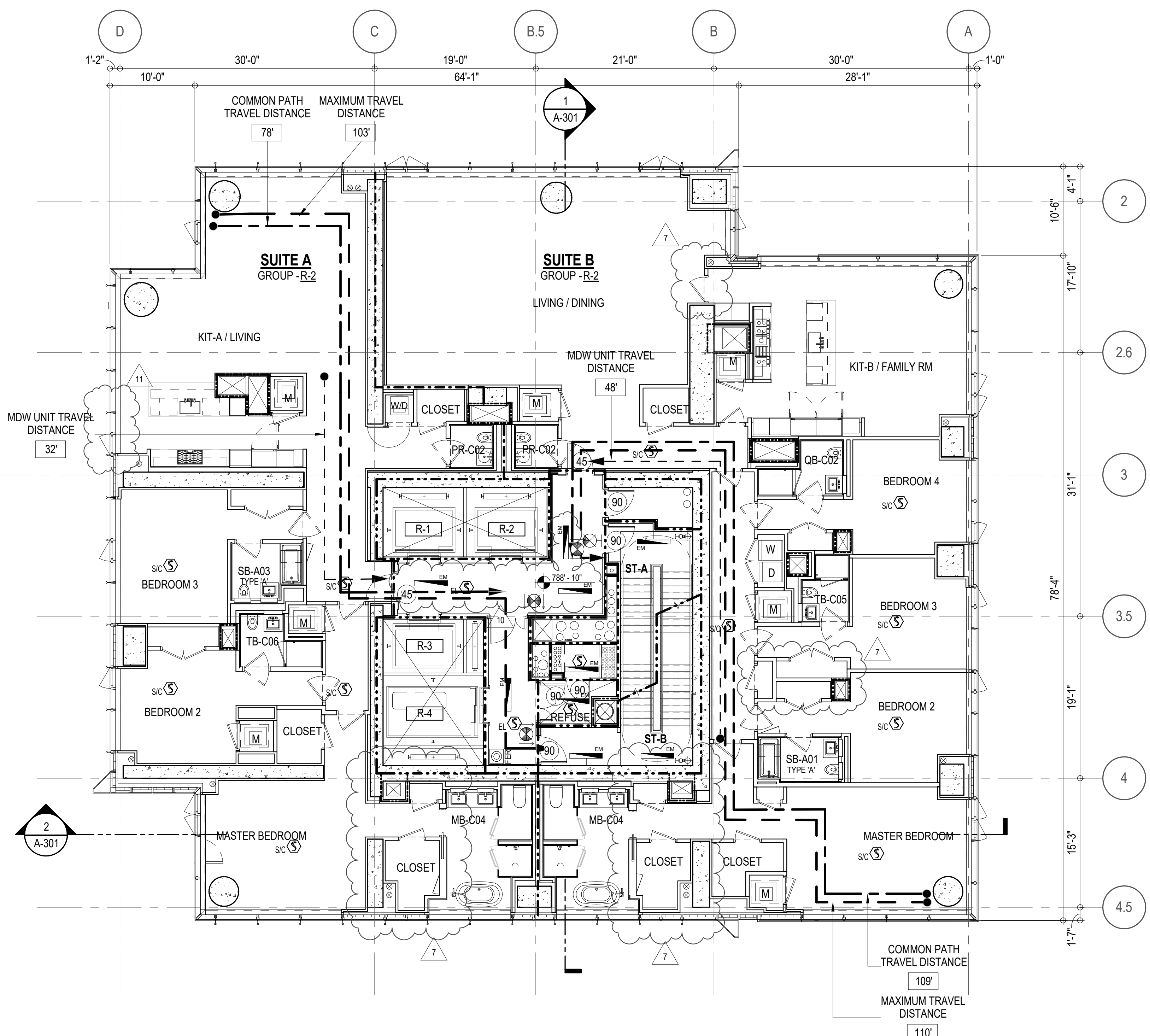
*** 2.5% AIR IS REQUIRED PER BC 1203.4.1.2.1 EXCEPTION 1

RESTROOM TYPES

NAME	TYPE	DETAIL DRAWINGS
MB-C04	ADAPTABLE	10/A-974
MB-C04	ADAPTABLE	10/A-974
PR-C02	ADAPTABLE	6/A-988
PR-C02	ADAPTABLE	6/A-988
QB-C02	ADAPTABLE	10/A-985
SB-A01	A	1/A-970
SB-A03	A	12/A-970
TB-C05	ADAPTABLE	6/A-982
TB-C06	ADAPTABLE	12/A-982

KITCHENS

NAME	DETAIL DRAWINGS
KIT-A / LIVING	10/A-955
KIT-B / FAMILY RM	1/A-956



EGRESS AND FIRE RATING LEGEND

-----	ONE HOUR RATED PARTITION	-----	COMMON TRAVEL DISTANCE
-----	TWO HOUR RATED PARTITION	-----	DEAD END
-----	THREE HOUR RATED PARTITION	-----	MAXIMUM TRAVEL DISTANCE
-----	FOUR HOUR RATED PARTITION	-----	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
-----	NON RATED SMOKE SEPARATION		

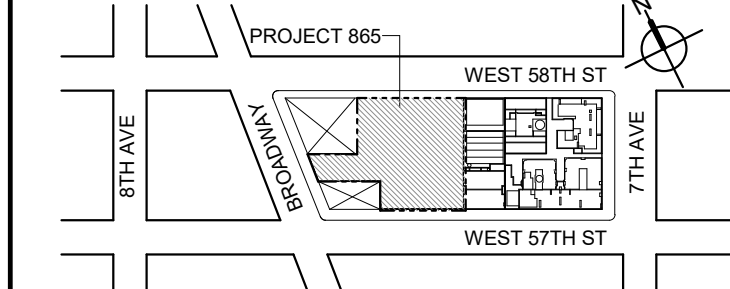
SYMBOLS LEGEND

ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN	FEC FIRE EXTINGUISHER CABINET	SMOKE / CARBON MONOXIDE DETECTOR
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	STANDPIPE	CEILING MOUNTED EMERGENCY LIGHT
WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	ILLUMINATED NO EXIT SIGN	SPRINKLER RISER	WALL MOUNTED EMERGENCY LIGHT
ILLUMINATED EXIT SIGN	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SIAMESE CONNECTION	DOOR RATING (MINUTES)

SYMBOLS LEGEND

REVERSIBLE DOOR SWING
STACKED W/D TO BE REPLACED BY ACCESSIBLE COMBINATION UNIT AT REQUEST OF DWELLING UNIT OWNER
MECHANICAL UNIT

KEY PLAN



PROJECT NORTH



DEVELOPER:

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 11TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
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New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1816 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 828
New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
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11 Hanover Square, 16th Floor
New York, NY 10005
TEL: 212 274 9468 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION:	DATE:
1	CD PROGRESS ISSUE 1	15 OCT 14
2	D.O.B. SUBMISSION	05 DEC 14
3	CD PROGRESS ISSUE 2	19 DEC 14
4	D.O.B. SUBMISSION	18 FEB 15
5	CD PROGRESS ISSUE 3	08 MAR 15
6	D.O.B. SUBMISSION	27 APR 15
7	CD PROGRESS ISSUE 4	01 JUN 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
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11	CD ISSUE 8 - GMP SET	31 MAR 16
12	CD BULLETIN ISSUE - 1	22 APR 16
13	CD BULLETIN ISSUE - 5	12 AUG 16
14	D.O.B. AMENDMENT 3	03 OCT 16

0 4'-0" 8'-0" 16'-0"

D.O.B. SUBMISSION

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CONSULTANT:



PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

48TH - 66TH FLOOR PLAN
BUILDING CODE NOTES
(RESIDENTIAL-TIER 3)
(MFD-78TH-96TH FLOOR)

SEAL & SIGNATURE: DATE: 15 OCT 14

PROJECT No: 1216-00
DRAWN: Author
CHECKED: Checker
SCALE: 1/8" = 1'-0"

DWG No: **A-062.02**
DOB PAGE No: 66 of 164

DOB EMPLOYEE STAMP: DOB B-SCAN:

OCCUPANT LOADS SUMMARY 67TH INTERMEDIATE FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
MECHANICAL	F-2	4,480 SF	300 SF	15
Grand total				15

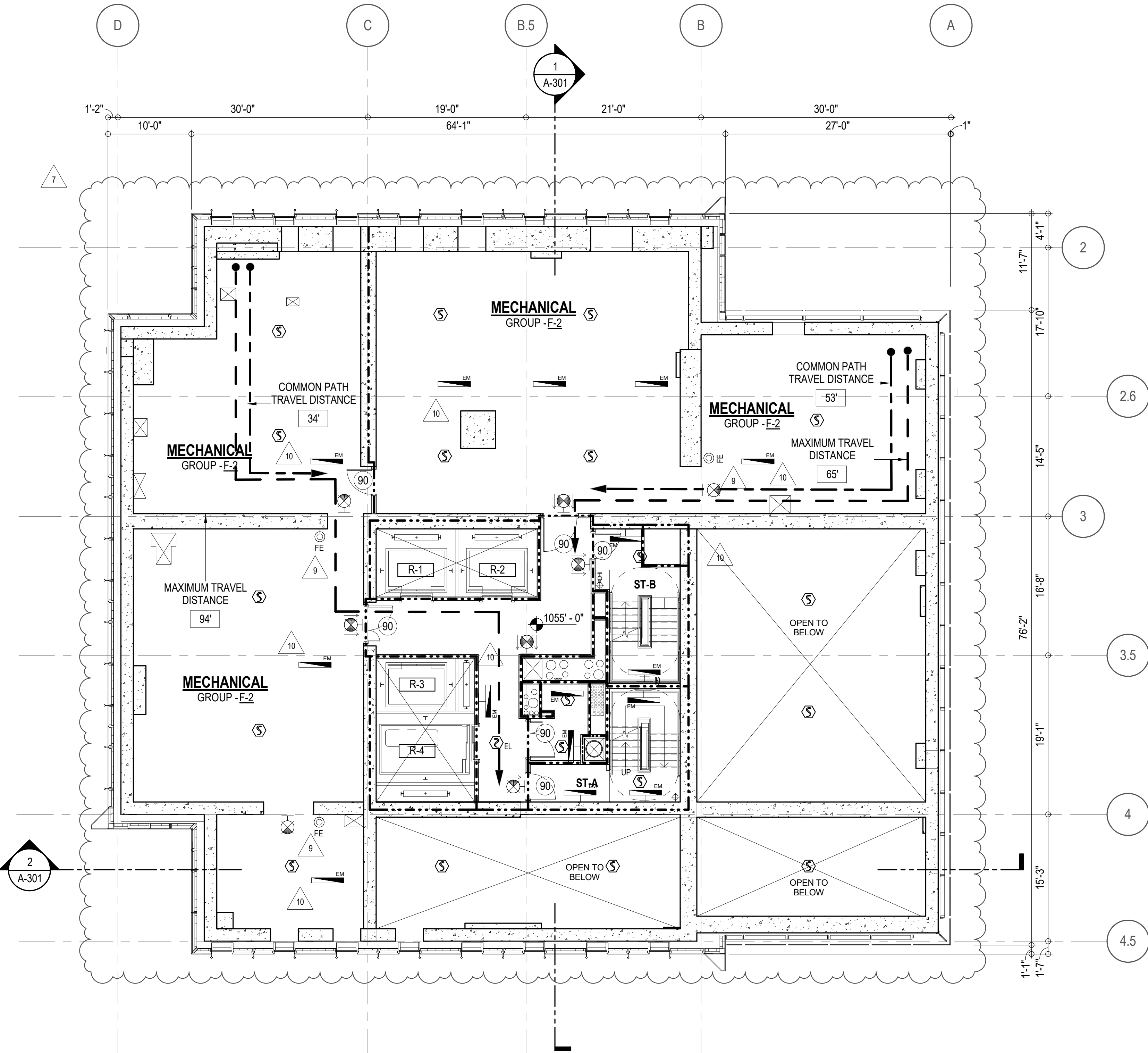
EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (292)	STAIR LOAD TOTAL (15)
STAIR - A	44"	0.3	146	7
STAIR - B	44"	0.3	146	8

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (15)
STAIR - A - DOOR	34"	0.2	170	7
STAIR - B - DOOR	34"	0.2	170	8

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.69"	30	92.00"
STAIR - B	9.5"	7.69"	30	92.00"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
F-2	250'	100'	50'

* F-2 IS ACCESSORY TO RESIDENTIAL R-2

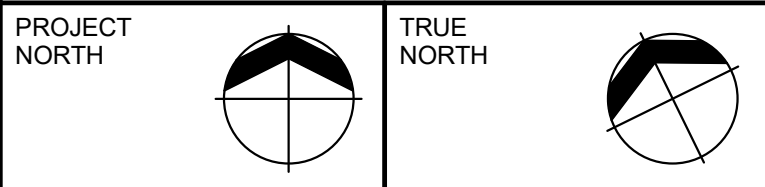
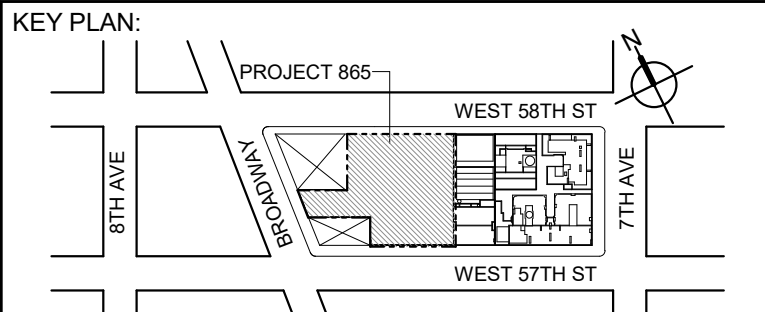


EGRESS AND FIRE RATING LEGEND

---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
---	TWO HOUR RATED PARTITION	---	DEAD END
---	THREE HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE
---	FOUR HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
---	NON RATED SMOKE SEPARATION		

SYMBOLS LEGEND

EXIT SIGN	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN	FEC FIRE EXTINGUISHER CABINET	SMOKE DETECTOR
EXIT SIGN	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER HEAD (REFER TO FP DRAWINGS)	SMOKE / CARBON MONOXIDE DETECTOR
EXIT SIGN	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	ILLUMINATED NO EXIT SIGN	STANDPIPE	CEILING MOUNTED EMERGENCY LIGHT
EXIT SIGN	ILLUMINATED EXIT SIGN	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER RISER	WALL MOUNTED EMERGENCY LIGHT
			SIAMESE CONNECTION	DOOR RATING (MINUTES)



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 17TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

ARCHITECT OF RECORD: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 867 1500 FAX: 416 867 7150

STRUCTURAL ENGINEERS:
WSP CANTOR SENUK
228 EAST 46th Street
New York, NY 10017 USA
TEL: 212 687 9888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
1501 Broadway
New York, NY 10036 USA
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New York, NY 10001-2727
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	D.O.B. AMENDMENT 3	03 OCT 16

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CONSULTANT:



PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
67TH INTERMEDIATE FLOOR PLAN
BUILDING CODE NOTES
(MECHANICAL) (MFD-98TH FLOOR)

SEAL & SIGNATURE:	DATE:	15 OCT 14
	PROJECT No:	1216-00
	DRAWN: Author	REV:
	Check: Checker	10
DWG No:	SCALE: 1/8" = 1'-0"	
	A-064.02	
DOB EMPLOYEE STAMP:	DOB PAGE No:	88 of 164
	DOB B-SCAN:	

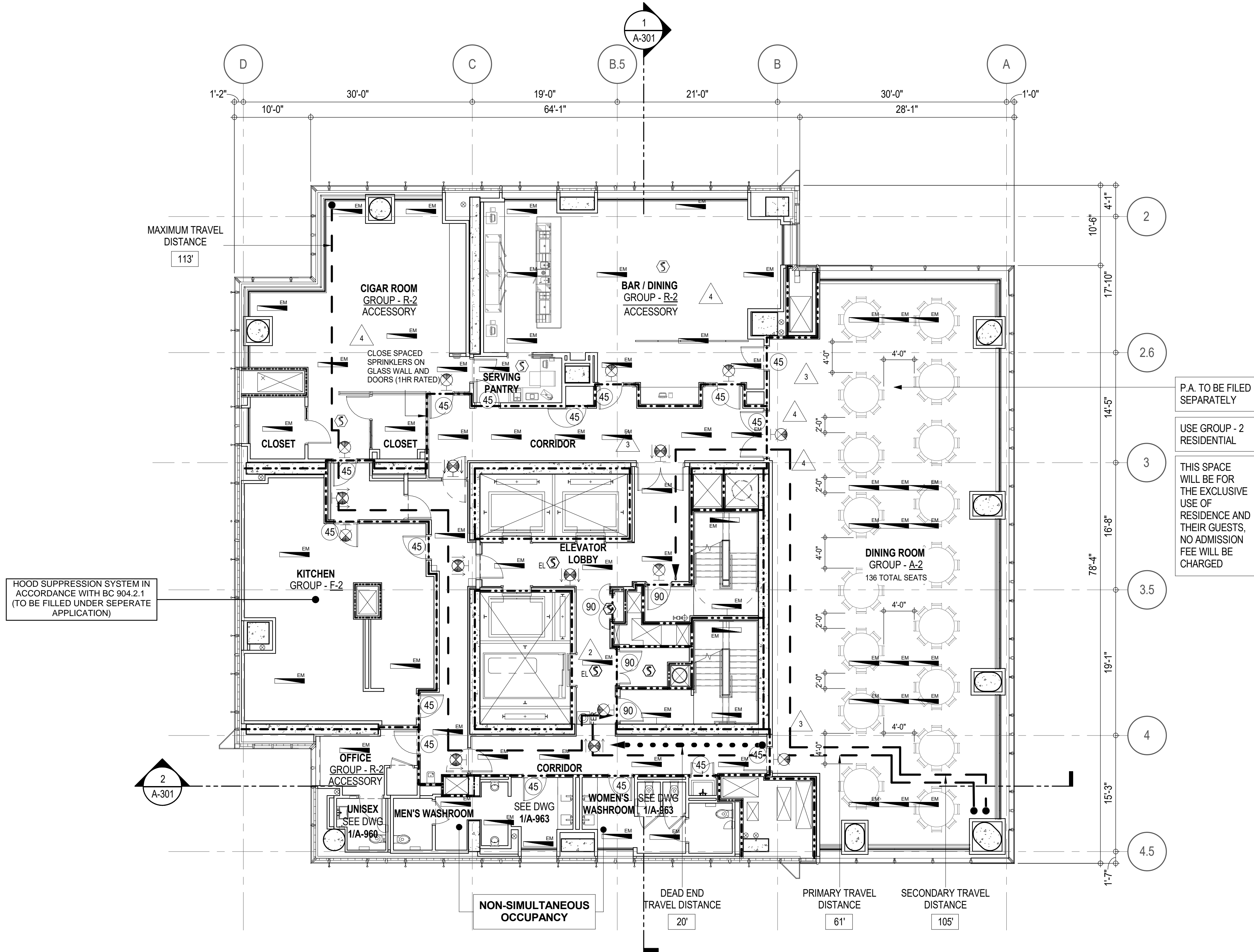
OCCUPANT LOADS SUMMARY 68TH FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
DINING ROOM*	A-2	2,038 SF	15 SF	136
A-2				136
KITCHEN	F-2	708 SF	200 SF	4
F-2 (ACCESSORY SPACE)				4
BAR / DINING	R-2	853 SF	15 SF	57
CIGAR ROOM (NET)	R-2	544 SF	15 SF	37
OFFICE	R-2	92 SF	100 SF	1
R-2 (ACCESSORY SPACE)				95
Grand total				235

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (N)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (232)	STAIR LOAD TOTAL (235)
STAIR - A	44"	0.3	146	118
STAIR - B	44"	0.3	146	117

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (235)
STAIR - A - DOOR	34"	0.2	170	118
STAIR - B - DOOR	34"	0.2	170	117

EXIT STAIR TREADS AND RISERS - BC TABLE 1009 (ACCESSORY TO RESIDENTIAL GROUP R-2)				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.69"	20	64.62"
STAIR - B	9.5"	7.69"	20	46.19"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
F-2	250'	100'	50'
A-2	PRIMARY = 150'	SECONDARY = 250'	20'
R-2	200'	125'	40'



PLUMBING FIXTURES - PER PC TABLE 403.1											
OCCUPANCY	OCC. GRP.	NUMBER OF OCCUPANTS		REQUIRED WATER CLOSETS		REQUIRED LAVATORIES		PROVIDED WATER CLOSETS		PROVIDED LAVATORIES	
		M50%	F50%	M	F	M	F	M	F	M	F
BALL ROOM / CIGAR ROOM / BAR/DINING	A-2 / R-2	115	115	2	2	2	2	3	3	2	2
ACCESSORY	F-2 / R-2	3	3	1		1		1		1	

* URINALS MAY BE PROVIDED IN LIEU OF WATER CLOSETS BUT FOR NO MORE THAN 1/2 OF THE REQUIRED NO. OF WATER CLOSETS WHEN MORE THAN 35 PERSONS.

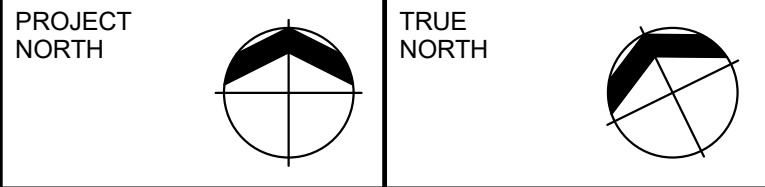
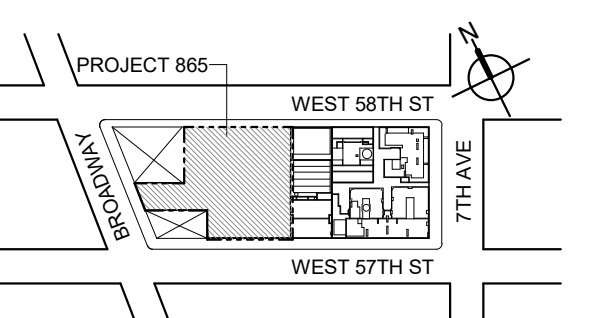
* TABLE 403.1 REQUIRES THE FOLLOWING ADDITIONAL PLUMBING FIXTURES:
DRINKING FOUNTAINS (1 PER 1,000 P.): 1 REQUIRED, 1 PROVIDED
SERVICE SINK: 1 REQUIRED, 1 PROVIDED

EGRESS AND FIRE RATING LEGEND

---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
---	TWO HOUR RATED PARTITION	---	DEAD END
---	THREE HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE
---	FOUR HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
---	NON RATED SMOKE SEPARATION		

SYMBOLS LEGEND

☒	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	☒	WALL MOUNTED ILLUMINATED NO EXIT SIGN	●	FEC FIRE EXTINGUISHER CABINET	☒	SMOKE DETECTOR
☒	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	☒	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	●	SPRINKLER HEAD (REFER TO FP DRAWINGS)	☒	SMOKE / CARBON MONOXIDE DETECTOR
☒	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	☒	ILLUMINATED NO EXIT SIGN	●	STANDPIPE	☒	CEILING MOUNTED EMERGENCY LIGHT
☒	ILLUMINATED EXIT SIGN	☒	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	●	SIAMSESE CONNECTION	☒	WALL MOUNTED EMERGENCY LIGHT
						☒	DOOR RATING (MINUTES)



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 11TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

ARCHITECT OF RECORD: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 867 1500 FAX: 416 867 7150

STRUCTURAL ENGINEERS:
WSP CANTOR SENUK
228 EAST 46th Street
New York, NY 10017 USA
TEL: 212 687 9888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
1501 Broadway
New York, NY 10036 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Fern Plaza - 380 West 31st Street, 8th Floor
New York, NY 10001-2727
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New York, NY 10007
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30 West 57th Street, 12A
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No.	DESCRIPTION:	DATE:
	D.O.B. AMENDMENT 2	21 SEP 15
1	CD PROGRESS ISSUE 6	02 NOV 15
2	CD PROGRESS ISSUE 7	29 JAN 16
3	CD ISSUE 8 - GMP SET	31 MAR 16
4	CD BULLETIN ISSUE - 2	11 MAY 16
	D.O.B. AMENDMENT 3	03 OCT 16

D.O.B. SUBMISSION

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PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
**68TH FLOOR PLAN
BUILDING CODE NOTES
(RESIDENTIAL AMENITIES TIER 4)
(MFD-100TH FLOOR)**

SEAL & SIGNATURE:	DATE:	21 SEP 15
PROJECTED ARCHITECT:	PROJECT No:	1216-00
DRAWN: Author	CHECKED: Checker	REV: 4
DWG No:	DOB PAGE No:	49 of 154
		A-065.02

DOB EMPLOYEE STAMP: DOB B-SCAN:

OCCUPANT LOADS SUMMARY 69TH FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
SUITE A (DUPLX)	R-2	6,789 SF	200 SF	34
Grand total				34

RESTROOM TYPES		
NAME	TYPE	DETAIL DRAWINGS
PR-C01	ADAPTABLE	1/A-988
PR-C02	ADAPTABLE	6/A-988
SB-A01	A	1/A-970
TB-C05	ADAPTABLE	6/A-962

KITCHENS	
NAME	DETAIL DRAWINGS
KIT-A FAMILY RM	9/A-956

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (292)	STAIR LOAD TOTAL (34)
STAIR - A	44"	0.3	146	17
STAIR - B	44"	0.3	146	17

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (34)
STAIR - A - DOOR	34"	0.2	170	17
STAIR - B - DOOR	34"	0.2	170	17

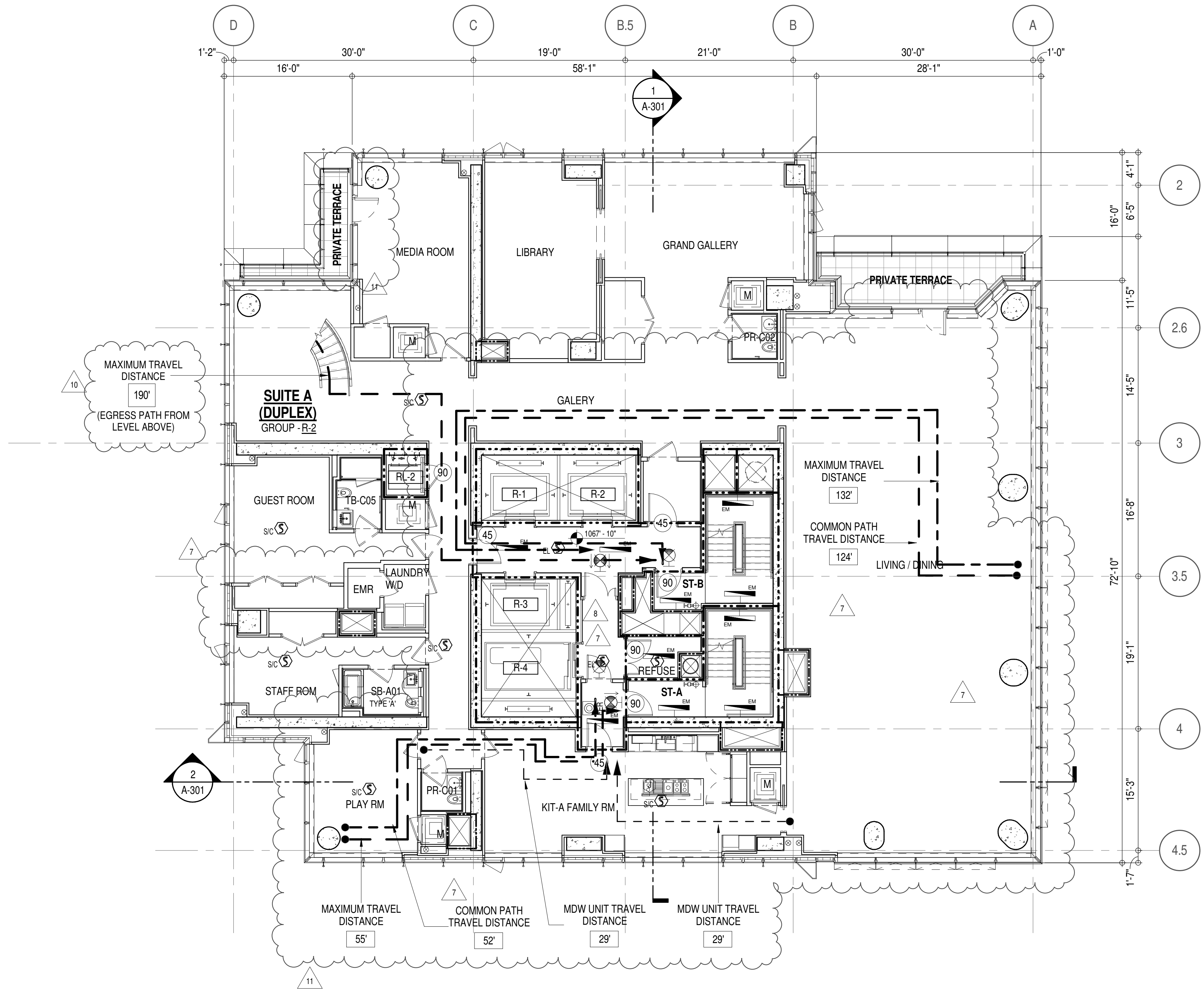
EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.38"	26	51.69"
STAIR - B	9.5"	7.38"	26	51.69"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
R-2	200'	125'	40'

SUITE EXIT DOOR SUMMARY	
DOOR DESIGNATION	DOOR WIDTH (IN)
SUITE A DOOR 1	64"
SUITE A DOOR 2	36"
SUITE A DOOR 3	36"

MULTI DWELLING LAW	
SECTION 103.1 (b) EGRESS FROM APARTMENT MAXIMUM TRAVEL DISTANCE TO MEANS OF EGRESS FROM ANY ROOM WITHIN APARTMENT	50'

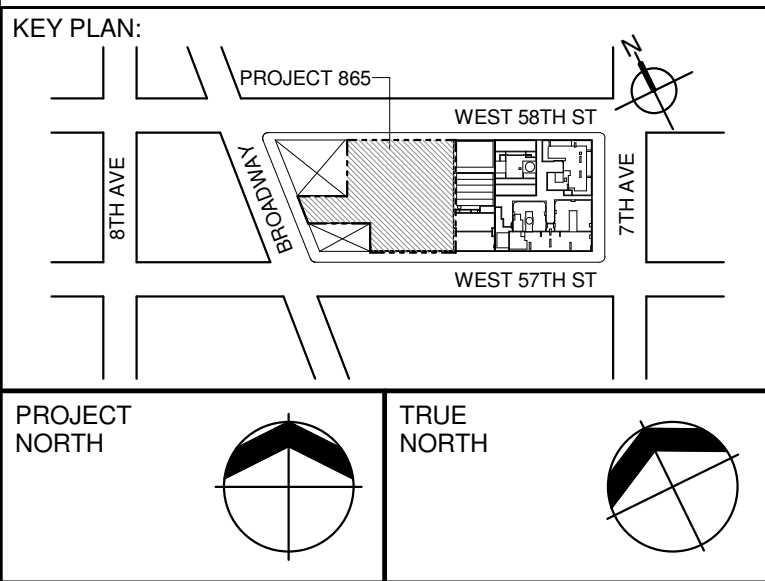
LIGHT & AIR CALCULATION 69TH FLOOR		LIGHT REQUIREMENT -BC-1205-					AIR REQUIREMENT -BC-1203-				
		REQ'D % of Light	# of Curtain Wall Panels (5' typ.)**	Area of Vision Glass	% of Natural Light	REQ'D % of Air	Door Opening Area	# of Operable Windows*	# of Operable Windows†	Area of Ventilating Openings	% of Natural Air
Room Name	Floor Area										
DUPLX LOWER											
GRAND GALLERY	497 SF	10%	3.0	85.50 SF	17.22%	5%	0.00 SF	2	0	27.28 SF	5.49%
GUEST ROOM	207 SF	10%	3.0	85.50 SF	41.25%	5%	0.00 SF	1	0	13.64 SF	6.58%
KIT-A FAMILY RM	491 SF	10%	5.0	142.50 SF	29.03%	**2.5%	0.00 SF	1	0	13.64 SF	2.78%
LIBRARY	327 SF	10%	2.0	57.00 SF	17.45%	5%	0.00 SF	2	0	16.44 SF	5.03%
LIVING / DINING	2,073 SF	10%	20.0	570.00 SF	27.50%	**2.5%	20.00 SF	0	17	70.72 SF	3.41%
MEDIA ROOM	274 SF	10%	4.0	114.00 SF	41.63%	5%	20.00 SF	1	0	33.84 SF	12.29%
PLAY RM	204 SF	10%	3.0	114.00 SF	55.73%	5%	0.00 SF	1	0	13.64 SF	6.67%
STAFF RM	130 SF	10%	2.0	57.00 SF	43.94%	5%	0.00 SF	1	0	13.64 SF	10.51%
*AREA OF VENTILATING OPENINGS @ UPPER LEVEL IN DOUBLE HEIGHT SPACE: 3.43 SF 2.846 SF (SEE 68TH FLOOR)											
**AREA OF VENTILATING OPENING / UNIT: 8.22 SF 13.64 SF											
***AREA OF NATURAL LIGHT SOURCES: 28.50 SF (BASED ON THE MINIMUM AREA PROVIDED FROM 5'-0" MODULE W/ SPLIT MULLION)											
*** 2.5% AIR IS REQUIRED PER BC 1203.4.1.2.1 EXCEPTION 1											



EGRESS AND FIRE RATING LEGEND			
---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
----	TWO HOUR RATED PARTITION	----	DEAD END
-----	THREE HOUR RATED PARTITION	-----	MAXIMUM TRAVEL DISTANCE
-----	FOUR HOUR RATED PARTITION	-----	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
-----	NON RATED SMOKE SEPARATION		

SYMBOLS LEGEND			
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN	FEC FIRE EXTINGUISHER CABINET	SMOKE DETECTOR
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER HEAD (REFER TO FP DRAWINGS)	SMOKE /CARBON MONOXIDE DETECTOR
WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	ILLUMINATED NO EXIT SIGN	STANDPIPE	CEILING MOUNTED EMERGENCY LIGHT
ILLUMINATED EXIT SIGN	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER RISER	WALL MOUNTED EMERGENCY LIGHT
		SIAMESE CONNECTION	DOOR RATING (MINUTES)

SYMBOLS LEGEND	
REVERSIBLE DOOR SWING	STACKED W/D TO BE REPLACED BY ACCESSIBLE COMBINATION UNIT AT REQUEST OF DWELLING UNIT OWNER
M	MECHANICAL UNIT



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 17TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
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401 West 31st St., 3rd Floor
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TEL: 416 967 1500 FAX: 416 967 1750

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6	D.O.B. SUBMISSION	27 APR 15
7	CD PROGRESS ISSUE 4	01 JUN 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 5	02 NOV 15
10	D.O.B. SUBMISSION	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	CD BULLETIN ISSUE - 1	22 APR 16
13	CD BULLETIN ISSUE - 2	12 AUG 16
14	D.O.B. AMENDMENT 3	03 OCT 16

0 4' - 0" 8' - 0" 16' - 0"

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Corrections must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:



PROJECT:
**217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE:
**69TH FLOOR PLAN
BUILDING CODE NOTES
(DUPLX-A-LOWER - TEIR 4)
(MFD-107TH FLOOR)**

SEAL & SIGNATURE: DATE: 15 OCT 14

PROJECT No: 1216-00
DRAWN: Author
CHECKED: Checker
SCALE: 1/8" = 1'-0"

DWG No: **A-066.02**

DOB PAGE No: 76 of 164

DOB EMPLOYEE STAMP: DOB B-SCAN:

OCCUPANT LOADS SUMMARY 71ST FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
SUITE A	R-2	6,412 SF	200 SF	33
Grand total				33

RESTROOM TYPES		
NAME	TYPE	DETAIL DRAWINGS
MB-C11	ADAPTABLE	1/A-978
PR-C01	ADAPTABLE	1/A-988
QB-C03	ADAPTABLE	1/A-986
SB-A03	A	12/A-970
TB-C06	ADAPTABLE	12/A-962
TB-C09	ADAPTABLE	11/A-983

KITCHENS	
NAME	DETAIL DRAWINGS
KIT-A / FAMILY	1/A-957

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (292)	STAIR LOAD TOTAL (33)
STAIR - A	44"	0.3	146	16
STAIR - B	44"	0.3	146	17

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (33)
STAIR - A - DOOR	34"	0.2	170	16
STAIR - B - DOOR	34"	0.2	170	17

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.38"	26	51.69"
STAIR - B	9.5"	7.38"	26	51.69"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
R-2	200'	125'	40'

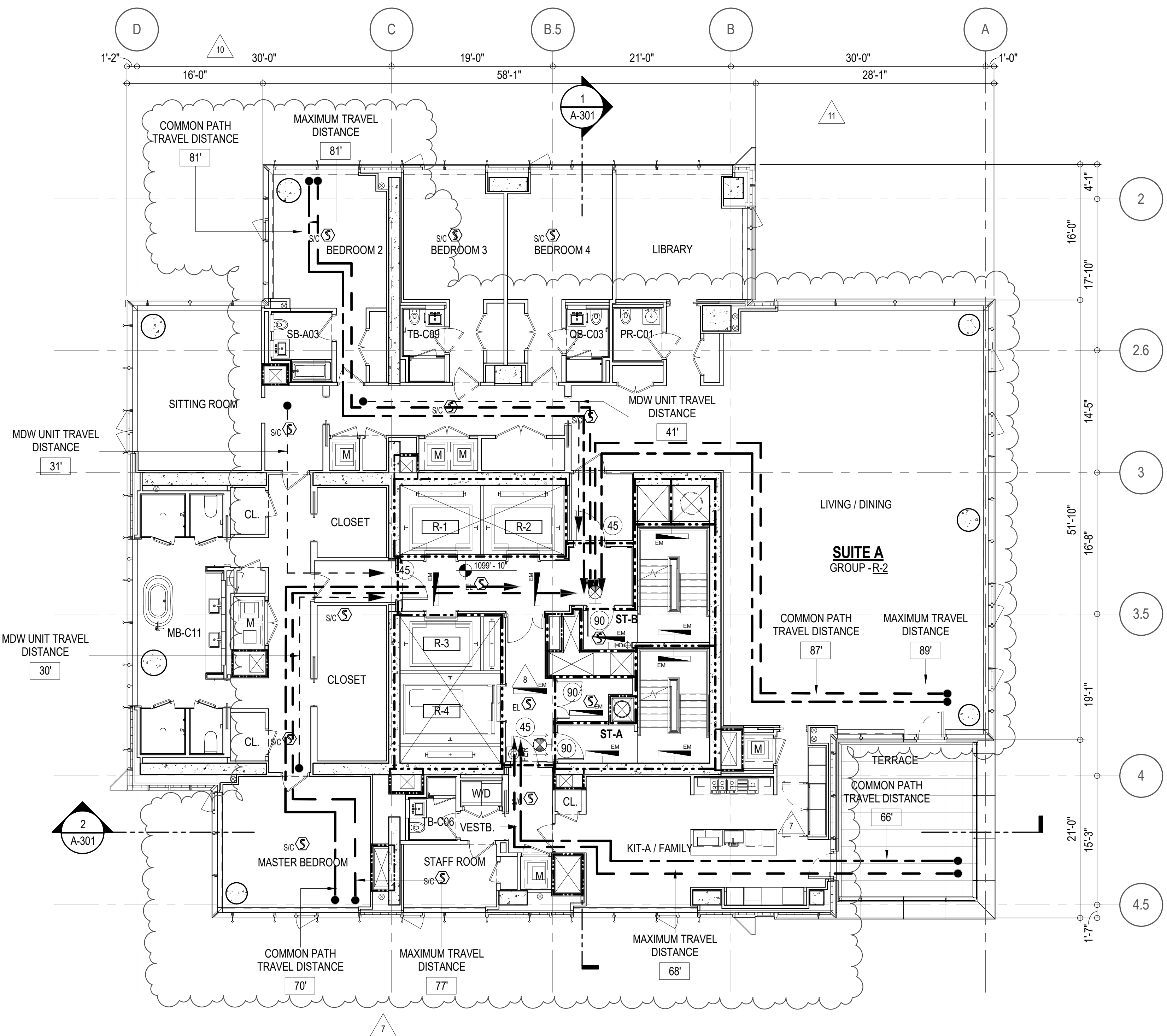
SUITE EXIT DOOR SUMMARY	
DOOR DESIGNATION	DOOR WIDTH (IN)
SUITE A DOOR 1	64"
SUITE A DOOR 2	36"
SUITE A DOOR 3	36"

MULTI DWELLING LAW	
SECTION 103.1 (b) EGRESS FROM APARTMENT	
MAXIMUM TRAVEL DISTANCE TO MEANS OF EGRESS FROM ANY ROOM WITHIN APARTMENT	50'

LIGHT & AIR CALCULATION 71ST FLOOR											
Room Name	Floor Area	LIGHT REQUIREMENT <BC-1205>				AIR REQUIREMENT <BC-1203>					
		REQ'D % of Light	# of Curtain Wall Panels (5' typ.)**	Area of Vision Glass	% of Natural Light	REQ'D % of Air	Door Opening Area	# of Operable Windows*	Area of Ventilating Openings	% of Natural Air	
SUITE A											
BEDROOM 2	214 SF	10%	3.0	85.50 SF	39.93%	5%	0.00 SF	1	13.64 SF	6.37%	
BEDROOM 3	178 SF	10%	2.0	57.00 SF	32.10%	5%	0.00 SF	1	13.64 SF	7.68%	
BEDROOM 4	181 SF	10%	2.0	57.00 SF	31.42%	5%	0.00 SF	1	13.64 SF	7.52%	
KIT-A / FAMILY	450 SF	10%	3.0	85.50 SF	18.98%	5%	20.00 SF	1	33.64 SF	7.47%	
LIBRARY	224 SF	10%	3.0	85.50 SF	38.25%	5%	0.00 SF	1	13.64 SF	6.10%	
LIVING / DINING	1,528 SF	10%	14.0	399.00 SF	26.12%	5%	20.00 SF	5	88.20 SF	5.77%	
MASTER BEDROOM	280 SF	10%	5.0	142.50 SF	50.87%	5%	0.00 SF	2	27.28 SF	9.74%	
SITTING ROOM	290 SF	10%	4.5	128.25 SF	44.20%	5%	0.00 SF	2	16.44 SF	5.67%	
STAFF ROOM	89 SF	10%	2.0	57.00 SF	64.11%	5%	0.00 SF	1	13.64 SF	15.34%	

*AREA OF VENTILATING OPENING / UNIT: 8.22 SF 13.64 SF

**AREA OF NATURAL LIGHT SOURCES: 28.50 SF (BASED ON THE MINIMUM AREA PROVIDED FROM 5'-0" MODULE W/ SPLIT MULLION)



EGRESS AND FIRE RATING LEGEND

-----	ONE HOUR RATED PARTITION	-----	COMMON TRAVEL DISTANCE
-----	TWO HOUR RATED PARTITION	-----	DEAD END
-----	THREE HOUR RATED PARTITION	-----	MAXIMUM TRAVEL DISTANCE
-----	FOUR HOUR RATED PARTITION	-----	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
-----	NON RATED SMOKE SEPARATION		

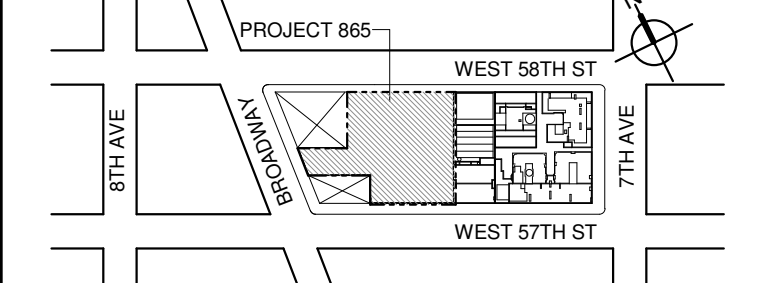
SYMBOLS LEGEND

ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN	FEC FIRE EXTINGUISHER CABINET	SMOKE DETECTOR
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER HEAD (REFER TO FP DRAWINGS)	SMOKE /CARBON MONOXIDE DETECTOR
WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	ILLUMINATED NO EXIT SIGN (ARROW INDICATES DIRECTION)	SPRINKLER RISER	CEILING MOUNTED EMERGENCY LIGHT
ILLUMINATED EXIT SIGN	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SIAMESE CONNECTION	WALL MOUNTED EMERGENCY LIGHT
			DOOR RATING (MINUTES)

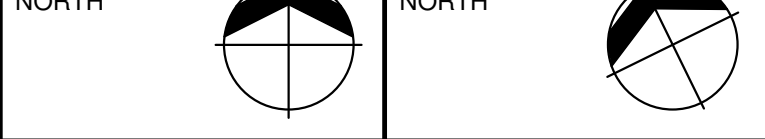
SYMBOLS LEGEND

REVERSIBLE DOOR SWING
STACKED WID TO BE REPLACED BY ACCESSIBLE COMBINATION UNIT AT REQUEST OF DWELLING UNIT OWNER
MECHANICAL UNIT

KEY PLAN:



PROJECT NORTH



DEVELOPER:

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 17TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
AAI ARCHITECTS, P.C.
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

ARCHITECT OF RECORD: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
WSP CANTOR SENUK
228 EAST 46th Street
New York, NY 10017 USA
TEL: 212 687 9888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
1501 Broadway
New York, NY 10036 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 360 West 31st Street, 8th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1816 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 828
New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Higgins Quasebarth & Partners LLC
11 Hanover Square, 16th Floor
New York, NY 10005
TEL: 212 274 9468 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
59 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION:	DATE:
1	CD PROGRESS ISSUE 1	15 OCT 14
2	D.O.B. SUBMISSION	05 DEC 14
3	CD PROGRESS ISSUE 2	19 DEC 14
4	D.O.B. SUBMISSION	18 FEB 15
5	CD PROGRESS ISSUE 3	08 MAR 15
6	D.O.B. SUBMISSION	27 APR 15
7	CD PROGRESS ISSUE 4	01 JUN 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 5	02 NOV 15
10	CD PROGRESS ISSUE 6	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	CD BULLETIN ISSUE - 5	12 AUG 16
13	CD BULLETIN ISSUE - 7	14 SEP 16
14	D.O.B. AMENDMENT 3	03 OCT 16

0 4'-0" 8'-0" 16'-0"

D.O.B. SUBMISSION

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ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:



PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

71ST FLOOR PLAN
BUILDING CODE NOTES
(RESIDENTIAL-TIER 4) (MFD-109TH FLOOR)

SEAL & SIGNATURE: DATE: 15 OCT 14

PROJECT No: 1216.00

DRAWN: Author REV: 11

CHECKED: Checker

SCALE: 1/8" = 1'-0"

DWG No: A-068.02

DOB PAGE No: 72 of 454

DOB EMPLOYEE STAMP: DOB B-SCAN:

DOB B-SCAN:

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OCCUPANT LOADS SUMMARY 72ND FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
SUITE A	R-2	6,447 SF	200 SF	33
Grand total				33

RESTROOM TYPES		
NAME	TYPE	DETAIL DRAWINGS
MB-C11	ADAPTABLE	1/A-978
PR-C01	ADAPTABLE	1/A-988
QB-C03	ADAPTABLE	1/A-986
SB-A03	A	12/A-970
TB-C06	ADAPTABLE	12/A-962
TB-C09	ADAPTABLE	11/A-983

KITCHENS	
NAME	DETAIL DRAWINGS
KIT-A / FAMILY	1/A-957

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (292)	STAIR LOAD TOTAL (33)
STAIR - A	44"	0.3	146	16
STAIR - B	44"	0.3	146	17

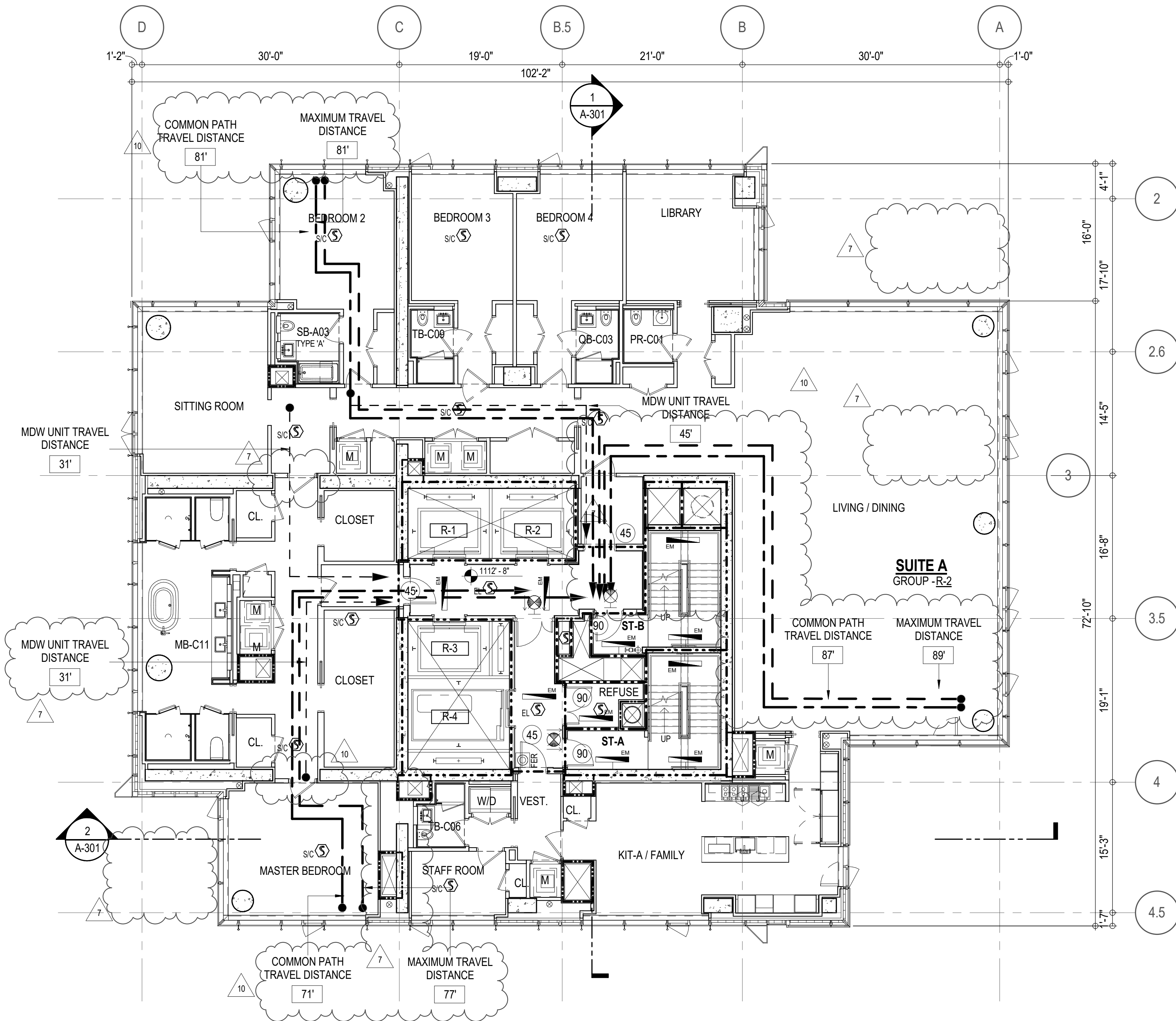
EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (33)
STAIR - A - DOOR	34"	0.2	170	16
STAIR - B - DOOR	34"	0.2	170	17

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.69"	20	61.62"
STAIR - B	9.5"	7.69"	20	61.62"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
R-2	200'	125'	40'

SUITE EXIT DOOR SUMMARY		MULTI DWELLING LAW
DOOR DESIGNATION	DOOR WIDTH (IN)	SECTION 103.1 (b) EGRESS FROM APARTMENT MAXIMUM TRAVEL DISTANCE TO MEANS OF EGRESS FROM ANY ROOM WITHIN APARTMENT 50'
SUITE A DOOR 1	64"	
SUITE A DOOR 2	36"	
SUITE A DOOR 3	36"	

LIGHT & AIR CALCULATION 72ND FLOOR									
Room Name	Floor Area	LIGHT REQUIREMENT <BC-1205>				AIR REQUIREMENT <BC-1203>			
		REQ'D % of Light	# of Curtain Wall Panels (5' typ.)**	PROVIDED		REQ'D % of Air	PROVIDED		
				Area of Vision Glass	% of Natural Light		Natural Ventilating Openings	% of Natural Air	
SUITE A									
BEDROOM 2	213 SF	10%	4.0	114.00 SF	53.48%	5%	1	13.64 SF	6.40%
BEDROOM 3	177 SF	10%	2.0	57.00 SF	32.26%	5%	1	13.64 SF	7.72%
BEDROOM 4	182 SF	10%	2.0	57.00 SF	31.36%	5%	1	13.64 SF	7.50%
KIT-A / FAMILY	447 SF	10%	4.0	114.00 SF	25.50%	5%	2	27.28 SF	6.10%
LIBRARY	223 SF	10%	2.0	57.00 SF	25.54%	5%	1	13.64 SF	6.11%
LIVING / DINING	1,528 SF	10%	14.5	413.25 SF	27.05%	5%	6	81.84 SF	5.36%
MASTER BEDROOM	280 SF	10%	5.0	142.50 SF	50.89%	5%	2	27.28 SF	9.74%
SITTING ROOM	290 SF	10%	5.5	156.75 SF	54.03%	5%	2	16.44 SF	5.67%
STAFF ROOM	89 SF	10%	2.0	57.00 SF	64.12%	5%	1	13.64 SF	15.34%
*AREA OF VENTILATING OPENING / UNIT: 8.22 SF				13.64 SF					
**AREA OF NATURAL LIGHT SOURCES: 28.50 SF (BASED ON THE MINIMUM AREA PROVIDED FROM 5'-0" MODULE W/ SPLIT MULLION)									

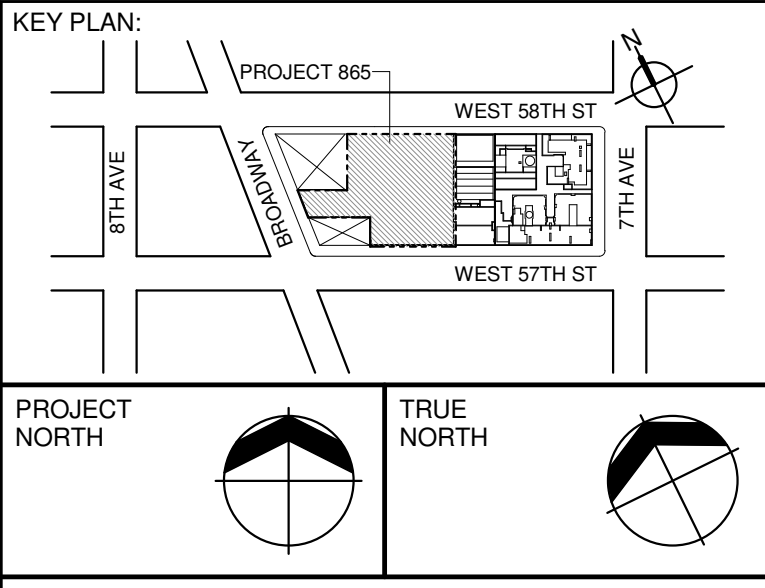


EGRESS AND FIRE RATING LEGEND			
_____	ONE HOUR RATED PARTITION	_____	COMMON TRAVEL DISTANCE
_____	TWO HOUR RATED PARTITION	• • • • •	DEAD END
_____	THREE HOUR RATED PARTITION	_____	MAXIMUM TRAVEL DISTANCE
_____	FOUR HOUR RATED PARTITION	_____	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
_____	NON RATED SMOKE SEPARATION		

SYMBOLS LEGEND		
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN	FEC FIRE EXTINGUISHER CABINET
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER HEAD (REFER TO FP DRAWINGS)
WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	ILLUMINATED NO EXIT SIGN	STANDPIPE
ILLUMINATED EXIT SIGN	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER RISER
		SIAMSE CONNECTION

SMOKE DETECTOR	SC SMOKE (CARBON MONOXIDE) DETECTOR
CEILING MOUNTED EMERGENCY LIGHT	WALL MOUNTED EMERGENCY LIGHT
DOOR RATING (MINUTES)	

SYMBOLS LEGEND	
REVERSIBLE DOOR SWING	STACKED WID TO BE REPLACED BY ACCESSIBLE COMBINATION UNIT AT REQUEST OF DWELLING UNIT OWNER
MECHANICAL UNIT	



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 17TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

ARCHITECT OF RECORD: Base Building Shell & Core
AAI ARCHITECTS, P.C.
4011 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
WSP CANTOR SENUK
228 EAST 46th Street
New York, NY 10017 USA
TEL: 212 687 9888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
1501 Broadway
New York, NY 10036 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Fern Plaza - 360 West 31st Street, 8th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1816 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 808
New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Higgins Quasebarth & Partners LLC
11 Hanover Square, 16th Floor
New York, NY 10005
TEL: 212 274 9468 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
59 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION:	DATE:
1	CD PROGRESS ISSUE 1	15 OCT 14
2	D.O.B. SUBMISSION	05 DEC 14
3	CD PROGRESS ISSUE 2	19 DEC 14
4	D.O.B. SUBMISSION	18 FEB 15
5	CD PROGRESS ISSUE 3	08 MAR 15
6	D.O.B. SUBMISSION	27 APR 15
7	CD PROGRESS ISSUE 4	01 JUN 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	CD BULLETIN ISSUE - 7	14 SEP 16
13	D.O.B. AMENDMENT 3	03 OCT 16

0 4'-0" 8'-0" 16'-0"

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Corrections must check all dimensions on site. This drawing is protected by copyright.

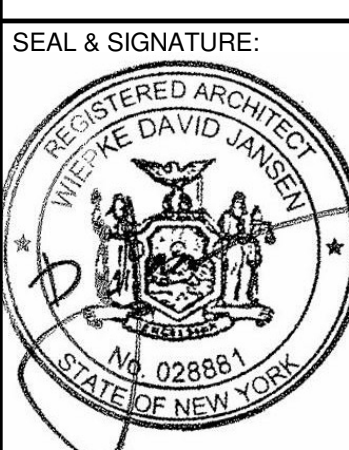
ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:
AAI
ARCHITECTS, P.C.

PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
**72ND - 88TH FLOOR PLAN
BUILDING CODE NOTES
(RESIDENTIAL-TIER 4)
(MFD-110TH-126TH FLOOR)**

SEAL & SIGNATURE:	DATE:	15 OCT 14
PROJECT No:	1216-00	
DRAWN: Author	CHECKED: Checker	REV: 10
SCALE: 1/8" = 1'-0"		
DWG No:		
DOB PAGE No:	79 of 164	
DOB B-SCAN:		



OCCUPANT LOADS SUMMARY 89TH FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
SUITE A (DUPLEX)	R-2	5,948 SF	200 SF	30
Grand total				30

RESTROOM TYPES		
NAME	TYPE	DETAIL DRAWINGS
PR-C01	ADAPTABLE	1/A-988
SB-A01	A	1/A-970
TB-C01	ADAPTABLE	1/A-981
TB-C08	ADAPTABLE	6/A-983

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (292)	STAIR LOAD TOTAL (30)
STAIR - A	44"	0.3	146	15
STAIR - B	44"	0.3	146	15

KITCHENS	
NAME	DETAIL DRAWINGS
KITCHEN	1/A-958

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (30)
STAIR - A - DOOR	34"	0.2	170	15
STAIR - B - DOOR	34"	0.2	170	15

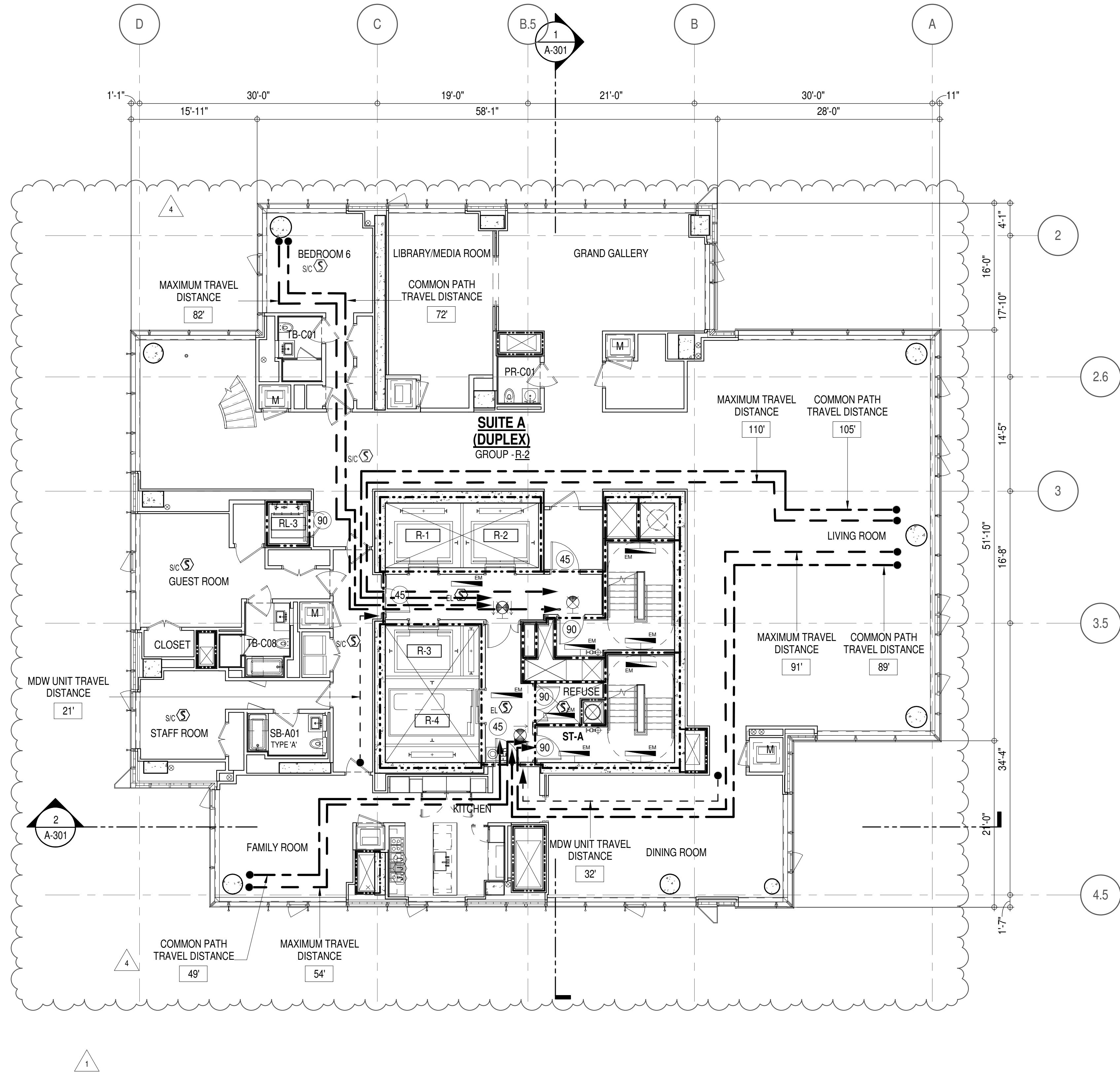
EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.38"	26	51.69"
STAIR - B	9.5"	7.38"	26	51.69"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
R-2	200'	125'	40'

SUITE EXIT DOOR SUMMARY		MULTI DWELLING LAW
DOOR DESIGNATION	DOOR WIDTH (IN)	
SUITE A DOOR 1	64"	SECTION 103.1 (b) EGRESS FROM APARTMENT MAXIMUM TRAVEL DISTANCE TO MEANS OF EGRESS FROM ANY ROOM WITHIN APARTMENT
SUITE A DOOR 2	36"	
SUITE A DOOR 3	36"	
		50'

LIGHT & AIR CALCULATION 89TH FLOOR									
Room Name	Floor Area	LIGHT REQUIREMENT <BC-1205>			AIR REQUIREMENT <BC-1203>			Area of Natural Light	% of Natural Air
		REQ'D % of Light	# of Curtain Wall Panels (5' typ.)**	PROVIDED Natural Light Area of Vision Glass	REQ'D % of Air	# of Operable Windows*	PROVIDED Natural Ventilating Openings Area of Ventilating Openings		
PENTHOUSE L1									
BEDROOM 6	173 SF	10%	4.0	114.00 SF	65.76%	5%	1	13.64 SF	7.87%
DINING ROOM	478 SF	10%	6.0	171.00 SF	35.74%	5%	2	27.28 SF	5.70%
FAMILY ROOM	282 SF	10%	5.0	142.50 SF	50.45%	5%	2	27.28 SF	9.66%
GRAND GALLERY	472 SF	10%	5.0	142.50 SF	30.16%	5%	2	27.28 SF	5.77%
GUEST ROOM	200 SF	10%	3.0	85.50 SF	42.78%	5%	1	13.64 SF	6.82%
KITCHEN	215 SF	10%	2.0	57.00 SF	26.56%	5%	1	13.64 SF	6.36%
LIBRARY/MEDIA ROOM	270 SF	10%	2.0	57.00 SF	21.09%	5%	1	13.64 SF	5.05%
LIVING ROOM	1,594 SF	10%	15.0	427.50 SF	27.88%	5%	6	81.84 SF	5.33%
STAFF ROOM	119 SF	10%	2.0	57.00 SF	48.06%	5%	1	13.64 SF	11.50%

*AREA OF VENTILATING OPENING / UNIT: 13.64 SF

**AREA OF NATURAL LIGHT SOURCES: 28.50 SF
(BASED ON THE MINIMUM AREA PROVIDED FROM 5'-0" MODULE W/ SPLIT MULLION)

EGRESS AND FIRE RATING LEGEND

-----	ONE HOUR RATED PARTITION	-----	COMMON TRAVEL DISTANCE
-----	TWO HOUR RATED PARTITION	-----	DEAD END
-----	THREE HOUR RATED PARTITION	-----	MAXIMUM TRAVEL DISTANCE
-----	FOUR HOUR RATED PARTITION	-----	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
-----	NON RATED SMOKE SEPARATION		

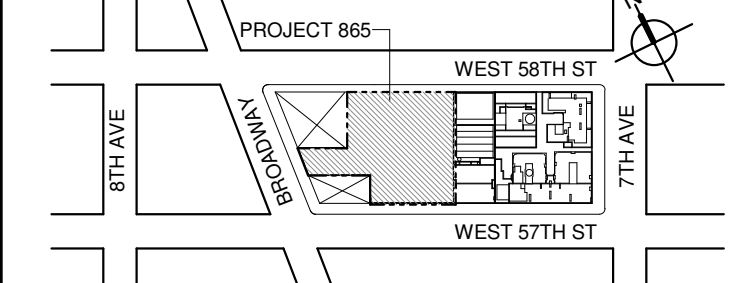
SYMBOLS LEGEND

ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN	FEC FIRE EXTINGUISHER CABINET	SMOKE DETECTOR
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER HEAD (REFER TO FP DRAWINGS)	SMOKE / CARBON MONOXIDE DETECTOR
WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	ILLUMINATED NO EXIT SIGN	STANDPIPE	CEILING MOUNTED EMERGENCY LIGHT
ILLUMINATED EXIT SIGN	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER RISER	WALL MOUNTED EMERGENCY LIGHT
		SIAMESE CONNECTION	DOOR RATING (MINUTES)

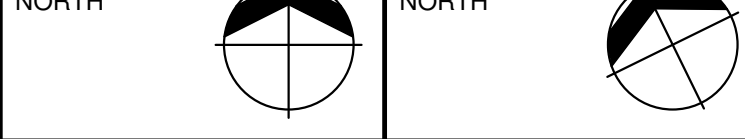
SYMBOLS LEGEND

REVERSIBLE DOOR SWING
STACKED W/D TO BE REPLACED BY ACCESSIBLE COMBINATION UNIT AT REQUEST OF DWELLING UNIT OWNER
MECHANICAL UNIT

KEY PLAN:



PROJECT NORTH



DEVELOPER:

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 17TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100DESIGN ARCHITECT: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 West 57th St., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 1500
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775ARCHITECT OF RECORD: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 West 57th St., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 1500
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775STRUCTURAL ENGINEERS:
WSP CANTOR SENUK
228 EAST 46th Street
New York, NY 10017 USA
TEL: 212 687 9888 FAX: 646 487 5501MEP ENGINEERS:
AKF GROUP
1501 Broadway
New York, NY 10036 USA
TEL: 212 354 5656 FAX: 212 354 5668GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza, 380 West 31st Street, 8th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1816 FAX: 212 385 1911CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 808
New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508LANDMARK/PRESERVATION CONSULTANT:
Higgins Quasebarth & Partners LLC
11 Hanover Square, 16th Floor
New York, NY 10005
TEL: 212 274 9468 FAX: 646 274 9380LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
59 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION:	DATE:
	D.O.B. AMENDMENT 2	21 SEP 15
1	CD PROGRESS ISSUE 6	02 NOV 15
2	CD PROGRESS ISSUE 7	29 JAN 16
3	CD ISSUE 8 - GMP SET	31 MAR 16
4	CD BULLETIN ISSUE - 7	14 SEP 16
	D.O.B. AMENDMENT 3	03 OCT 16

D.O.B. SUBMISSION

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CONSULTANT:



PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

89TH FLOOR PLAN
BUILDING CODE NOTES
(PENTHOUSE L1 - TIER 4)
(MFD-127TH FLOOR)

SEAL & SIGNATURE: DATE: 21 SEP 15

PROJECT No: 1216-00

DRAWN: Author REV: 4

CHECKED: Checker

SCALE: 1/8" = 1'-0"

DWG No: A-070.02

DOB PAGE No: 76 of 164

DOB EMPLOYEE STAMP: DOB B-SCAN:

OCCUPANT LOADS SUMMARY 90TH FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
MECHANICAL	F-2	2,271 SF	300 SF	8
PENTHOUSE	R-2	3,723 SF	200 SF	19
Grand total				27

RESTROOM TYPES		
NAME	TYPE	DETAIL DRAWINGS
MB-C09	ADAPTABLE	1/A-977
MB-C10	ADAPTABLE	9/A-977
OB-C04	ADAPTABLE	9/A-986
SB-A01	A	1/A-970
TB-C01	ADAPTABLE	1/A-951
TB-C11	ADAPTABLE	11/A-984

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (292)	STAIR LOAD TOTAL (27)
STAIR - A	44"	0.3	146	13
STAIR - B	44"	0.3	146	14

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (27)
STAIR - A - DOOR	34"	0.2	170	13
STAIR - B - DOOR	34"	0.2	170	14

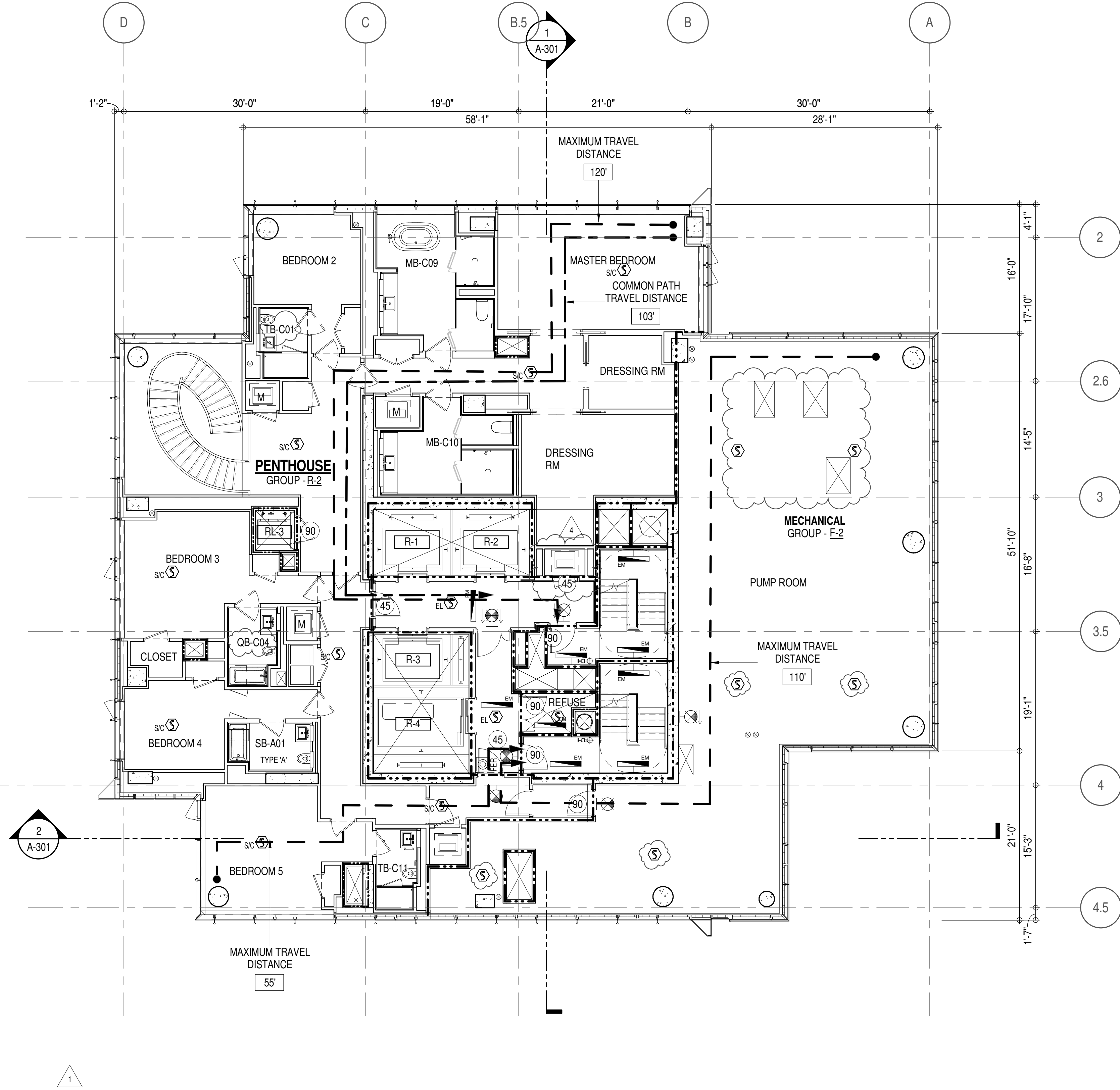
EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.38"	26	51.69"
STAIR - B	9.5"	7.38"	26	51.69"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
R-2	200'	125'	40'



















SUITE EXIT DOOR SUMMARY		MULTI DWELLING LAW
DOOR DESIGNATION	DOOR WIDTH (IN)	SECTION 103.1 (b) EGRESS FROM APARTMENT MAXIMUM TRAVEL DISTANCE TO MEANS OF EGRESS FROM ANY ROOM WITHIN APARTMENT 50'
SUITE A DOOR 1	36"	
SUITE A DOOR 2	36"	

LIGHT & AIR CALCULATION 90TH FLOOR									
LIGHT REQUIREMENT <BC-1205>						AIR REQUIREMENT <BC-1203>			
Room Name	Floor Area	REQ'D % of Light	# of Curtain Wall Panels (5' typ.)**	Area of Vision Glass	% of Natural Light	PROVIDED	PROVIDED		
						Natural Light	Natural Ventilating Openings	% of Natural Air	
						REQ'D % of Air	# of Operable Windows*	Area of Ventilating Openings	% of Natural Air
DUPLEX UPPER									
BEDROOM 2	158 SF	10%	4.0	114.00 SF	72.34%	5%	1	13.64 SF	8.66%
BEDROOM 3	229 SF	10%	3.0	85.50 SF	37.29%	5%	1	13.64 SF	5.95%
BEDROOM 4	138 SF	10%	2.0	57.00 SF	41.30%	5%	1	13.64 SF	9.88%
BEDROOM 5	234 SF	10%	4.0	114.00 SF	48.72%	5%	1	13.64 SF	5.83%
MASTER BEDROOM	372 SF	10%	4.0	114.00 SF	30.68%	5%	2	27.28 SF	7.34%

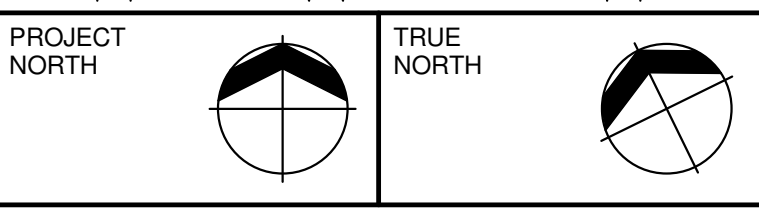
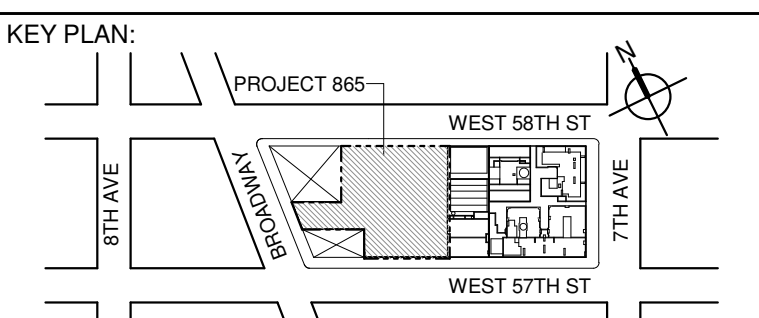
*AREA OF VENTILATING OPENING / UNIT: 13.64 SF
**AREA OF NATURAL LIGHT SOURCES: 28.50 SF
(BASED ON THE MINIMUM AREA PROVIDED FROM 5'-0" MODULE W/ SPLIT MULLION)



EGRESS AND FIRE RATING LEGEND			
-----	ONE HOUR RATED PARTITION	-----	COMMON TRAVEL DISTANCE
-----	TWO HOUR RATED PARTITION	-----	DEAD END
-----	THREE HOUR RATED PARTITION	-----	MAXIMUM TRAVEL DISTANCE
-----	FOUR HOUR RATED PARTITION	-----	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
-----	NON RATED SMOKE SEPARATION		

SYMBOLS LEGEND			
	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		WALL MOUNTED ILLUMINATED NO EXIT SIGN
	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)
	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		ILLUMINATED NO EXIT SIGN
	ILLUMINATED EXIT SIGN		ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)
	FEC FIRE EXTINGUISHER CABINET		SPRINKLER HEAD (REFER TO FP DRAWINGS)
	STANDPIPE		SPRINKLER RISER
	SIAMESE CONNECTION		SMOKE DETECTOR
			SMOKE (CARBON MONOXIDE) DETECTOR
			CEILING MOUNTED EMERGENCY LIGHT
			WALL MOUNTED EMERGENCY LIGHT
			DOOR RATING (MINUTES)

SYMBOLS LEGEND	
	REVERSIBLE DOOR SWING
	STACKED W/D TO BE REPLACED BY ACCESSIBLE COMBINATION UNIT AT REQUEST OF DWELLING UNIT OWNER
	MECHANICAL UNIT



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 17TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 West 31st St., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 1750

ARCHITECT OF RECORD: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 West 31st St., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 1750

STRUCTURAL ENGINEERS:
WSP CANTOR SENUK
228 EAST 46th Street
New York, NY 10017 USA
TEL: 212 687 9888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
1501 Broadway
New York, NY 10036 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 360 West 31st Street, 26th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1816 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 828
New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508

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New York, NY 10005
TEL: 212 274 9468 FAX: 646 274 9380

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Jan Hird Pokorny Associates, Inc.
50 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION:	DATE:
	D.O.B. AMENDMENT 2	21 SEP 15
1	CD PROGRESS ISSUE 6	02 NOV 15
2	CD PROGRESS ISSUE 7	29 JAN 16
3	CD ISSUE 8 - GMP SET	31 MAR 16
4	CD BULLETIN ISSUE - 7	14 SEP 16
	D.O.B. AMENDMENT 3	03 OCT 16

D.O.B. SUBMISSION

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CONSULTANT:
AAI
ARCHITECTS, P.C.

PROJECT:
**217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE:
**90TH FLOOR PLAN
BUILDING CODE NOTES
(PENTHOUSE L2 - TIER 4)
(MFD-128TH FLOOR)**

SEAL & SIGNATURE: PROJECT No: 1216-00 DATE: 21 SEP 15

DRAWN: Author CHECKED: Checker REV: 4

SCALE: 1/8" = 1'-0" DWG No: A-071.02

DOB PAGE No: 76 of 164 DOB B-SCAN:

OCCUPANT LOADS SUMMARY 91ST FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
PENTHOUSE	R-2 (200)	6,466 SF	200 SF	33
Grand total				33

RESTROOM TYPES		
NAME	TYPE	DETAIL DRAWINGS
PR-C01	ADAPTABLE	1/A-988
SB-A01	A	1/A-970
TB-C08	ADAPTABLE	6/A-963

KITCHENS	
NAME	DETAIL DRAWINGS
KIT-A	1/A-958

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (292)	STAIR LOAD TOTAL (33)
STAIR - A	44"	0.3	146	16
STAIR - B	44"	0.3	146	17

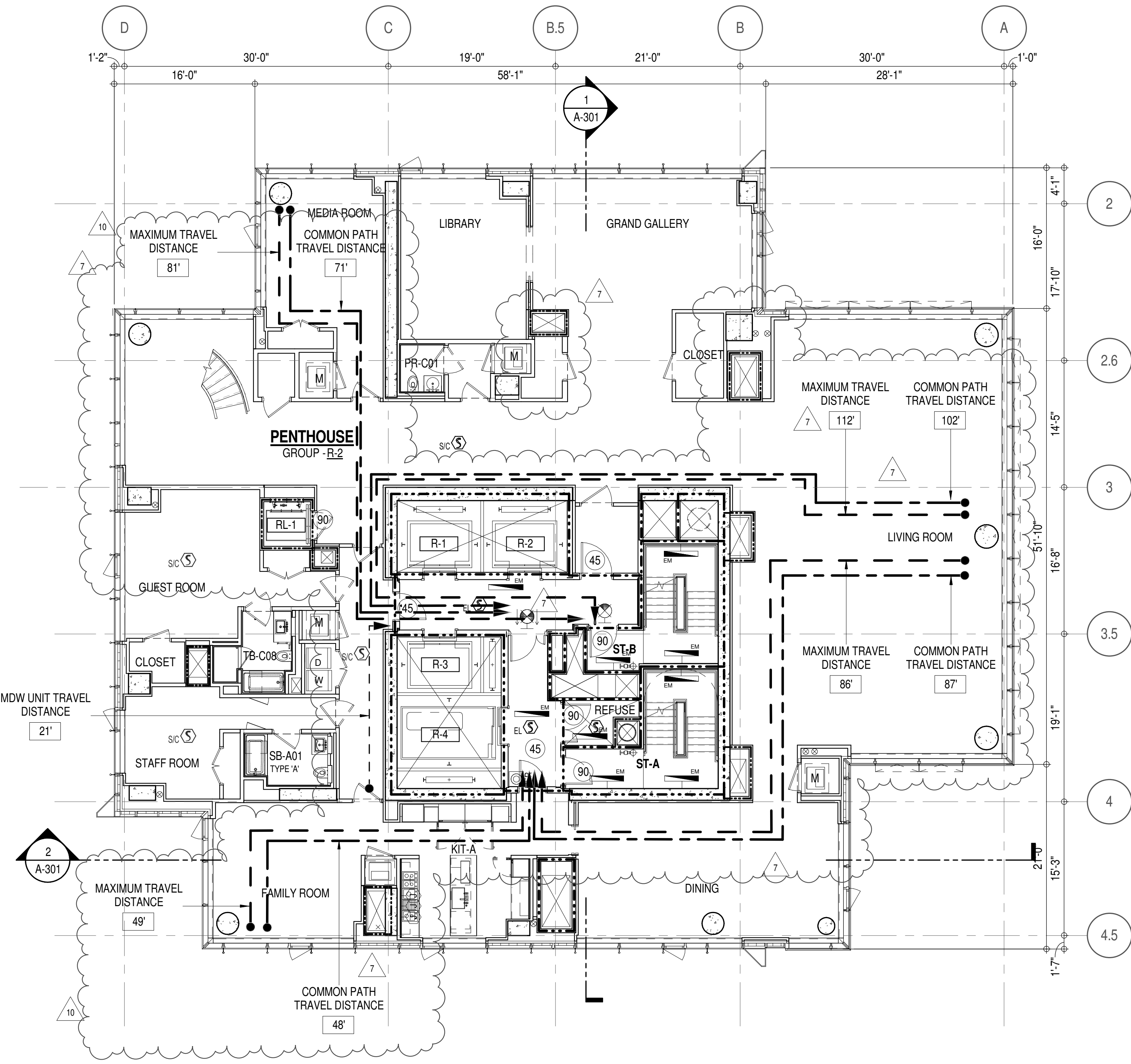
EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (33)
STAIR - A - DOOR	34"	0.2	170	16
STAIR - B - DOOR	34"	0.2	170	17

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.38"	26	51.69"
STAIR - B	9.5"	7.38"	26	51.69"














LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
R-2	200'	125'	40'

SUITE EXIT DOOR SUMMARY		MULTI DWELLING LAW
DOOR DESIGNATION	DOOR WIDTH (IN)	
SUITE A DOOR 1	36"	SECTION 103.1 (b) EGRESS FROM APARTMENT MAXIMUM TRAVEL DISTANCE TO MEANS OF EGRESS FROM ANY ROOM WITHIN APARTMENT
SUITE A DOOR 2	36"	
SUITE A DOOR 3	36"	

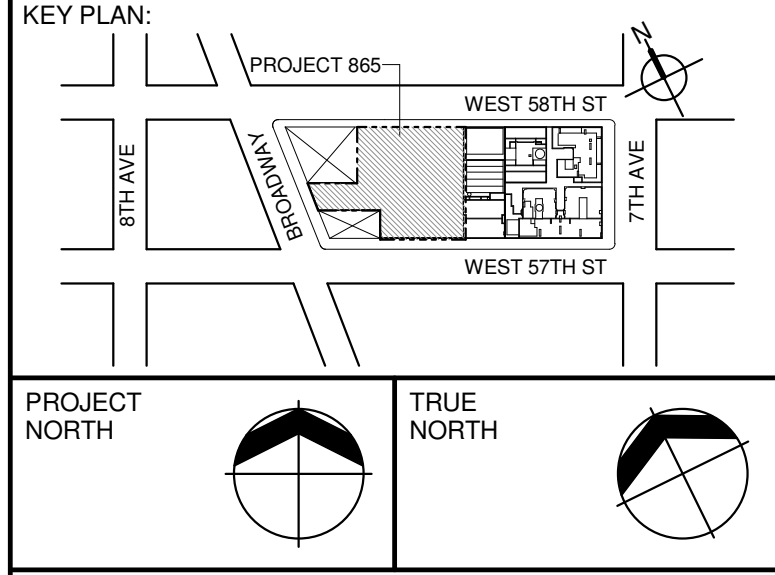
LIGHT & AIR CALCULATION 91ST FLOOR										
Room Name	Floor Area	LIGHT REQUIREMENT -BC-1205-				AIR REQUIREMENT -BC-1203-				
		REQ'D % of Light	# of Curtain Wall Panels (5' typ.)**	Area of Vision Glass	% of Natural Light	REQ'D % of Air	# of Operable Windows*	# of Ventilating Openings	Area of Ventilating Openings	% of Natural Air
PENTHOUSE L1										
DINING	470 SF	10%	6.0	171.00 SF	36.35%	5%	2	0	27.28 SF	5.80%
FAMILY ROOM	285 SF	10%	5.0	142.50 SF	50.04%	5%	2	0	27.28 SF	9.58%
GRAND GALLERY	511 SF	10%	5.0	142.50 SF	27.87%	5%	2	0	27.28 SF	5.33%
GUEST ROOM	249 SF	10%	3.0	85.50 SF	34.31%	5%	1	0	13.64 SF	5.47%
KIT-A	219 SF	10%	2.0	57.00 SF	26.02%	5%	1	0	13.64 SF	6.23%
LIBRARY	256 SF	10%	2.0	57.00 SF	22.28%	5%	1	0	13.64 SF	5.33%
LIVING ROOM	1,483 SF	10%	15.0	427.50 SF	28.83%	5%	0	14	45.64 SF	3.08%
MEDIA ROOM	234 SF	10%	4.0	114.00 SF	48.80%	5%	1	0	13.64 SF	5.84%
STAFF ROOM	134 SF	10%	2.0	57.00 SF	42.39%	5%	1	0	13.64 SF	10.14%
*AREA OF VENTILATING OPENINGS IN LIVING ROOM: 3.43 SF 2.846 SF 4.75 SF 4.168 SF										
*AREA OF VENTILATING OPENING / UNIT: 13.64 SF										
**AREA OF NATURAL LIGHT SOURCES: 28.50 SF (BASED ON THE MINIMUM AREA PROVIDED FROM 5'-0" MODULE W/ SPLIT MULLION)										



EGRESS AND FIRE RATING LEGEND			
-----	ONE HOUR RATED PARTITION	_____	COMMON TRAVEL DISTANCE
-----	TWO HOUR RATED PARTITION	• • • • •	DEAD END
-----	THREE HOUR RATED PARTITION	_____	MAXIMUM TRAVEL DISTANCE
-----	FOUR HOUR RATED PARTITION	-----	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
-----	NON RATED SMOKE SEPARATION		

SYMBOLS LEGEND					
	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		WALL MOUNTED ILLUMINATED NO EXIT SIGN		FEC FIRE EXTINGUISHER CABINET
	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)		SPRINKLER HEAD (REFER TO FP DRAWINGS)
	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		ILLUMINATED NO EXIT SIGN		STANDPIPE
	ILLUMINATED EXIT SIGN		ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)		SPRINKLER RISER
					SIAMESE CONNECTION

SYMBOLS LEGEND	
↔	REVERSIBLE DOOR SWING
W/D	STACKED W/D TO BE REPLACED BY ACCESSIBLE COMBINATION UNIT AT REQUEST OF DWELLING UNIT OWNER
M	MECHANICAL UNIT



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 West 31st Street, 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 1750

ARCHITECT OF RECORD: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 West 31st Street, 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 1750

STRUCTURAL ENGINEERS:
WSP CANTOR SENUK
228 EAST 46th Street
New York, NY 10017 USA
TEL: 212 687 9888 FAX: 646 487 5501

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New York, NY 10018
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No.	DESCRIPTION:	DATE:
1	CD PROGRESS ISSUE 1	15 OCT 14
2	D.O.B. SUBMISSION	05 DEC 14
3	CD PROGRESS ISSUE 2	19 DEC 14
4	D.O.B. SUBMISSION	18 FEB 15
5	CD PROGRESS ISSUE 3	08 MAR 15
6	D.O.B. SUBMISSION	27 APR 15
7	D.O.B. AMENDMENT 2	21 JUN 15
8	CD PROGRESS ISSUE 6	02 NOV 15
9	CD PROGRESS ISSUE 7	29 JAN 16
10	CD ISSUE 8 - GMP SET	31 MAR 16
11	CD BULLETIN ISSUE - 7	14 SEP 16
12	D.O.B. AMENDMENT 3	03 OCT 16

D.O.B. SUBMISSION

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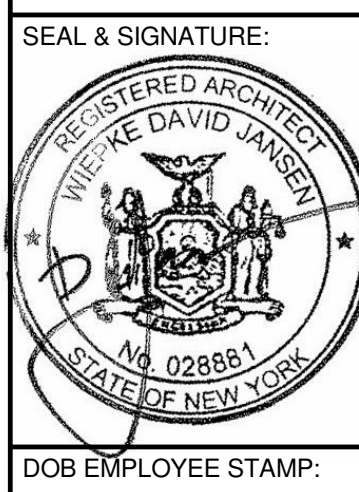
ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:
AAI
ARCHITECTS, P.C.

PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
**91ST FLOOR PLAN
BUILDING CODE NOTES
(PENTHOUSE L1 - TIER 4)
(MFD-129TH FLOOR)**

SEAL & SIGNATURE:	DATE:	15 OCT 14
PROJECT No:	1216-00	
DRAWN: Author	REV:	
CHECK: Checker		
SCALE: 1/8" = 1'-0"		
DWG No:		
DOB PAGE No:	76 of 164	
DOB B-SCAN:		



OCCUPANT LOADS SUMMARY 92ND FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
PENTHOUSE	R-2	4,792 SF	200 SF	24
Grand total				24

RESTROOM TYPES		
NAME	TYPE	DETAIL DRAWINGS
MB-C09	ADAPTABLE	1/A-977
MB-C10	ADAPTABLE	9/A-977
OB-C04	ADAPTABLE	9/A-986
OB-C05	ADAPTABLE	1/A-987
SB-A01	A	1/A-970
TB-C01	ADAPTABLE	1/A-961

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (292)	STAIR LOAD TOTAL (24)
STAIR - A	44"	0.3	146	12
STAIR - B	44"	0.3	146	12

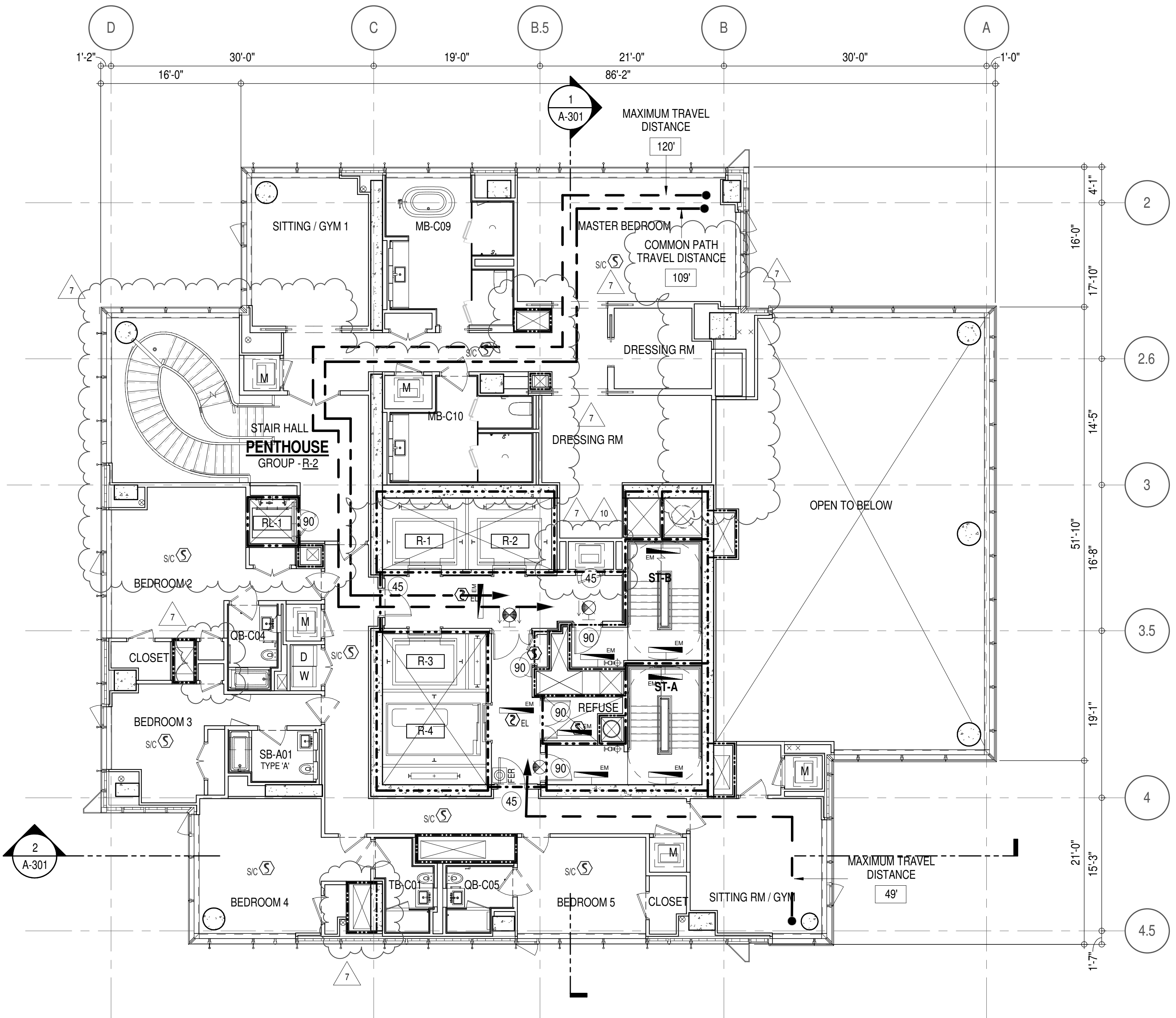
EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (24)
STAIR - A - DOOR	34"	0.2	170	12
STAIR - B - DOOR	34"	0.2	170	12

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.38"	26	51.69"
STAIR - B	9.5"	7.38"	26	51.69"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1015.3)	DEAD END (BC 1015.3)
R-2	200'	125'	40'

SUITE EXIT DOOR SUMMARY		MULTI DWELLING LAW
DOOR DESIGNATION	DOOR WIDTH (IN)	SECTION 103.1 (b) EGRESS FROM APARTMENT MAXIMUM TRAVEL DISTANCE TO MEANS OF EGRESS FROM ANY ROOM WITHIN APARTMENT 50'
SUITE A DOOR 1	36"	
SUITE A DOOR 2	36"	

LIGHT & AIR CALCULATION 92ND FLOOR									
Room Name	Floor Area	LIGHT REQUIREMENT <BC-1205>				AIR REQUIREMENT <BC-1203>			
		REQ'D % of Light	# of Curtain Wall Panels (5' typ.)**	PROVIDED Natural Light Area of Vision Glass	% of Natural Light	REQ'D % of Air	# of Operable Windows*	PROVIDED Natural Ventilating Openings Area of Ventilating Openings	% of Natural Air
PENTHOUSE L2									
BEDROOM 2	256 SF	10%	3.0	85.50 SF	33.35%	5%	1	13.64 SF	5.32%
BEDROOM 3	144 SF	10%	2.0	57.00 SF	39.58%	5%	1	13.64 SF	9.49%
BEDROOM 4	223 SF	10%	4.0	114.00 SF	51.17%	5%	1	13.64 SF	6.12%
BEDROOM 5	173 SF	10%	3.0	85.50 SF	49.42%	5%	1	13.64 SF	7.88%
MASTER BEDROOM	366 SF	10%	5.0	142.50 SF	38.94%	5%	2	27.28 SF	7.45%
SITTING / GYM 1	234 SF	10%	4.0	114.00 SF	48.76%	5%	1	13.64 SF	5.83%
SITTING RM / GYM	228 SF	10%	4.0	114.00 SF	49.94%	5%	1	13.64 SF	5.98%
**AREA OF VENTILATING OPENING / UNIT: 13.64 SF									
**AREA OF NATURAL LIGHT SOURCES: 28.50 SF (BASED ON THE MINIMUM AREA PROVIDED FROM 5'-0" MODULE W/ SPLIT MULLION)									



EGRESS AND FIRE RATING LEGEND

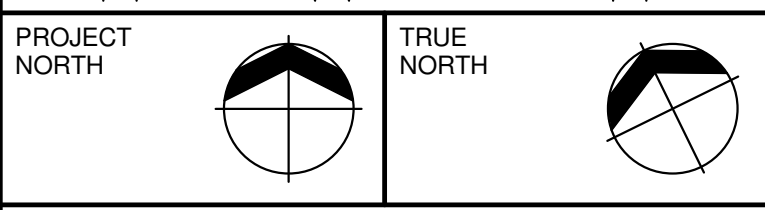
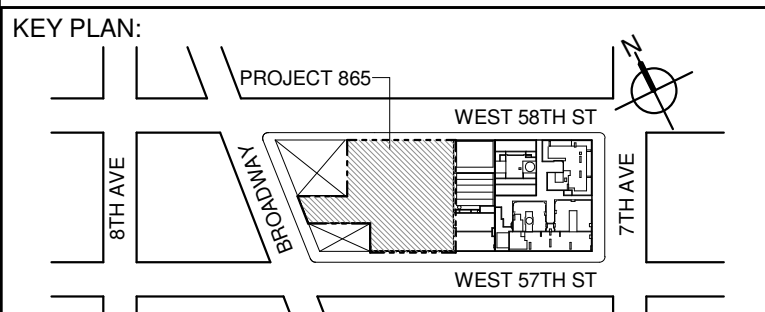
---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
---	TWO HOUR RATED PARTITION	---	DEAD END
---	THREE HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE
---	FOUR HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
---	NON RATED SMOKE SEPARATION		

SYMBOLS LEGEND

ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN	FEC FIRE EXTINGUISHER CABINET	SMOKE DETECTOR
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER HEAD (REFER TO FP DRAWINGS)	SMOKE / CARBON MONOXIDE DETECTOR
WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	ILLUMINATED NO EXIT SIGN	STANDPIPE	CEILING MOUNTED EMERGENCY LIGHT
ILLUMINATED EXIT SIGN	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER RISER	WALL MOUNTED EMERGENCY LIGHT
		SIAMSE CONNECTION	DOOR RATING (MINUTES)

SYMBOLS LEGEND

REVERSIBLE DOOR SWING
STACKED WD TO BE REPLACED BY ACCESSIBLE COMBINATION UNIT AT REQUEST OF DWELLING UNIT OWNER
MECHANICAL UNIT



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 17TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 West 46th St., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 1750

ARCHITECT OF RECORD: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 West 46th St., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 1750

STRUCTURAL ENGINEERS:
WSP CANTOR SEIHL
228 EAST 46th Street
New York, NY 10017 USA
TEL: 212 687 9888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
1501 Broadway
New York, NY 10036 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza, 380 West 31st Street, 8th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1816 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 808
New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Higgins Quasebarth & Partners LLC
11 Hanover Square, 16th Floor
New York, NY 10005
TEL: 212 274 9468 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
59 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION:	DATE:
1	CD PROGRESS ISSUE 1	15 OCT 14
2	D.O.B. SUBMISSION	05 DEC 14
3	CD PROGRESS ISSUE 2	19 DEC 14
4	D.O.B. SUBMISSION	18 FEB 15
5	CD PROGRESS ISSUE 3	08 MAR 15
6	D.O.B. SUBMISSION	27 APR 15
7	CD PROGRESS ISSUE 4	01 JUN 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD ISSUE 8 - GMP SET	31 MAR 16
11	CD BULLETIN ISSUE - 7	14 SEP 16
12	D.O.B. AMENDMENT 3	03 OCT 16

0 4' - 0" 8' - 0" 16' - 0"

D.O.B. SUBMISSION

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ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:



PROJECT:
**217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE:
**92ND FLOOR PLAN
BUILDING CODE NOTES
(PENTHOUSE L2 - TIER 4)
(MFD-130TH FLOOR)**

SEAL & SIGNATURE:	DATE:	15 OCT 14
PROJECT No:	1216-00	
DRAWN: Author	CHECKED: Checker	REV: 10
SCALE: 1/8" = 1'-0"		
DWG No:		
DOB PAGE No:	77 of 164	
DOB B-SCAN:		

DOB EMPLOYEE STAMP:

DOB B-SCAN:

OCCUPANT LOADS SUMMARY 93RD FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
PENTHOUSE	R-2	3,931 SF	200 SF	20
Grand total				20

RESTROOM TYPES		
NAME	TYPE	DETAIL DRAWINGS
PR-C01	ADAPTABLE	1/A-988
PR-C01	ADAPTABLE	1/A-988

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (292)	STAIR LOAD TOTAL (20)
STAIR - A	44"	0.3	146	10
STAIR - B	44"	0.3	146	10

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (20)
STAIR - A - DOOR	34"	0.2	170	10
STAIR - B - DOOR	34"	0.2	170	10

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.62"	29	53.56"
STAIR - B	9.5"	7.62"	29	53.56"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
R-2	200'	125'	40'
F-2	250'	100'	50'

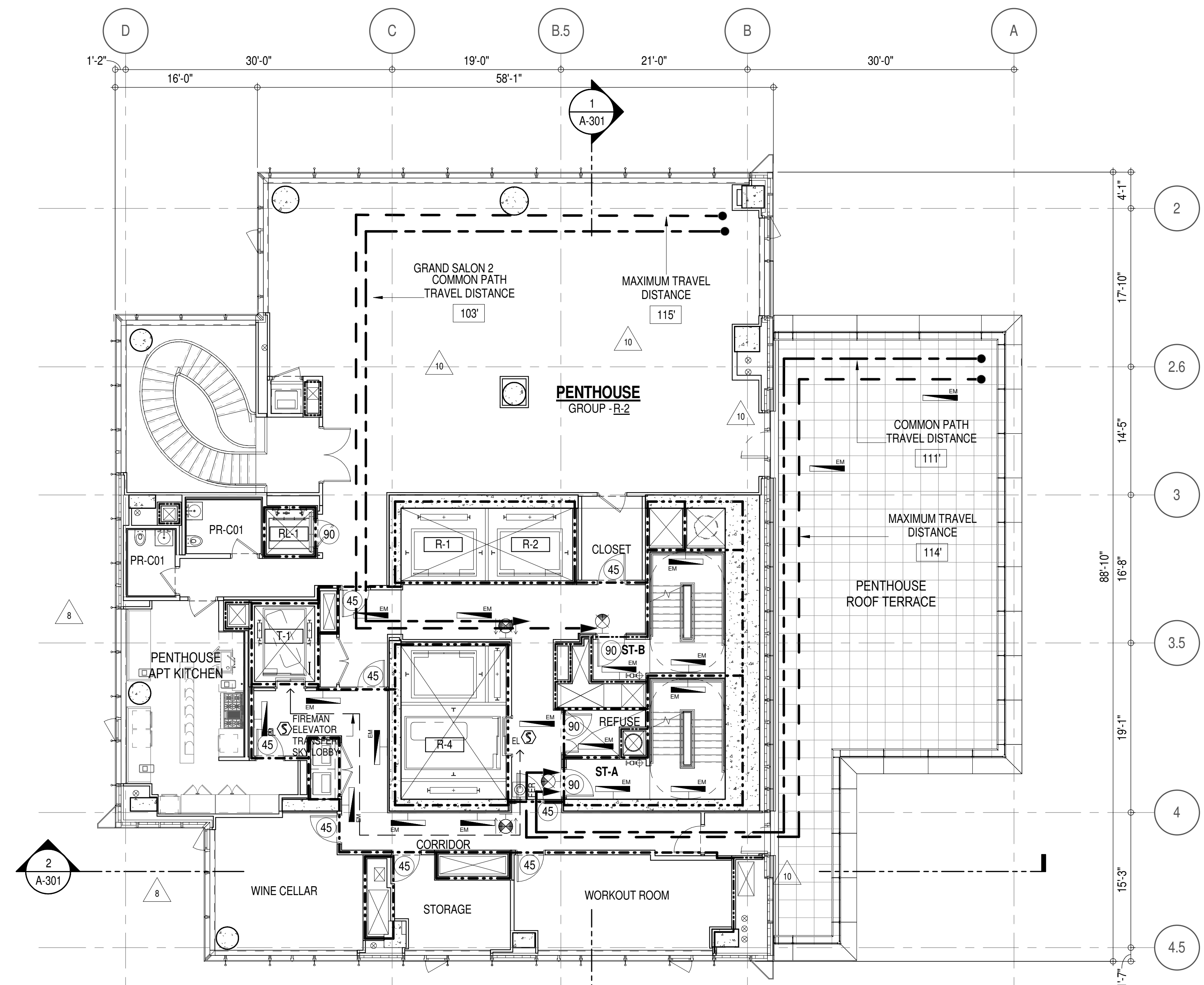
SUITE EXIT DOOR SUMMARY		MULTI DWELLING LAW SECTION 103.1 (b) EGRESS FROM APARTMENT MAXIMUM TRAVEL DISTANCE TO MEANS OF EGRESS FROM ANY ROOM WITHIN APARTMENT
DOOR DESIGNATION	DOOR WIDTH (IN)	
SUITE A DOOR	36"	

LIGHT & AIR CALCULATION 93RD										
LIGHT REQUIREMENT -BC-1205-						AIR REQUIREMENT -BC-1203-				
Room Name	Floor Area	REQ'D % of Light	PROVIDED Natural Light			REQ'D % of Air	PROVIDED Natural Ventilating Openings			
			# of Curtain Wall Panels (5' typ.)**	Area of Vision Glass	% of Natural Light		Door Opening Area	# of Operable Windows*	Area of Ventilating Openings	% of Natural Air
PENTHOUSE L3										
CLOSET	64 SF	N / A				N / A				
GRAND SALON 2	1,850 SF	10%	14.5	413.25 SF	22.34%	5%	20.00 SF	2	47.28 SF	2.56%
KITCHEN	336 SF	10%	3.0	85.50 SF	25.45%	5%	0.00 SF	1	8.22 SF	2.45%
STORAGE	117 SF	10%	2.0	57.00 SF	48.61%	5%	0.00 SF	1	13.64 SF	11.63%
WINE CELLAR	248 SF	10%	6.5	185.25 SF	74.75%	5%	0.00 SF	1	13.64 SF	5.50%
WORKROOM ROOM	261 SF	10%	6.0	171.00 SF	65.46%	5%	0.00 SF	2	27.28 SF	10.44%

*AREA OF VENTILATING OPENING / UNIT: 13.64 SF 8.22 SF

**AREA OF NATURAL LIGHT SOURCES: 28.50 SF
(BASED ON THE MINIMUM AREA PROVIDED FROM 5'-0" MODULE W/ SPLIT MULLION)

* F-2 IS ACCESSORY TO RESIDENTIAL R-2



EGRESS AND FIRE RATING LEGEND

---	ONE HOUR RATED PARTITION
----	TWO HOUR RATED PARTITION
-----	THREE HOUR RATED PARTITION
-----	FOUR HOUR RATED PARTITION
-----	NON RATED SMOKE SEPARATION

---	COMMON TRAVEL DISTANCE
----	DEAD END
-----	MAXIMUM TRAVEL DISTANCE
-----	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT

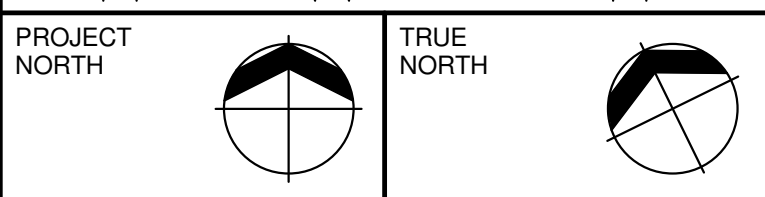
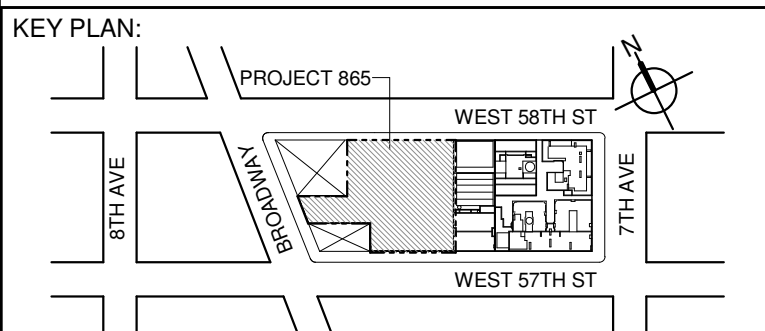
SYMBOLS LEGEND

ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN	FEC FIRE EXTINGUISHER CABINET
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER HEAD (REFER TO FP DRAWINGS)
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	ILLUMINATED NO EXIT SIGN	STANDPIPE
ILLUMINATED EXIT SIGN	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER RISER
		SIAMESE CONNECTION

SMOKE DETECTOR	CEILING MOUNTED EMERGENCY LIGHT
SMOKE (CARBON MONOXIDE) DETECTOR	WALL MOUNTED EMERGENCY LIGHT
DOOR RATING (MINUTES)	

SYMBOLS LEGEND

REVERSIBLE DOOR SWING
STACKED W/D TO BE REPLACED BY ACCESSIBLE COMBINATION UNIT AT REQUEST OF DWELLING UNIT OWNER
MECHANICAL UNIT



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 17TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 West 68th St., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 1775

ARCHITECT OF RECORD: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 West 68th St., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 1775

STRUCTURAL ENGINEERS:
WSP CANTOR SEINUK
228 EAST 46th Street
New York, NY 10017 USA
TEL: 212 687 9888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
1501 Broadway
New York, NY 10036 USA
TEL: 212 354 5656 FAX: 212 354 5668

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New York, NY 10013
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No.	DESCRIPTION:	DATE:
1	CD PROGRESS ISSUE 1	15 OCT 14
2	D.O.B. SUBMISSION	05 DEC 14
3	CD PROGRESS ISSUE 2	19 DEC 14
4	D.O.B. SUBMISSION	18 FEB 15
5	CD PROGRESS ISSUE 3	08 MAR 15
6	D.O.B. SUBMISSION	27 APR 15
7	CD PROGRESS ISSUE 4	01 JUN 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	D.O.B. SUBMISSION	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	CD BULLETIN ISSUE - 5	12 AUG 16
13	D.O.B. AMENDMENT 3	03 OCT 16

0 4'-0" 8'-0" 16'-0"

D.O.B. SUBMISSION

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CONSULTANT:



PROJECT:
**217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE:
**93RD FLOOR PLAN
BUILDING CODE NOTES
(PENTHOUSE L3 - TIER 4)
(MFD-131ST FLOOR)**

SEAL & SIGNATURE: DATE: 15 OCT 14

PROJECT No: 1216-00

DRAWN: Author REV: 10

CHECK: Checker

SCALE: 1/8" = 1'-0"

DWG No: A-074.01

DOB PAGE No: 76 of 164

DOB EMPLOYEE STAMP: DOB B-SCAN:

LAST ISSUES AS: A-066 - CD PROGRESS ISSUE 4/

OCCUPANT LOADS SUMMARY 94TH FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
MEP	F-2	592 SF	300 SF	2
MEP	F-2	1,464 SF	300 SF	5
EMR	F-2	198 SF	300 SF	1
Grand total				8

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (N)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY	STAIR LOAD
			TOTAL (232)	TOTAL (48)
STAIR - A	44"	0.3	146	24
STAIR - B	44"	0.3	146	24

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (N)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY	DOOR LOAD
			TOTAL (340)	TOTAL (48)
STAIR - A - DOOR	34"	0.2	170	24
STAIR - B - DOOR	34"	0.2	170	24

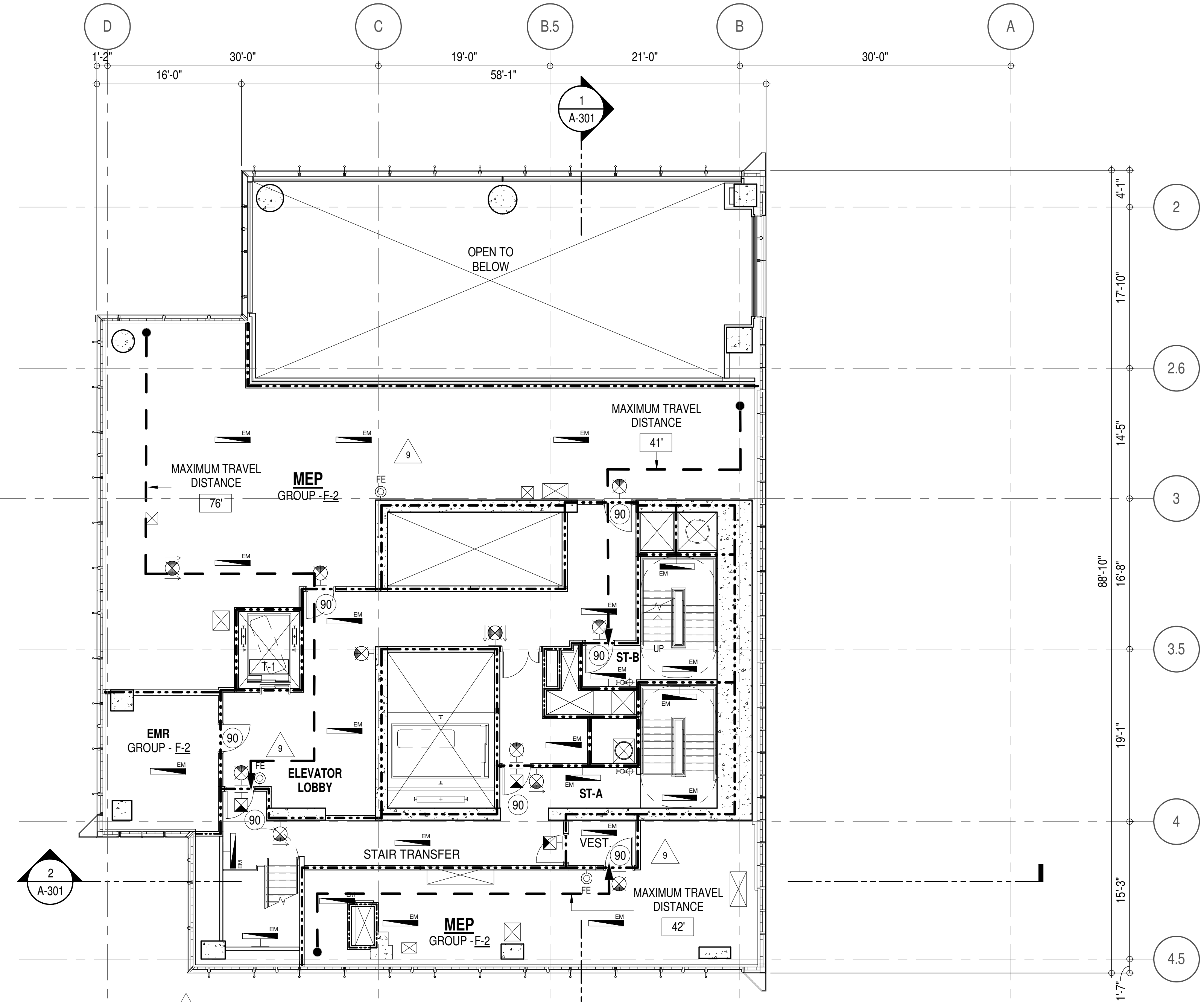
EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.38"	26	51.69"
STAIR - B	9.5"	7.38"	26	51.69"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
R-2	200'	125'	40'
F-2	250'	100'	50'













SUITE EXIT DOOR SUMMARY	
DOOR DESIGNATION	DOOR WIDTH (IN)
SUITE A DOOR 1	36"
SUITE A DOOR 2	36"

MULTI DWELLING LAW	
SECTION 103.1 (b) EGRESS FROM APARTMENT MAXIMUM TRAVEL DISTANCE TO MEANS OF EGRESS FROM ANY ROOM WITHIN APARTMENT	
50'	

* F-2 IS ACCESSORY TO RESIDENTIAL R-2

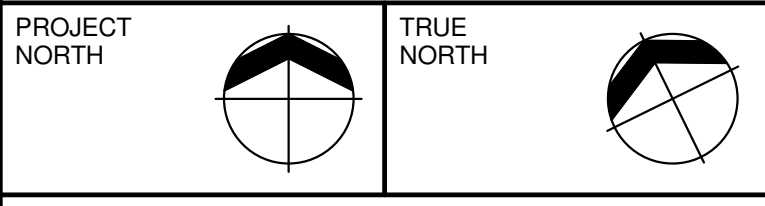
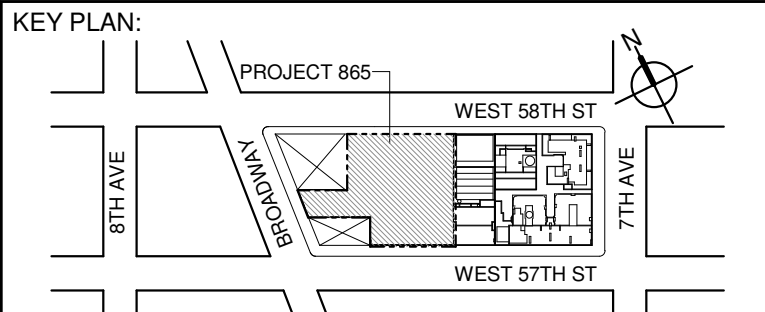


EGRESS AND FIRE RATING LEGEND			
_____	ONE HOUR RATED PARTITION	_____	COMMON TRAVEL DISTANCE
-----	TWO HOUR RATED PARTITION	• • • • •	DEAD END
-----	THREE HOUR RATED PARTITION	_____	MAXIMUM TRAVEL DISTANCE
-----	FOUR HOUR RATED PARTITION	-----	MAXIMUM TRAVEL DISTANCE
_____	NON RATED SMOKE SEPARATION	_____	WITHIN DWELLING UNIT

SYMBOLS LEGEND					
	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		WALL MOUNTED ILLUMINATED NO EXIT SIGN		FEC FIRE EXTINGUISHER CABINET
	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)		SPRINKLER HEAD (REFER TO FP DRAWINGS)
	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		ILLUMINATED NO EXIT SIGN		SPRINKLER RISER
	ILLUMINATED EXIT SIGN		ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)		SIAMENSE CONNECTION

	FIRE EXTINGUISHER CABINET		SMOKE DETECTOR
	SPRINKLER HEAD (REFER TO PP DRAWINGS)		SMOKE /CARBON MONOXIDE DETECTOR
	STANDPIPE		CEILING MOUNTED EMERGENCY LIGHT
	SPRINKLER RISER		WALL MOUNTED EMERGENCY LIGHT
	SIAMESE CONNECTION		DOOR RATING (MINUTES)

SYMBOLS LEGEND	
	REVERSIBLE DOOR SWING
	STACKED W/D TO BE REPLACED BY ACCESSIBLE COMBINATION UNIT AT REQUEST OF DWELLING UNIT OWNER
	MECHANICAL UNIT



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 17TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

ARCHITECT OF RECORD: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 1750

STRUCTURAL ENGINEERS:
WSP CANTOR SEIHL
228 EAST 46th Street
New York, NY 10017 USA
TEL: 212 687 9888 FAX: 646 487 5501

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100 Church Street
New York, NY 10007
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No.	DESCRIPTION:	DATE:
1	CD PROGRESS ISSUE 1	15 OCT 14
2	D.O.B. SUBMISSION	05 DEC 14
3	CD PROGRESS ISSUE 2	19 DEC 14
4	D.O.B. SUBMISSION	18 FEB 15
5	CD PROGRESS ISSUE 3	08 MAR 15
6	D.O.B. SUBMISSION	27 APR 15
7	CD PROGRESS ISSUE 4	01 JUN 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	D.O.B. AMENDMENT 3	03 OCT 16

0 4' - 0" 8' - 0" 16' - 0"

D.O.B. SUBMISSION

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CONSULTANT:
AAI
ARCHITECTS, P.C.

PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
94TH FLOOR PLAN
BUILDING CODE NOTES
(MECHANICAL) (MFD-132ND FLOOR)

SEAL & SIGNATURE:	DATE:	15 OCT 14
	PROJECT No:	1216-00
	DRAWN: Author	REV:
	CHK: Checker	9
	SCALE: 1/8" = 1'-0"	
	DWG No:	A-075.01
	DOB PAGE No:	79 of 154
DOB EMPLOYEE STAMP:	DOB B-SCAN:	

LAST ISSUES AS: A-067 - CD PROGRESS ISSUE 4/

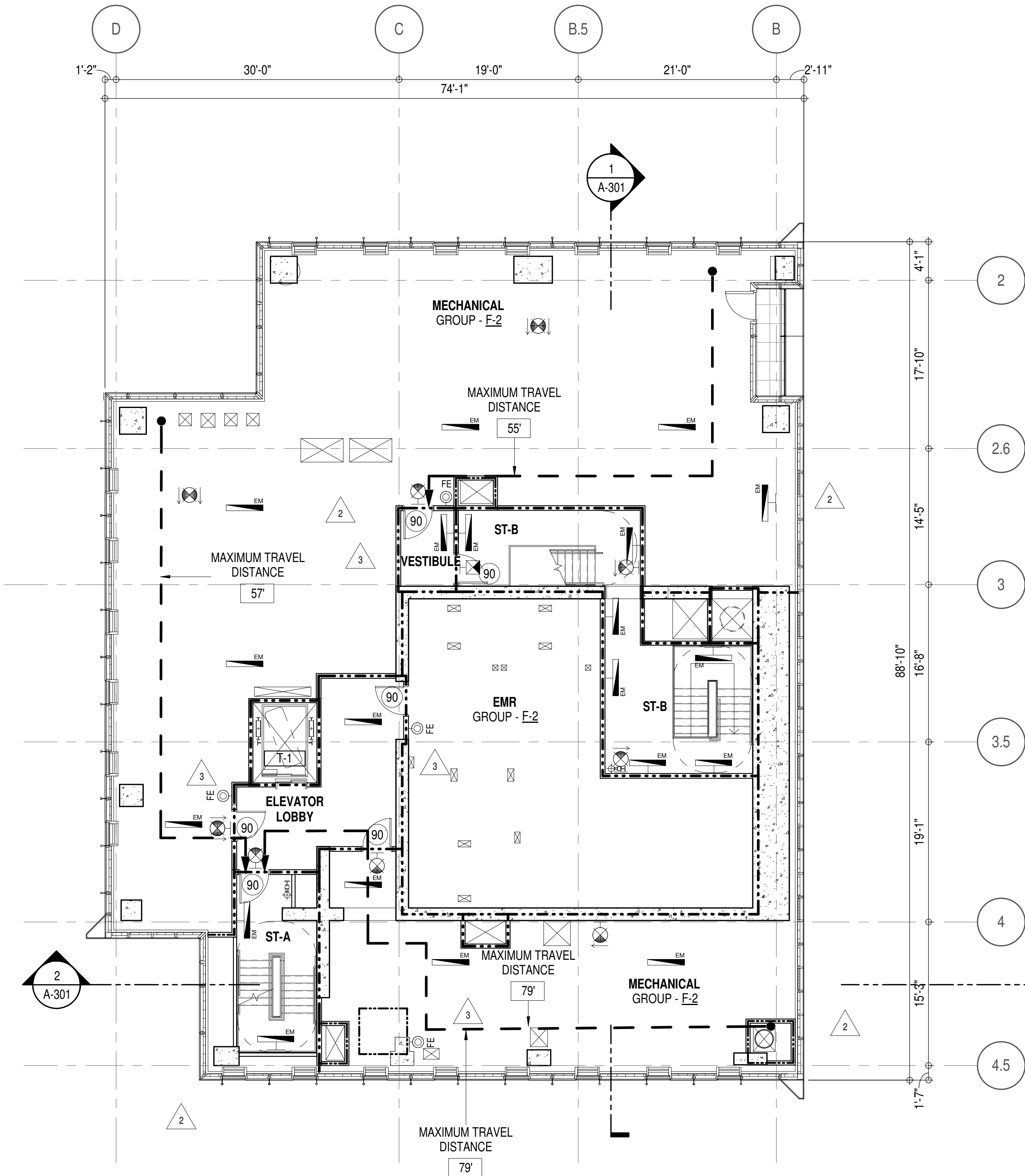
OCCUPANT LOADS SUMMARY 95TH FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
MECHANICAL	F-2	3,238 SF	300 SF	11
EMR	F-2	878 SF	300 SF	3
MECHANICAL	F-2	909 SF	300 SF	4
Grand total				18

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (N)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY	STAIR LOAD
			TOTAL (292)	TOTAL (14)
STAIR - A	44"	0.3	146	7
STAIR - B	44"	0.3	146	7

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (N)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY	DOOR LOAD
			TOTAL (340)	TOTAL (14)
STAIR - A - DOOR	34"	0.2	170	7
STAIR - B - DOOR	34"	0.2	170	7

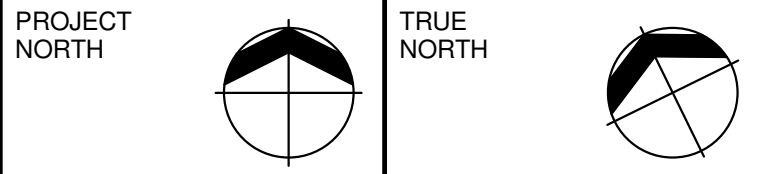
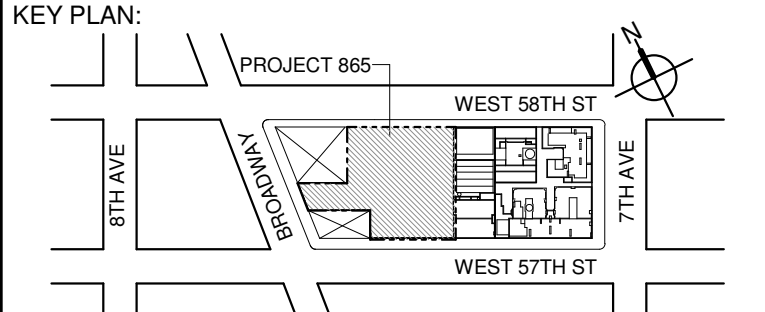
EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (N)	RISER (N)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.69"	28	54.00"
STAIR - B	9.5"	7.69"	28	54.00"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
F-2	250'	100'	50'



EGRESS AND FIRE RATING LEGEND			
---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
---	TWO HOUR RATED PARTITION	---	DEAD END
---	THREE HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE
---	FOUR HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
---	NON RATED SMOKE SEPARATION		

SYMBOLS LEGEND			
	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		FIRE EXTINGUISHER CABINET
	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		SPRINKLER HEAD (REFER TO FP DRAWINGS)
	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		STANDPIPE
	ILLUMINATED EXIT SIGN		SPRINKLER RISER
	ILLUMINATED EXIT SIGN		SIAMESE CONNECTION
	ILLUMINATED EXIT SIGN		SMOKE DETECTOR
	ILLUMINATED EXIT SIGN		SMOKE / CARBON MONOXIDE DETECTOR
	ILLUMINATED EXIT SIGN		CEILING MOUNTED EMERGENCY LIGHT
	ILLUMINATED EXIT SIGN		WALL MOUNTED EMERGENCY LIGHT
	ILLUMINATED EXIT SIGN		DOOR RATING (MINUTES)



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 17TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

ARCHITECT OF RECORD: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
WSP CANTOR SEINUK
228 EAST 46th Street
New York, NY 10017 USA
TEL: 212 687 9888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
1501 Broadway
New York, NY 10036 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 380 West 31st Street, 8th Floor
New York, NY 10013-2277
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1816 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 828
New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Higgins Quasebarth & Partners LLC
11 Hanover Square, 16th Floor
New York, NY 10005
TEL: 212 274 9468 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
50 West 57th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION:	DATE:
	D.O.B. AMENDMENT 2	21 SEP 15
1	CD PROGRESS ISSUE 6	02 NOV 15
2	CD PROGRESS ISSUE 7	29 JAN 16
3	CD ISSUE 8 - GMP SET	31 MAR 16
	D.O.B. AMENDMENT 3	03 OCT 16

D.O.B. SUBMISSION

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CONSULTANT:



PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
95TH FLOOR PLAN
BUILDING CODE NOTES (EMR)
(MFD-133RD FLOOR)

SEAL & SIGNATURE: 	DATE:	21 SEP 15
	PROJECT No:	1216-00
	DRAWN: Author	REV:
	CHK: Checker	3
SCALE: 1/8" = 1'-0"		
DWG No:		
A-076.01		
DOB PAGE No: 86 of 164		
DOB EMPLOYEE STAMP:		
DOB B-SCAN:		

OCCUPANT LOADS SUMMARY 96TH FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
MECHANICAL	F-2 (300)	2,577 SF	300 SF	9
MASS TUNE DAMPER	F-2 (300)	2,282 SF	300 SF	8

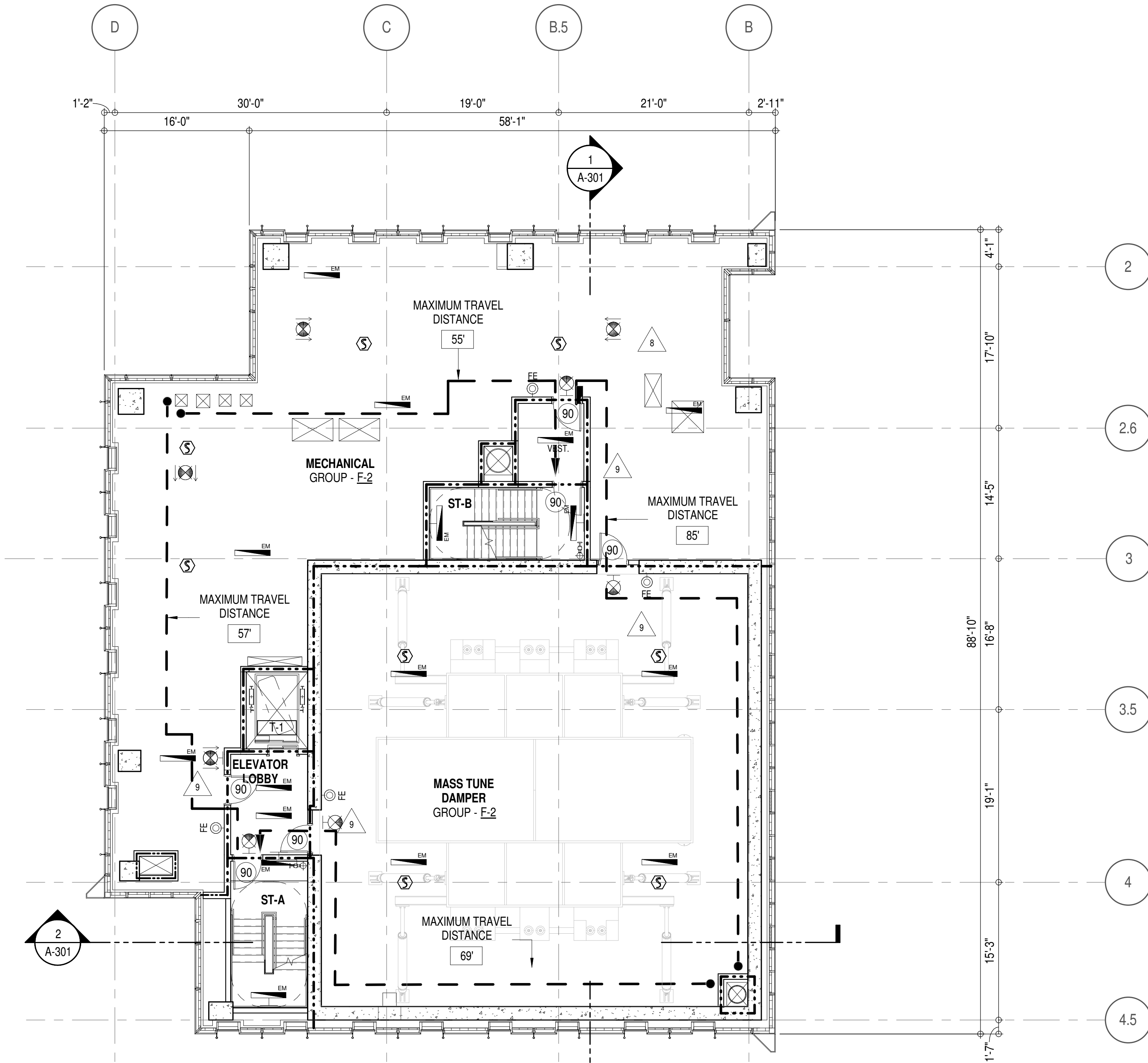
17

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (N)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY	STAIR LOAD
			TOTAL (292)	TOTAL (16)
STAIR - A	44"	0.3	146	8
STAIR - B	44"	0.3	146	8

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (N)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY	DOOR LOAD
			TOTAL (340)	TOTAL (16)
STAIR - A - DOOR	34"	0.2	170	8
STAIR - B - DOOR	34"	0.2	170	8

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.38"	26	51.69"
STAIR - B	9.5"	7.38"	26	51.69"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
F-2	250'	100'	50'

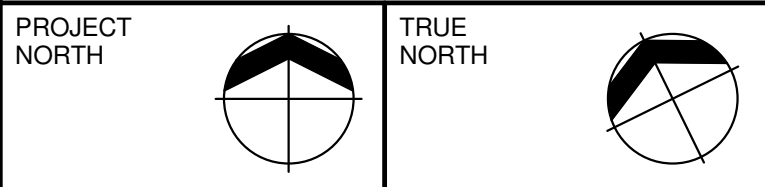
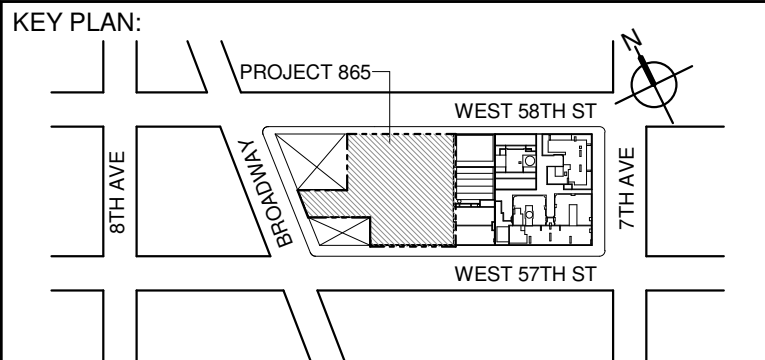


EGRESS AND FIRE RATING LEGEND

---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
---	TWO HOUR RATED PARTITION	---	DEAD END
---	THREE HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE
---	FOUR HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
---	NON RATED SMOKE SEPARATION		

SYMBOLS LEGEND

	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		FIRE EXTINGUISHER CABINET		SMOKE DETECTOR
	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		SPRINKLER HEAD (REFER TO FP DRAWINGS)		SMOKE / CARBON MONOXIDE DETECTOR
	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		STANDPIPE		WALL MOUNTED EMERGENCY LIGHT
	ILLUMINATED EXIT SIGN		SIAMESE CONNECTION		DOOR RATING (MINUTES)



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 17TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 West 68th Street, 3rd Floor
New York, NY 10022 USA
TEL: 212 920 1888 FAX: 212 920 1775

ARCHITECT OF RECORD: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

STRUCTURAL ENGINEERS:
WSP CANTOR SEINUK
228 EAST 46th Street
New York, NY 10017 USA
TEL: 212 687 9888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
1501 Broadway
New York, NY 10036 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 360 West 31st Street, 8th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 828
New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Higgins Quasebarth & Partners LLC
11 Hanover Square, 16th Floor
New York, NY 10005
TEL: 212 274 9468 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
50 West 57th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION:	DATE:
1	CD PROGRESS ISSUE 1	15 OCT 14
2	D.O.B. SUBMISSION	05 DEC 14
3	CD PROGRESS ISSUE 2	19 DEC 14
4	D.O.B. SUBMISSION	18 FEB 15
5	CD PROGRESS ISSUE 3	08 MAR 15
6	D.O.B. SUBMISSION	27 APR 15
7	CD PROGRESS ISSUE 4	01 JUN 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	D.O.B. AMENDMENT 3	03 OCT 16

D.O.B. SUBMISSION

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CONSULTANT:
AAI
ARCHITECTS, P.C.

PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
96TH FLOOR PLAN
BUILDING CODE NOTES (DAMPER)
(MFD-134TH FLOOR)

SEAL & SIGNATURE:	DATE:	15 OCT 14
	PROJECT No:	1216-00
	DRAWN: Author	REV:
	CHECK: Checker	9
DWG No:	SCALE: 1/8" = 1'-0"	
	A-077.01	

DOB EMPLOYEE STAMP: DOB PAGE No: 91 of 164 DOB B-SCAN:

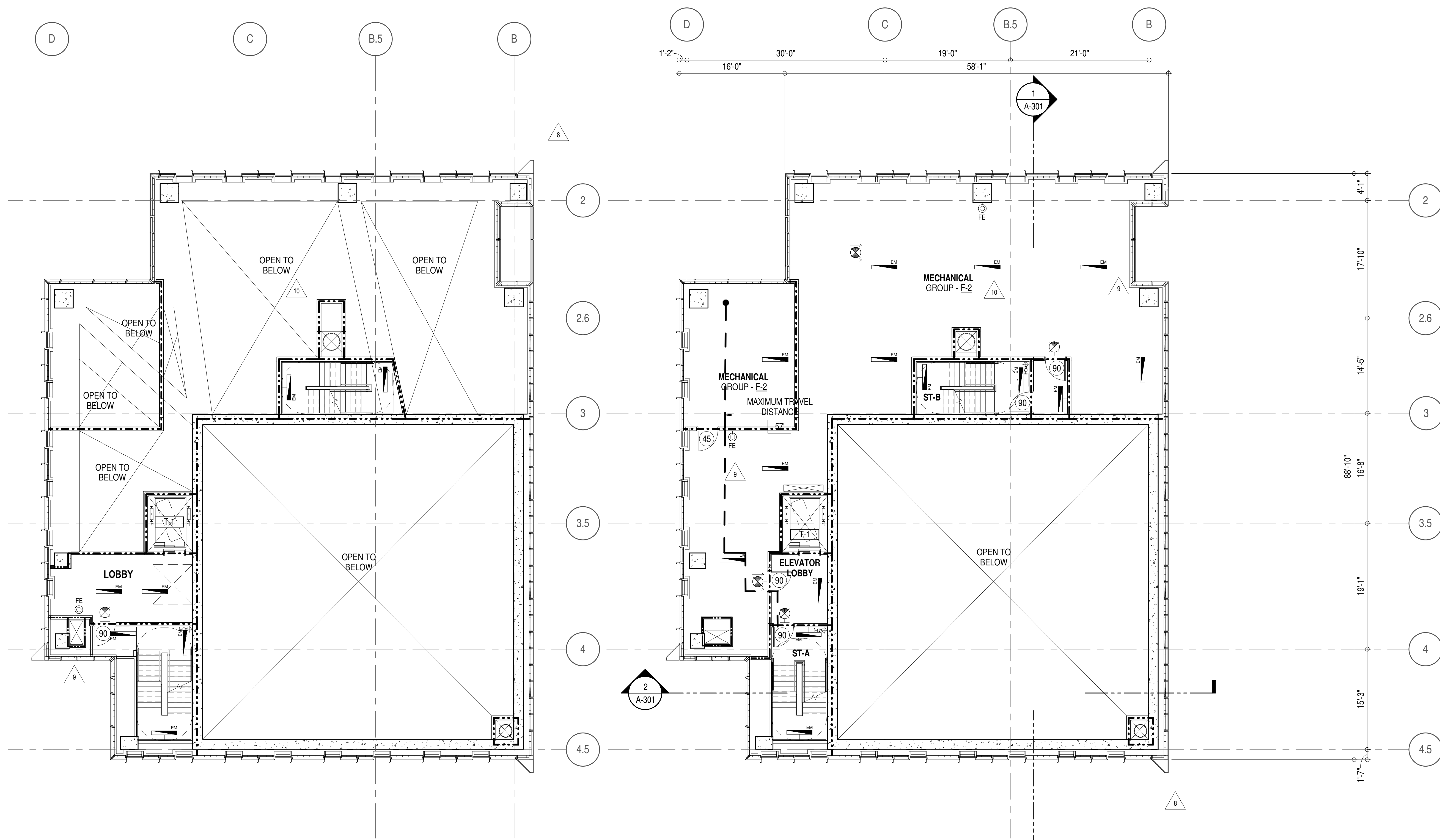
OCCUPANT LOADS SUMMARY 97TH FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
MECHANICAL	F-2 (300)	2,647 SF	300 SF	9

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (N)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY	STAIR LOAD
			TOTAL (292)	TOTAL (9)
STAIR - A	44"	0.3	146	5
STAIR - B	44"	0.3	146	4

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (N)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY	DOOR LOAD
			TOTAL (340)	TOTAL (9)
STAIR - A - DOOR	34"	0.2	170	5
STAIR - B - DOOR	34"	0.2	170	4

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.62"	54	82.50"
STAIR - B	9.5"	7.62"	54	88.81"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
F-2	250'	100'	50'



3 98TH FLOOR
A-301
1/8" = 1'-0"

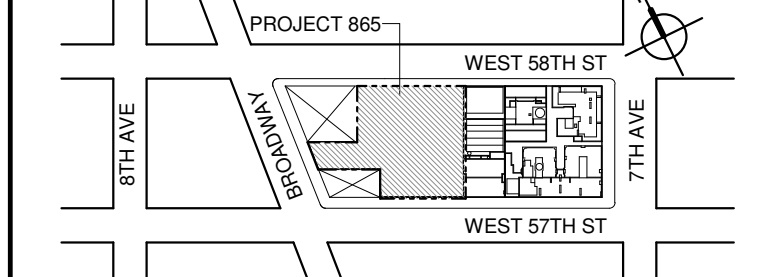
1 97TH FLOOR
A-301
1/8" = 1'-0"

EGRESS AND FIRE RATING LEGEND

---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
---	TWO HOUR RATED PARTITION	---	DEAD END
---	THREE HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE
---	FOUR HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
---	NON RATED SMOKE SEPARATION		

SYMBOLS LEGEND

	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		FIRE EXTINGUISHER CABINET		SMOKE DETECTOR
	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		SPRINKLER HEAD (REFER TO FP DRAWINGS)		SMOKE / CARBON MONOXIDE DETECTOR
	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		STANDPIPE		CEILING MOUNTED EMERGENCY LIGHT
	ILLUMINATED EXIT SIGN		SPRINKLER RISER		WALL MOUNTED EMERGENCY LIGHT
	ILLUMINATED EXIT SIGN		SIAMESE CONNECTION		DOOR RATING (MINUTES)

KEY PLAN:**PROJECT NORTH**

TRUE NORTH

DEVELOPER:

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 17TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 West 57th St, 3rd Floor
New York, NY 10019
TEL: 212 687 1500 FAX: 212 687 1501

ARCHITECT OF RECORD: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 West 57th St, 3rd Floor
New York, NY 10019
TEL: 212 687 1500 FAX: 212 687 1501

STRUCTURAL ENGINEERS:
WSP CANTOR SEINUK
228 EAST 46th Street
New York, NY 10017 USA
TEL: 212 687 9888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
1501 Broadway
New York, NY 10036 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza, 380 West 31st Street, 8th Floor
New York, NY 10001-2277
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 828
New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Higgins Quasebarth & Partners LLC
11 Hanover Square, 16th Floor
New York, NY 10005
TEL: 212 274 9468 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
50 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION:	DATE:
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3	CD PROGRESS ISSUE 2	19 DEC 14
4	D.O.B. SUBMISSION	18 FEB 15
5	CD PROGRESS ISSUE 3	08 MAR 15
6	D.O.B. SUBMISSION	27 APR 15
7	CD PROGRESS ISSUE 4	01 JUN 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	CD BULLETIN ISSUE - 7	14 SEP 16
13	D.O.B. AMENDMENT 3	03 OCT 16

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CONSULTANT:

AAI
ARCHITECTS, P.C.

PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

97TH AND 98TH FLOOR PLANS
BUILDING CODE NOTES
(MECHANICAL) (MFD-135TH-136TH FLOOR)

SEAL & SIGNATURE:

DATE: 15 OCT 14

PROJECT No: 1216-00

DRAWN: Author

CHECKED: Checker

SCALE: 1/8" = 1'-0"

DWG No: A-079.01

DOB PAGE No: 82 of 154

DOB EMPLOYEE STAMP:

DOB B-SCAN:

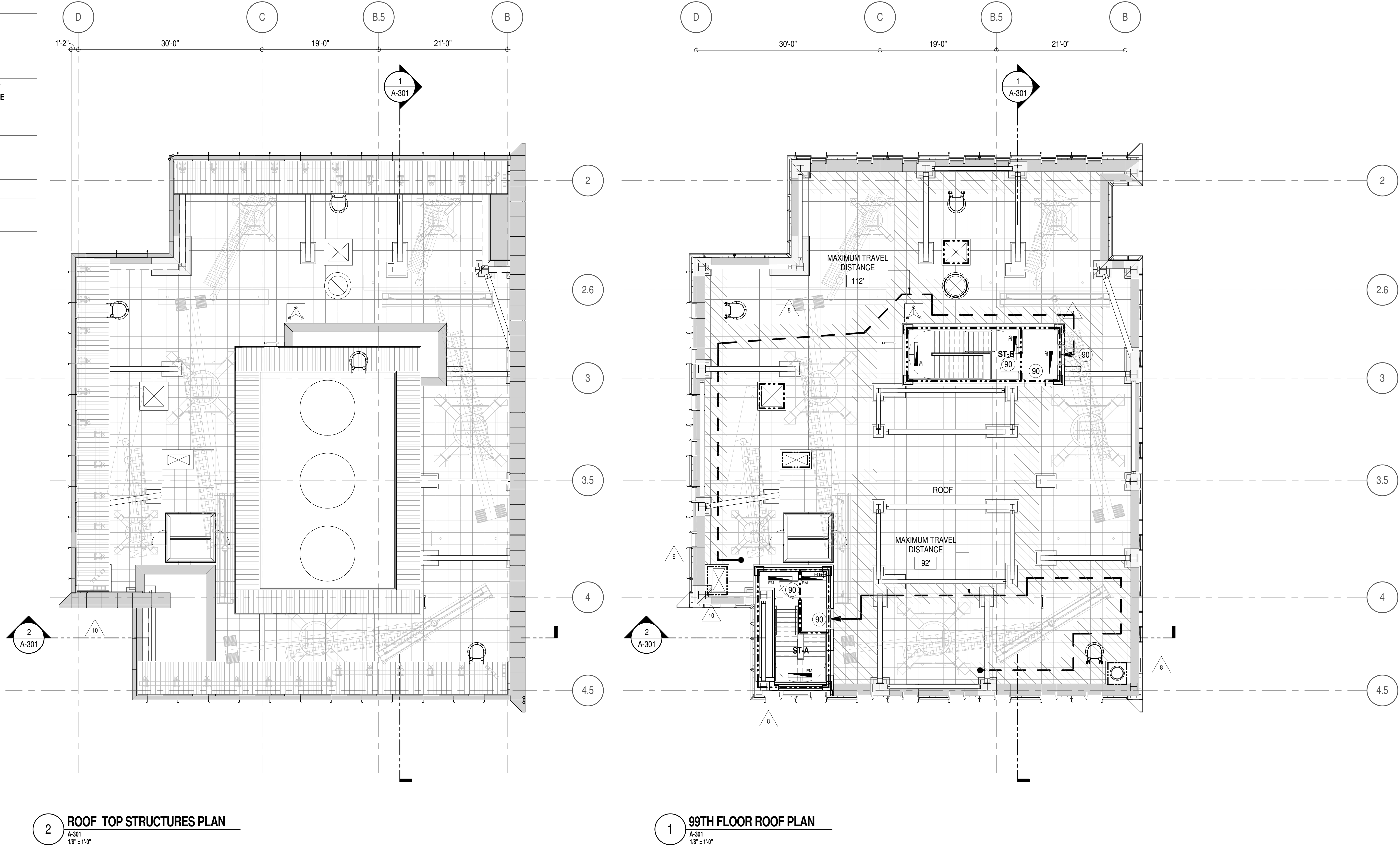
LAST ISSUES AS: A-070 - CD PROGRESS ISSUE 4/

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (N)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY	STAIR LOAD
			TOTAL (232)	TOTAL (17)
STAIR - A	44"	0.3	146	8
STAIR - B	44"	0.3	146	9

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (N)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY	DOOR LOAD
			TOTAL (340)	TOTAL (17)
STAIR - A - DOOR	34"	0.2	170	8
STAIR - B - DOOR	34"	0.2	170	9

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.75"	23	85.12"
STAIR - B	9.5"	7.75"	23	85.12"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
F-2	250'	100'	50'



2 ROOF TOP STRUCTURES PLAN
A-301
1/8" = 1'-0"

1 99TH FLOOR ROOF PLAN
A-301
1/8" = 1'-0"

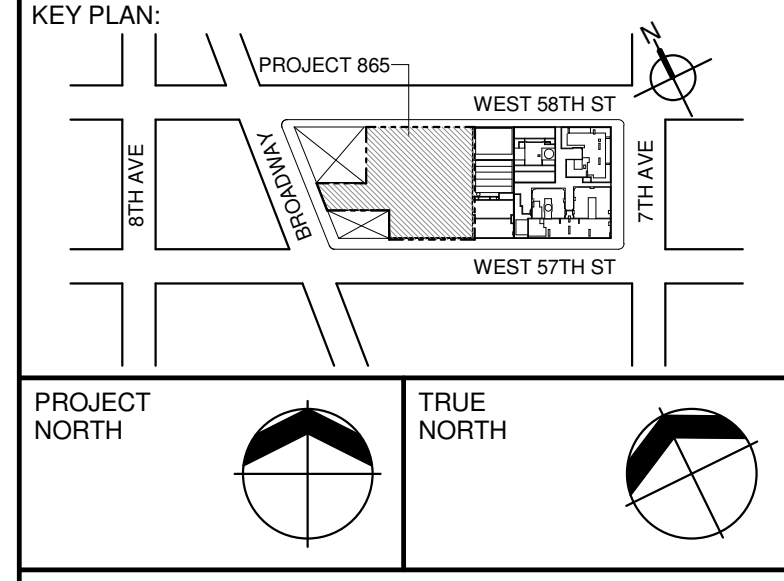
EGRESS AND FIRE RATING LEGEND	
---	ONE HOUR RATED PARTITION
- - -	TWO HOUR RATED PARTITION
- - - - -	THREE HOUR RATED PARTITION
- - - - -	FOUR HOUR RATED PARTITION
---	NON RATED SMOKE SEPARATION

---	COMMON TRAVEL DISTANCE
---	DEAD END
---	MAXIMUM TRAVEL DISTANCE
---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT

SYMBOLS LEGEND	
⬤	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
⬤	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
⬤	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
⬤	ILLUMINATED EXIT SIGN

⬤	WALL MOUNTED ILLUMINATED NO EXIT SIGN
⬤	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)
⬤	ILLUMINATED NO EXIT SIGN
⬤	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)

⬤	FEC FIRE EXTINGUISHER CABINET
⬤	SPRINKLER HEAD (REFER TO FP DRAWINGS)
⬤	STANDPIPE
⬤	SPRINKLER RISER
⬤	SIAMESE CONNECTION
⬤	SMOKE DETECTOR
⬤	SMOKE / CARBON MONOXIDE DETECTOR
⬤	CEILING MOUNTED EMERGENCY LIGHT
⬤	WALL MOUNTED EMERGENCY LIGHT
⬤	DOOR RATING (MINUTES)



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

ARCHITECT OF RECORD: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 Westlagan St. W. 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
WSP CANTOR SEINUK
228 EAST 46th Street
New York, NY 10017 USA
TEL: 212 687 9888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
1501 Broadway
New York, NY 10036 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza 380 West 31st Street, 8th Floor
New York, NY 10013-2277
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 828
New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Higgins Quasebarth & Partners LLC
11 Hanover Square, 16th Floor
New York, NY 10005
TEL: 212 274 9468 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
50 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION:	DATE:
1	CD PROGRESS ISSUE 1	15 OCT 14
2	D.O.B. SUBMISSION	05 DEC 14
3	CD PROGRESS ISSUE 2	19 DEC 14
4	D.O.B. SUBMISSION	18 FEB 15
5	CD PROGRESS ISSUE 3	09 MAR 15
6	D.O.B. SUBMISSION	27 APR 15
7	CD PROGRESS ISSUE 4	01 JUN 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	CD BULLETIN ISSUE - 7	14 SEP 16
13	D.O.B. AMENDMENT 3	03 OCT 16

D.O.B. SUBMISSION

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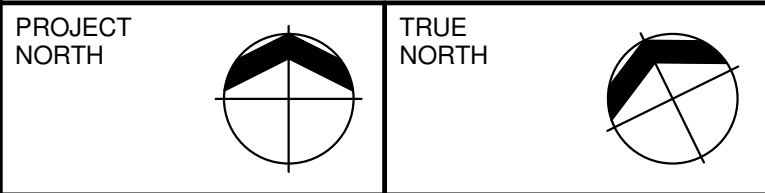
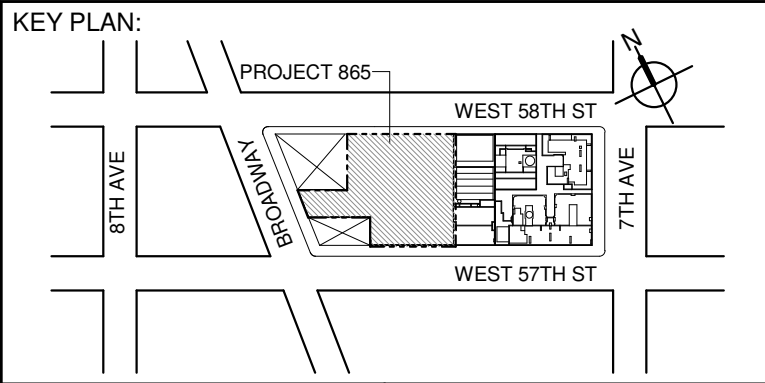
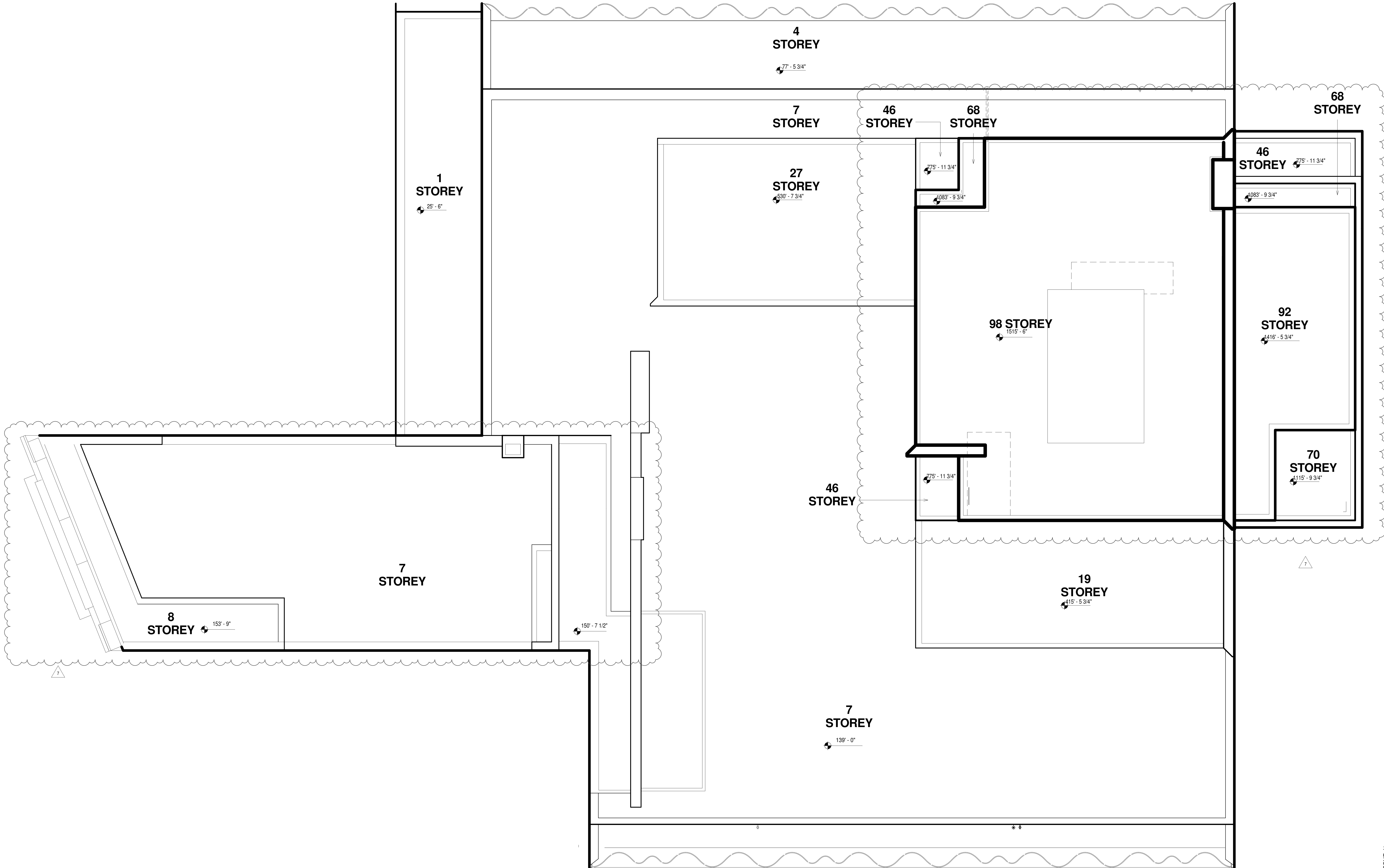
CONSULTANT:
AAI
ARCHITECTS, P.C.

PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
99TH FLOOR AND ROOF PLAN
BUILDING CODE NOTES (ROOF)
(MFD-137TH FLOOR)

SEAL & SIGNATURE:	DATE:	15 OCT 14
PROJECT No:	1216-00	
DRAWN: Author	REV:	10
CHECK: Checker		
SCALE: 1/8" = 1'-0"		
DWG No:		
A-080.01		
DOB PAGE No:	83 of 164	
DOB B-SCAN:		

LAST ISSUES AS: A-071 - CD PROGRESS ISSUE 4/



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

ARCHITECT OF RECORD: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 867 1500 FAX: 416 867 1750

STRUCTURAL ENGINEERS:
WSP CANTOR SEINUK
228 EAST 48th Street
New York, NY 10017 USA
TEL: 212 687 9888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
1501 Broadway
New York, NY 10036 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Fern Plaza - 360 West 31st Street, 8th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 828
New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Higgins Quasebath & Partners LLC
11 Hanover Square, 16th Floor
New York, NY 10005
TEL: 212 274 9468 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
59 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION:	DATE:
1	CD PROGRESS ISSUE 1	15 OCT 14
2	D.O.B. SUBMISSION	05 DEC 14
3	CD PROGRESS ISSUE 2	19 DEC 14
4	D.O.B. SUBMISSION	18 FEB 15
5	CD PROGRESS ISSUE 3	09 MAR 15
6	D.O.B. SUBMISSION	27 APR 15
7	CD PROGRESS ISSUE 4	01 JUN 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	D.O.B. AMENDMENT 3	03 OCT 16

D.O.B. SUBMISSION

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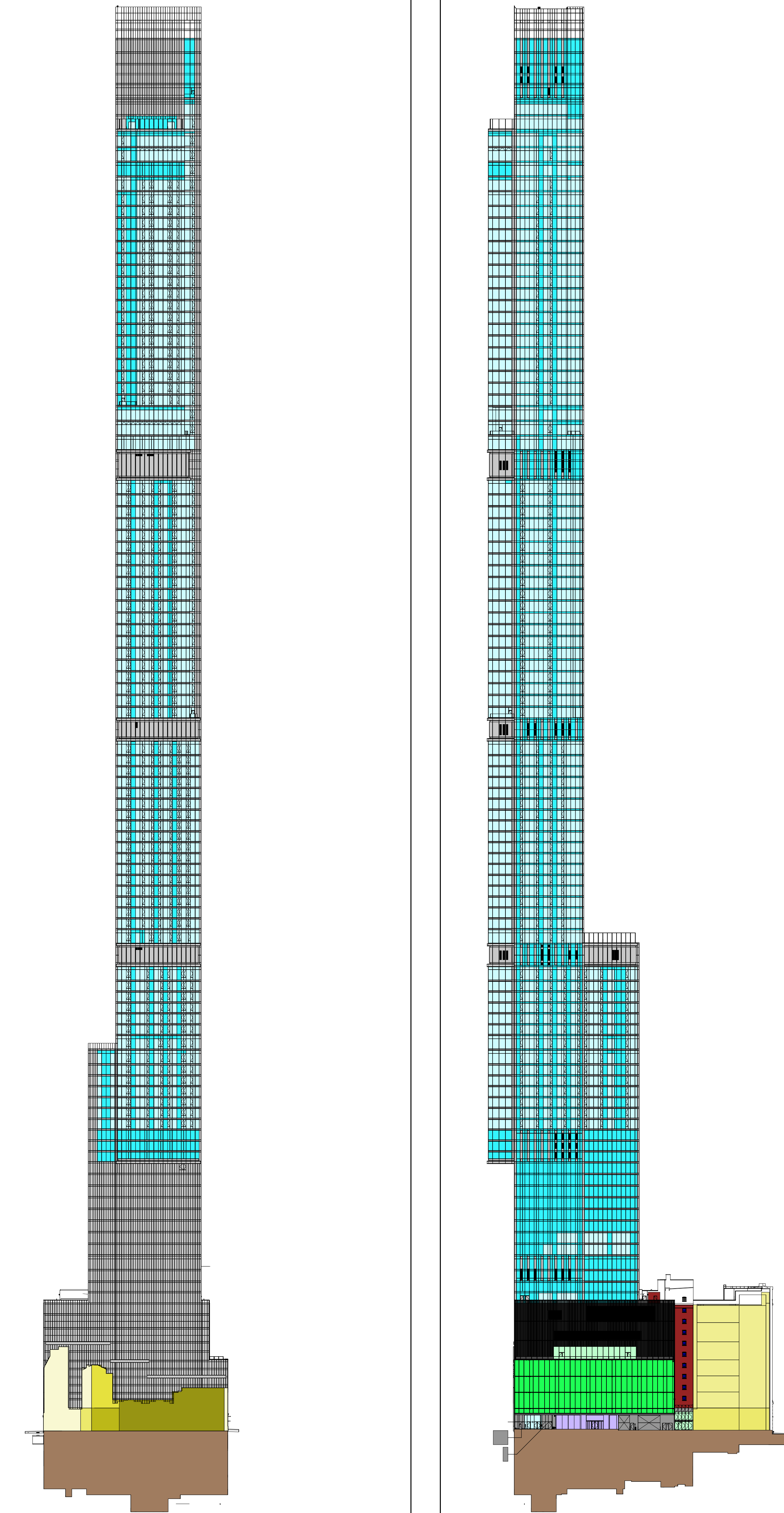
CONSULTANT:
AAI
ARCHITECTS, P.C.

PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

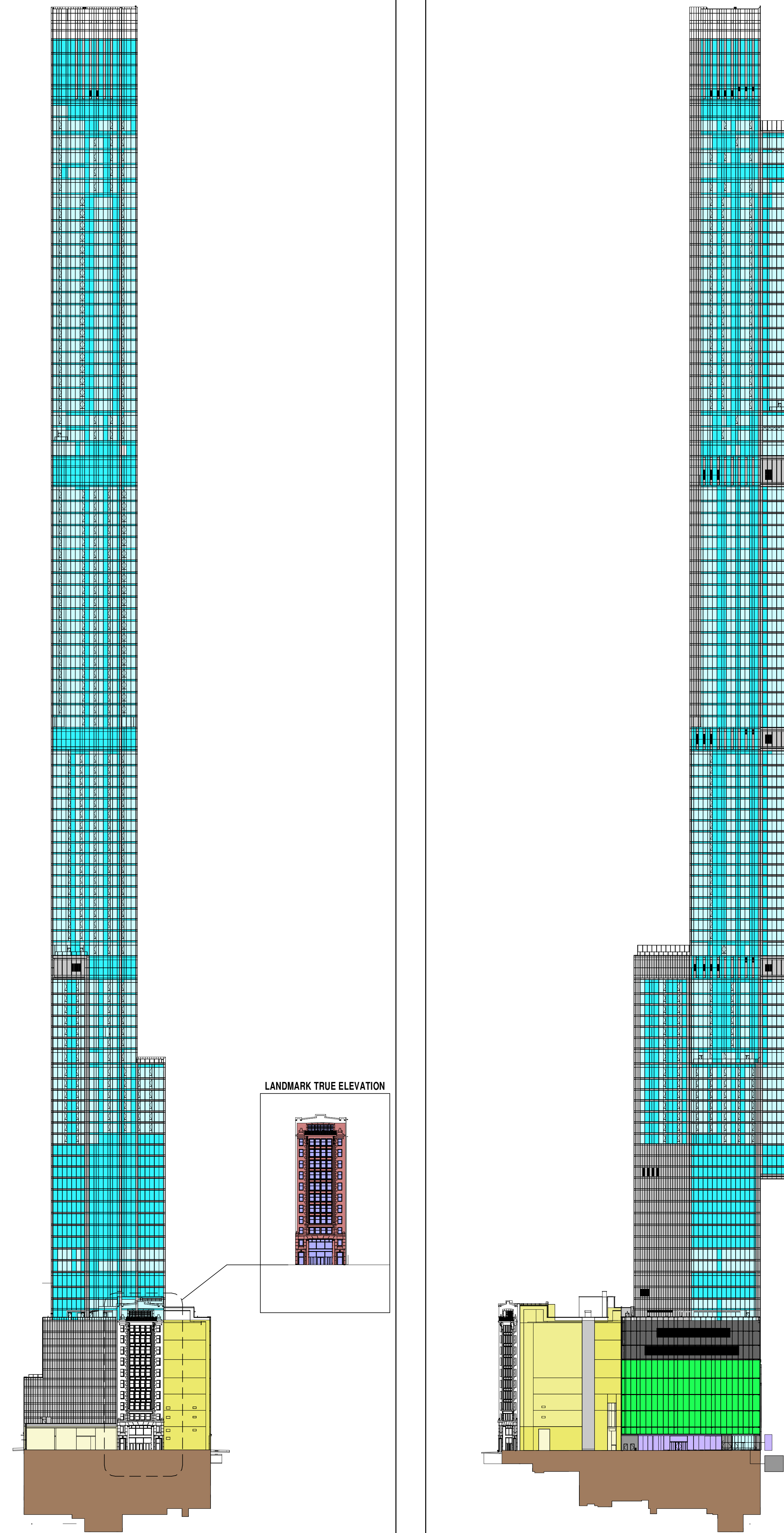
OVERALL ROOF PLAN

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	CHK: Checker	9
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DWG No:	A-081.01	
DOB PAGE No:	86 of 154	
DOB EMPLOYEE STAMP:	DOB B-SCAN:	

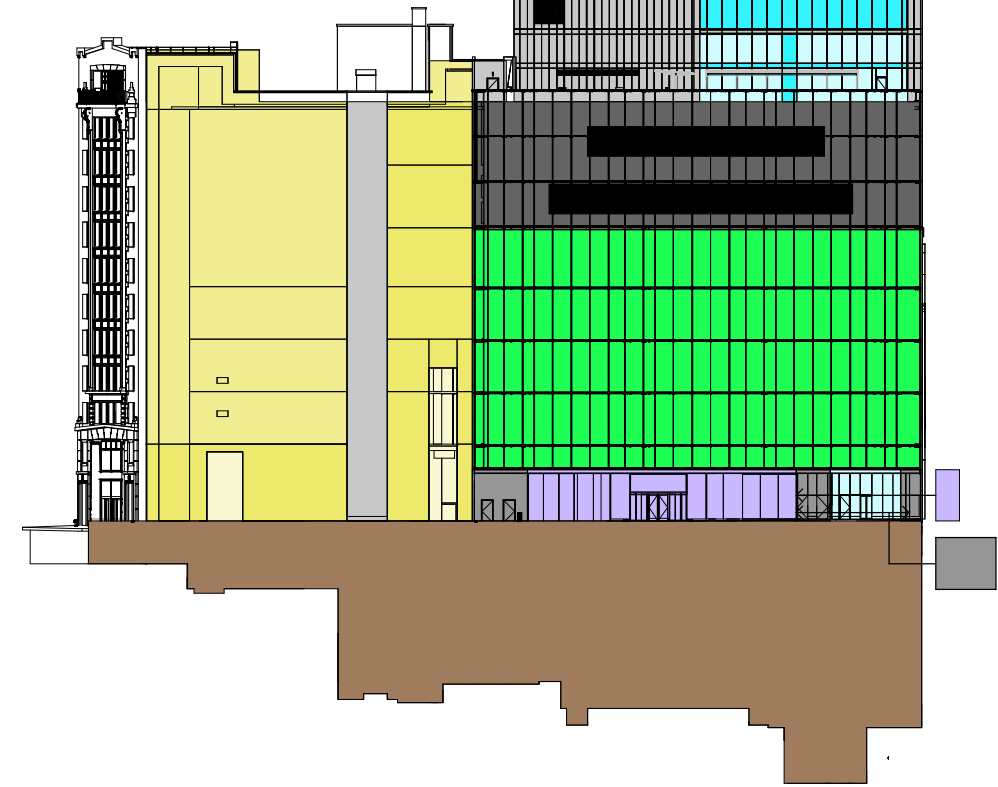


5 EAST ELEVATION
1/8" = 1'-0"

4 NORTH ELEVATION - WEST 56TH STREET
1/8" = 1'-0"



3 WEST ELEVATION - BROADWAY
1/8" = 1'-0"



2 SOUTH ELEVATION - WEST 57TH STREET
1/8" = 1'-0"

BUILDING ENVELOPE - SOUTH ELEVATION				
ID	CONSTRUCTION MATERIAL	AREA TOTAL (SF)	% OF TOTAL	U-VALUE SHGC
A	GLAZING VISION (G.U.)	2407	11.1%	0.38 0.26
B	GLAZING SPANDREL (G.U.)	5947	28.3%	0.17 N/A
C	ARCHITECTURAL METAL PANEL (INSULATED)	22639	11.3%	0.05 N/A
D	PODIUM METAL PANEL (INSULATED)	862	0.4%	0.07 N/A
E	AIR WELL LOUVER (NON-ACTIVE)	875	0.4%	0.16 N/A
F	LOUVER (ACTIVE)	2355	1.1%	12.00 N/A
G	PODIUM CURVED LOUVER	0	0.0%	0.22 N/A
H	RETAL GLAZING VISION (CURVED)	13769	6.4%	0.55 0.35
J	RETAL GLAZING VISION (G.U.)	0	0.0%	0.31 0.60
K	RETAL GLAZING VISION (STORE FRONT)	1803	0.9%	0.95 0.85
L1	ADJACENT BUILDING WALL AREA (LOT LINE)	763	0.4%	0.35 N/A
L2	ADJACENT BUILDING WALL AREA (LOT LINE)	0	0.0%	0.83 N/A
L3	ADJACENT BUILDING WALL AREA (LOT LINE)	8003	4.2%	0.43 N/A
L4	ADJACENT BUILDING WALL AREA (LOT LINE)	8003	4.2%	0.43 N/A
L5	ADJACENT BUILDING WALL AREA (LOT LINE)	0	0.0%	0.27 N/A
L6	ADJACENT BUILDING WALL AREA (LOT LINE)	0	0.0%	0.20 N/A
J7	ADJACENT BUILDING WALL AREA (LOT LINE)	0	0.0%	0.09 N/A
M	LANDMARK RECONSTRUCTION WALL AREA	0	0.0%	0.09 N/A
N	LANDMARK RECONSTRUCTION WINDOW AREA	0	0.0%	0.95 0.85
P	LANDMARK WALL AREA	0	0.0%	0.95 0.85
Q	LANDMARK WINDOW AREA	0	0.0%	0.95 0.85
TOTAL		200266	100.00%	
R	BELOW GRADE (WALLS 100% BELOW GRADE)	14254	24.42%	N/A N/A

BUILDING ENVELOPE - WEST ELEVATION				
ID	CONSTRUCTION MATERIAL	AREA TOTAL (SF)	% OF TOTAL	U-VALUE SHGC
A	GLAZING VISION (G.U.)	5094	25.0%	0.38 0.26
B	GLAZING SPANDREL (G.U.)	9246	45.7%	0.17 N/A
C	ARCHITECTURAL METAL PANEL (INSULATED)	22639	11.3%	0.05 N/A
D	PODIUM METAL PANEL (INSULATED)	0	0.0%	0.07 N/A
E	AIR WELL LOUVER (NON-ACTIVE)	0	0.0%	0.16 N/A
F	LOUVER (ACTIVE)	80	0.0%	12.00 N/A
G	PODIUM CURVED LOUVER	0	0.0%	0.22 N/A
H	RETAL GLAZING VISION (CURVED)	0	0.0%	0.55 0.35
J	RETAL GLAZING VISION (G.U.)	0	0.0%	0.31 0.60
K	RETAL GLAZING VISION (STORE FRONT)	0	0.0%	0.95 0.85
L1	ADJACENT BUILDING WALL AREA (LOT LINE)	2573	1.3%	0.35 N/A
L2	ADJACENT BUILDING WALL AREA (LOT LINE)	0	0.0%	0.83 N/A
L3	ADJACENT BUILDING WALL AREA (LOT LINE)	0	0.0%	0.43 N/A
L4	ADJACENT BUILDING WALL AREA (LOT LINE)	1534	0.8%	0.35 N/A
L5	ADJACENT BUILDING WALL AREA (LOT LINE)	0	0.0%	0.27 N/A
L6	ADJACENT BUILDING WALL AREA (LOT LINE)	0	0.0%	0.20 N/A
J7	ADJACENT BUILDING WALL AREA (LOT LINE)	0	0.0%	0.09 N/A
M	LANDMARK RECONSTRUCTION WALL AREA	0	0.0%	0.09 N/A
N	LANDMARK RECONSTRUCTION WINDOW AREA	0	0.0%	0.95 0.85
P	LANDMARK WALL AREA	1450	0.7%	0.95 0.85
Q	LANDMARK WINDOW AREA	3135	1.6%	0.95 0.85
TOTAL		163918	100.00%	
R	BELOW GRADE (WALLS 100% BELOW GRADE)	14400	24.87%	N/A N/A

BUILDING ENVELOPE - NORTH ELEVATION				
ID	CONSTRUCTION MATERIAL	AREA TOTAL (SF)	% OF TOTAL	U-VALUE SHGC
A	GLAZING VISION (G.U.)	8209	41.0%	0.38 0.26
B	GLAZING SPANDREL (G.U.)	9374	46.9%	0.17 N/A
C	ARCHITECTURAL METAL PANEL (INSULATED)	22639	11.3%	0.05 N/A
D	PODIUM METAL PANEL (INSULATED)	2054	1.0%	0.07 N/A
E	AIR WELL LOUVER (NON-ACTIVE)	0	0.0%	0.16 N/A
F	LOUVER (ACTIVE)	2340	1.2%	12.00 N/A
G	PODIUM CURVED LOUVER	7083	3.5%	0.22 N/A
H	RETAL GLAZING VISION (CURVED)	12003	6.0%	0.55 0.35
J	RETAL GLAZING VISION (G.U.)	1700	0.8%	0.31 0.60
K	RETAL GLAZING VISION (STORE FRONT)	1083	0.5%	0.95 0.85
L1	ADJACENT BUILDING WALL AREA (LOT LINE)	2573	1.3%	0.35 N/A
L2	ADJACENT BUILDING WALL AREA (LOT LINE)	0	0.0%	0.83 N/A
L3	ADJACENT BUILDING WALL AREA (LOT LINE)	3480	1.7%	0.43 N/A
L4	ADJACENT BUILDING WALL AREA (LOT LINE)	1865	0.9%	0.35 N/A
L5	ADJACENT BUILDING WALL AREA (LOT LINE)	0	0.0%	0.27 N/A
L6	ADJACENT BUILDING WALL AREA (LOT LINE)	0	0.0%	0.20 N/A
J7	ADJACENT BUILDING WALL AREA (LOT LINE)	0	0.0%	0.09 N/A
M	LANDMARK RECONSTRUCTION WALL AREA	2287	1.1%	0.09 N/A
N	LANDMARK RECONSTRUCTION WINDOW AREA	97	0.0%	0.95 0.85
P	LANDMARK WALL AREA	0	0.0%	0.95 0.85
Q	LANDMARK WINDOW AREA	0	0.0%	0.95 0.85
TOTAL		200266	100.00%	
R	BELOW GRADE (WALLS 100% BELOW GRADE)	15048	25.83%	N/A N/A

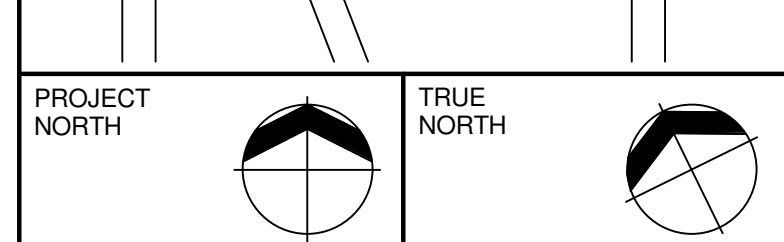
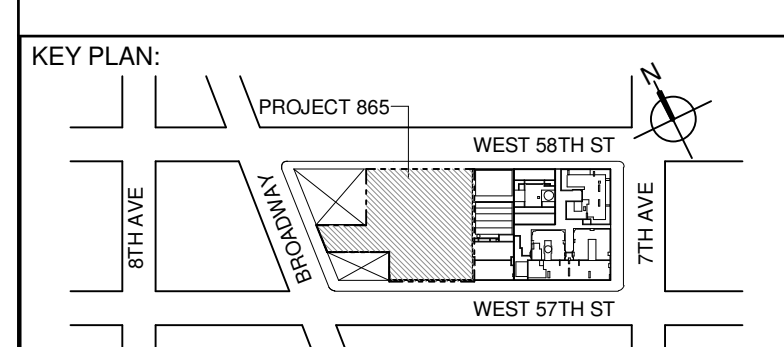
BUILDING ENVELOPE - EAST ELEVATION				
ID	CONSTRUCTION MATERIAL	AREA TOTAL (SF)	% OF TOTAL	U-VALUE SHGC
A	GLAZING VISION (G.U.)	6148	30.77%	0.38 0.26
B	GLAZING SPANDREL (G.U.)	20253	10.12%	0.17 N/A
C	ARCHITECTURAL METAL PANEL (INSULATED)	22639	11.3%	0.05 N/A
D	PODIUM METAL PANEL (INSULATED)	0	0.0%	0.07 N/A
E	AIR WELL LOUVER (NON-ACTIVE)	0	0.0%	0.16 N/A
F	LOUVER (ACTIVE)	49	0.0%	12.00 N/A
G	PODIUM CURVED LOUVER	0	0.0%	0.22 N/A
H	RETAL GLAZING VISION (CURVED)	0	0.0%	0.55 0.35
J	RETAL GLAZING VISION (G.U.)	0	0.0%	0.31 0.60
K	RETAL GLAZING VISION (STORE FRONT)	0	0.0%	0.95 0.85
L1	ADJACENT BUILDING WALL AREA (LOT LINE)	3311	1.7%	0.35 N/A
L2	ADJACENT BUILDING WALL AREA (LOT LINE)	0	0.0%	0.83 N/A
L3	ADJACENT BUILDING WALL AREA (LOT LINE)	0	0.0%	0.43 N/A
L4	ADJACENT BUILDING WALL AREA (LOT LINE)	299	0.1%	0.35 N/A
L5	ADJACENT BUILDING WALL AREA (LOT LINE)	1056	0.5%	0.27 N/A
L6	ADJACENT BUILDING WALL AREA (LOT LINE)	748	0.4%	0.20 N/A
J7	ADJACENT BUILDING WALL AREA (LOT LINE)	499	0.2%	0.09 N/A
M	LANDMARK RECONSTRUCTION WALL AREA	0	0.0%	0.09 N/A
N	LANDMARK RECONSTRUCTION WINDOW AREA	0	0.0%	0.95 0.85
P	LANDMARK WALL AREA	0	0.0%	0.95 0.85
Q	LANDMARK WINDOW AREA	0	0.0%	0.95 0.85
TOTAL		162760	100.00%	
R	BELOW GRADE (WALLS 100% BELOW GRADE)	14400	24.87%	N/A N/A

BUILDING ENVELOPE SUMMARY CHART - GROSS WALL AREA				
ID	CONSTRUCTION MATERIAL	AREA TOTAL (SF)	% OF TOTAL	U-VALUE SHGC
A	GLAZING VISION (G.U.)	28012	34.87%	0.38 0.26
B	GLAZING SPANDREL (G.U.)	19713	24.73%	0.17 N/A
C	ARCHITECTURAL METAL PANEL (INSULATED)	16539	20.74%	0.05 N/A
D	PODIUM METAL PANEL (INSULATED)	2046	2.57%	0.07 N/A
E	AIR WELL LOUVER (NON-ACTIVE)	862	0.1%	0.16 N/A
F	LOUVER (ACTIVE)	534	0.7%	12.00 N/A
G	PODIUM CURVED LOUVER	7083	8.9%	0.22 N/A
H	RETAL GLAZING VISION (CURVED)	23769	29.7%	0.55 0.35
J	RETAL GLAZING VISION (G.U.)	1700	2.1%	0.31 0.60
K	RETAL GLAZING VISION (STORE FRONT)	2886	3.6%	0.95 0.85
L1	ADJACENT BUILDING WALL AREA (LOT LINE)	5601	6.9%	0.35 N/A
L2	ADJACENT BUILDING WALL AREA (LOT LINE)	0	0.0%	0.83 N/A
L3	ADJACENT BUILDING WALL AREA (LOT LINE)	17863	22.4%	0.43 N/A
L4	ADJACENT BUILDING WALL AREA (LOT LINE)	14371	17.9%	0.35 N/A
L5	ADJACENT BUILDING WALL AREA (LOT LINE)	1056	1.3%	0.27 N/A
L6	ADJACENT BUILDING WALL AREA (LOT LINE)	748	0.9%	0.20 N/A
J7	ADJACENT BUILDING WALL AREA (LOT LINE)	499	0.6%	0.09 N/A
M	LANDMARK RECONSTRUCTION WALL AREA	2287	2.9%	0.09 N/A
N	LANDMARK RECONSTRUCTION WINDOW AREA	97	0.1%	0.95 0.85
P	LANDMARK WALL AREA	4935	6.2%	0.95 0.85
Q	LANDMARK WINDOW AREA	3135	4.0%	0.95 0.85
TOTAL		727169	100.00%	
R	BELOW GRADE (WALLS 100% BELOW GRADE)	58252	100.00%	N/A N/A

BUILDING ROOF, SOFFIT, AND SLAB ON GRADE SUMMARY CHART				
ID	CONSTRUCTION MATERIAL	AREA TOTAL (SF)	% OF TOTAL	U-VALUE SHGC
S	ROOF (RT-01 & RT-02)	4300	100.00%	0.04 N/A
T	SOFFIT (INSULATED)	4227	100.00%	0.00 N/A
U	SLAB ON GRADE	40704	100.00%	N/A N/A

BUILDING ENVELOPE DESIGN INTENT ASSEMBLIES		
ID	CONSTRUCTION MATERIAL	U-VALUE SHGC
A	GLAZING VISION (G.U.)	0.38 0.26
B	GLAZING SPANDREL (G.U.)	0.17 N/A
C	ARCHITECTURAL METAL PANEL (INSULATED)	0.05 N/A
D	PODIUM METAL PANEL (INSULATED)	0.07 N/A
E	AIR WELL LOUVER (NON-ACTIVE)	0.16 N/A
F	LOUVER (ACTIVE)	12.00 N/A
G	PODIUM CURVED LOUVER	0.22 N/A
H	RETAL GLAZING VISION (CURVED)	0.55 0.35
J	RETAL GLAZING VISION (G.U.)	0.31 0.60
K	RETAL GLAZING VISION (STORE FRONT)	0.95 0.85
L1	ADJACENT BUILDING WALL AREA (LOT LINE)	0.35 N/A
L2	ADJACENT BUILDING WALL AREA (LOT LINE)	0.83 N/A
L3	ADJACENT BUILDING WALL AREA (LOT LINE)	0.43 N/A
L4	ADJACENT BUILDING WALL AREA (LOT LINE)	0.35 N/A
L5	ADJACENT BUILDING WALL AREA (LOT LINE)	0.27 N/A
L6	ADJACENT BUILDING WALL AREA (LOT LINE)	0.20 N/A
J7	ADJACENT BUILDING WALL AREA (LOT LINE)	0.09 N/A
M	LANDMARK RECONSTRUCTION WALL AREA	0.09 N/A
N	LANDMARK RECONSTRUCTION WINDOW AREA	0.95 0.85
P	LANDMARK WALL AREA	0.95 0.85
Q	LANDMARK WINDOW AREA	0.95 0.85
R	BELOW GRADE (WALLS 100% BELOW GRADE)	N/A N/A
S	ROOF (RT-01 & RT-02)	0.04 N/A
T	SOFFIT (INSULATED)	0.00 N/A
U	SLAB ON GRADE (UNHEATED)	N/A N/A

AREA ID LEGEND	
A	GLAZING VISION (G.U.)
B	GLAZING SPANDREL (G.U.)
C	ARCHITECTURAL METAL PANEL (INSULATED)
D	PODIUM METAL PANEL (INSULATED)
E	AIR WELL LOUVER (NON-ACTIVE)
F	LOUVER (ACTIVE)
G	PODIUM CURVED LOUVER
H	RETAL GLAZING VISION (CURVED)
J	RETAL GLAZING VISION (G.U.)
K	RETAL GLAZING VISION (STORE FRONT)
L1	ADJACENT BUILDING WALL AREA (LOT LINE)
L2	ADJACENT BUILDING WALL AREA (LOT LINE)
L3	ADJACENT BUILDING WALL AREA (LOT LINE)
L4	ADJACENT BUILDING WALL AREA (LOT LINE)
L5	ADJACENT BUILDING WALL AREA (LOT LINE)
L6	ADJACENT BUILDING WALL AREA (LOT LINE)
L7	ADJACENT BUILDING WALL AREA (LOT LINE)
M	LANDMARK RECONSTRUCTION WALL AREA
N	LANDMARK RECONSTRUCTION WINDOW AREA
P	LANDMARK WALL AREA
Q	LANDMARK WINDOW AREA
R	BELOW GRADE (WALLS 100% BELOW GRADE)



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 17TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
AAI ARCHITECTS, P.C.
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

ARCHITECT OF RECORD: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 Wellington St., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
WSP CANTOR SENLUX
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 687 9888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
1501 Broadway
New York, NY 10036 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 380 West 31st Street, 8th Floor
New York, NY 10001-2277
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 828
New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508

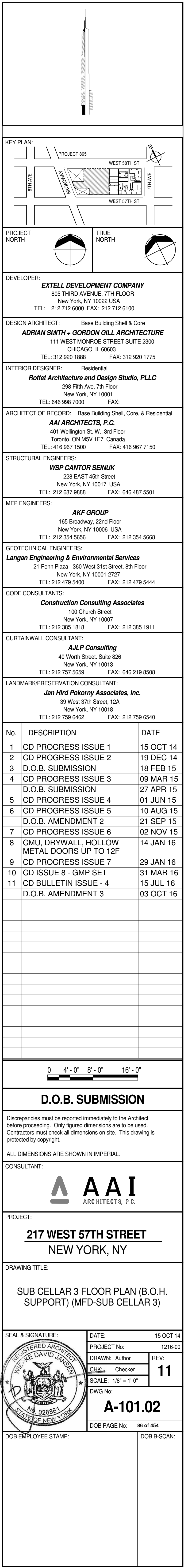
LANDMARK/PRESERVATION CONSULTANT:
Higgins Quasebarth & Partners LLC
11 Hanover Square, 16th Floor
New York, NY 10005
TEL: 212 274 9458 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
50 West 57th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	D.O.B. SUBMISSION	05 DEC 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
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8	CD PROGRESS ISSUE 6	02 NOV 15
9	CD PROGRESS ISSUE 7	29 JAN 16
10	CD ISSUE 8 - GMP SET	31 MAR 16
11	D.O.B. AMENDMENT 3	03 OCT 16

D.O.B. SUBMISSION	
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PROJECT:	
217 WEST 57TH STREET NEW YORK, NY	
DRAWING TITLE:	
ENERGY CONSERVATION CODE - ENVELOPE AREAS	

SEAL & SIGNATURE		DATE:
	PROJECT NO:	05 DEC 14
	DRAWN: Author	1216-00
	CHECK: Checker	8
	SCALE: As indicated	
DWG NO:		A-090.02
DOB PAGE NO:		85 of 154
DOB EMPLOYEE STAMP:		DOB S-CAN:





7



D.O.B. SUBMISSION

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CONSULTANT



PROJECT: _____

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

7TH FLOOR PLAN (MECHANICAL)
(MFD-7TH FLOOR)

SEAL & SIGNATURE:	DATE:	15 OCT 14
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	PROJECT No: 1216-00	
	DATE: 12/16/00	

	DRAWN: Author		REV:

CHK: _____ Checker **16**

SCALE: 1/8" = 1'-0"

 DWG No: **A 112 22**

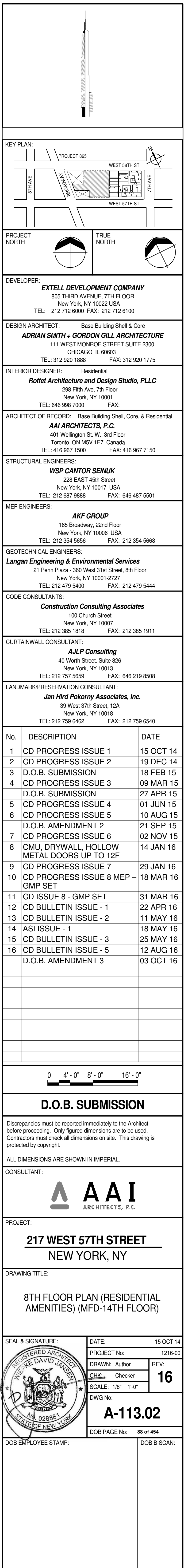
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DOB PAGE No: 87 of 454

DOB EMPLOYEE STAMP:	DOB B-SCAN:
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NOTE: REFER TO DRAWINGS A-467 TO A-470
FOR EXTERIOR AMENITIES AREA

A map showing the location of Project 885. The project is situated on West 58th St, between West 57th St and 77th Ave. The map includes a north arrow and labels for Broadway and the project name.

PROJECT NORTH		TRUE NORTH	
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DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312.230.1800 FAX: 312.230.1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
298 Fifth Ave, 7th Floor
New York, NY 10001

TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7, Canada

TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:

WSP CANTOR SEINUK
228 EAST 45th Street
New York, NY 10017

New York, NY 10017 USA
 TEL: 212 687 9888 FAX: 646 487 5501
 MEP ENGINEERS:
AKF GROUP
 165 Broadway, 22nd Floor

New York, NY 10006 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 360 West 31st Street, 8th Floor

TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:

Construction Consulting Associates

100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911
CURTAINWALL CONSULTANT:
AJLP Consulting

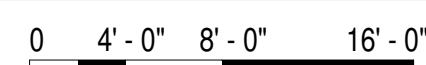
40 Worth Street, Suite 828
New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Bokorny Associates, Inc.

39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION	DATE
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1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	CD PROGRESS ISSUE 5	10 AUG 15
8	AMENDMENT ISSUE 1	22 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CMU. DRYWALL. HOLLOW METAL DOORS UP TO 12F	14 JAN 16
11	CD PROGRESS ISSUE 7	29 JAN 16
12	CD ISSUE 8 - GMP SET	31 MAR 16
13	CD BULLETIN ISSUE 1	22 APR 16
14	CD BULLETIN ISSUE 2	11 MAY 16
15	CD BULLETIN ISSUE 3	25 MAY 16
16	CD BULLETIN ISSUE 5	12 AUG 16
17	D.O.B. AMENDMENT 3	03 OCT 16



D.O.B. SUBMISSION

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ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:

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PROJECT: _____

217 WEST 57TH STREET
NEW YORK, NY


DRAWING TITLE:

8TH FLOOR PLAN (RESIDENTIAL AMENITIES) (MED-14TH FLOOR)

AMERICAN, (MILITARY)

SEAL & SIGNATURE:	DATE:	15 OCT 44
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DATE:	15 OCT 14
PROJECT No:	1216-00

	DRAWN: Author	REV:
		1


 CHR: Checker
 SCALE: 1/4" = 1'-0"



DWG No:

A-114.02

DOB PAGE No: 89 of 454

DOB EMPLOYEE STAMP:	DOB B-SCAN:
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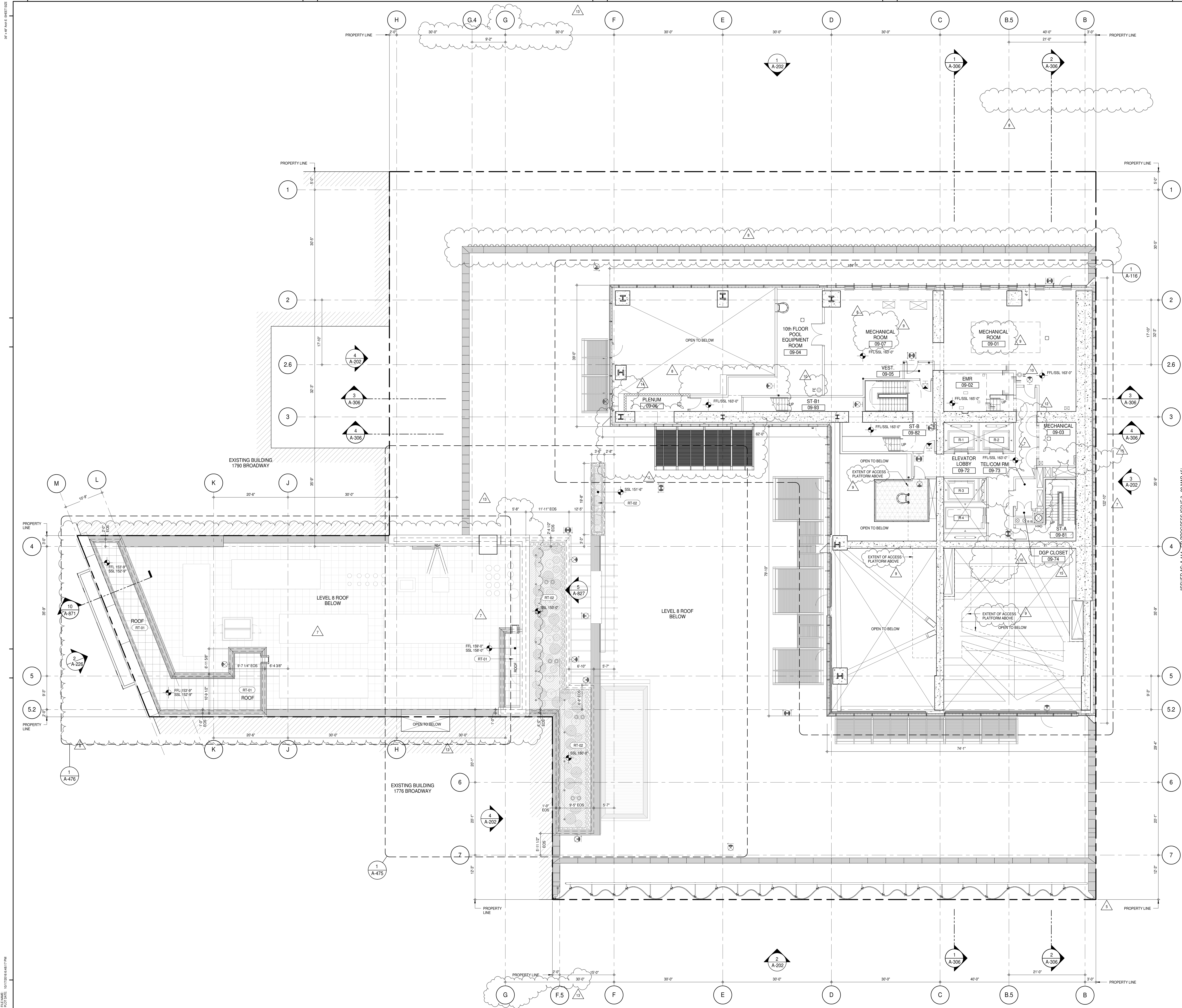
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KEY PLAN:

PROJECT NORTH

TRUE NORTH

DEVELOPER:

EXTELL DEVELOPMENT COMPANY
 805 THIRD AVENUE, 7TH FLOOR
 NEW YORK, NY 10022 USA
 TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT:

Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
 111 WEST MONROE STREET SUITE 2300
 CHICAGO, IL 60603
 TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER:

Residential
Rottet Architecture and Design Studio, PLLC
 228 FIFTH AVE, 7TH FLOOR
 NEW YORK, NY 10001
 TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD:

Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
 401 WEST 9TH ST., 3RD FLOOR
 TORONTO, ON M5V 1E7 CANADA
 TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:

VSP CANTOR SEINUK
 228 EAST 45TH STREET
 NEW YORK, NY 10017 USA
 TEL: 212 987 8888 FAX: 646 487 5501

MEP ENGINEERS:

AKF GROUP
 105 BROADWAY, 22ND FLOOR
 NEW YORK, NY 10006 USA
 TEL: 212 354 5655 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:

Langan Engineering & Environmental Services
 21 Penn Plaza - 360 West 51st Street, 9th Floor
 New York, NY 10001-2727
 TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:

Construction Consulting Associates
 100 Church Street
 New York, NY 10007
 TEL: 212 385 1912 FAX: 212 385 1911

CURTAINWALL CONSULTANT:

AJLP Consulting
 40 Worth Street, Suite 806
 New York, NY 10013
 TEL: 212 757 5559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:

Jan Hird Pokorny Associates, Inc.
 39 West 57th Street, 12A
 New York, NY 10019
 TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	CD PROGRESS ISSUE 5	10 AUG 15
8	D.O.B. AMENDMENT - 1	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	CD BULLETIN ISSUE - 1	22 APR 16
13	CD BULLETIN ISSUE - 2	11 MAY 16
14	CD BULLETIN ISSUE - 3	25 MAY 16
15	CD BULLETIN ISSUE - 7	14 SEP 16
16	D.O.B. AMENDMENT 3	03 OCT 16

ISSUED AS A-114 CD PROGRESS ISSUE 5 - 09 MAR 15

0 4' - 0" 8' - 0" 16' - 0"

D.O.B. SUBMISSION

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ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:

AAI
 ARCHITECTS, P.C.

PROJECT:

**217 WEST 57TH STREET
 NEW YORK, NY**

DRAWING TITLE:

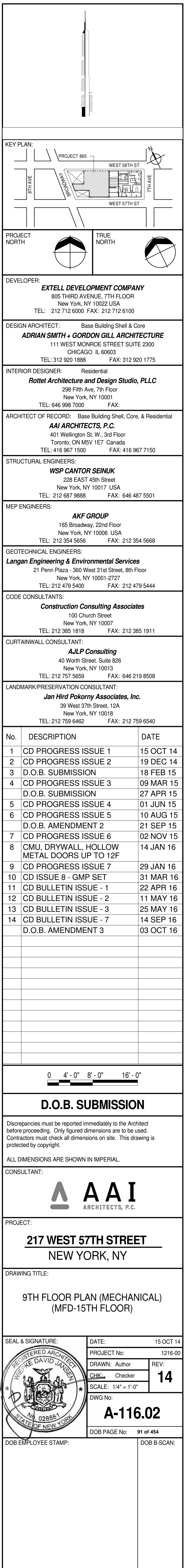
**9TH FLOOR PLAN (MECHANICAL)
 (MFD-15TH FLOOR)**

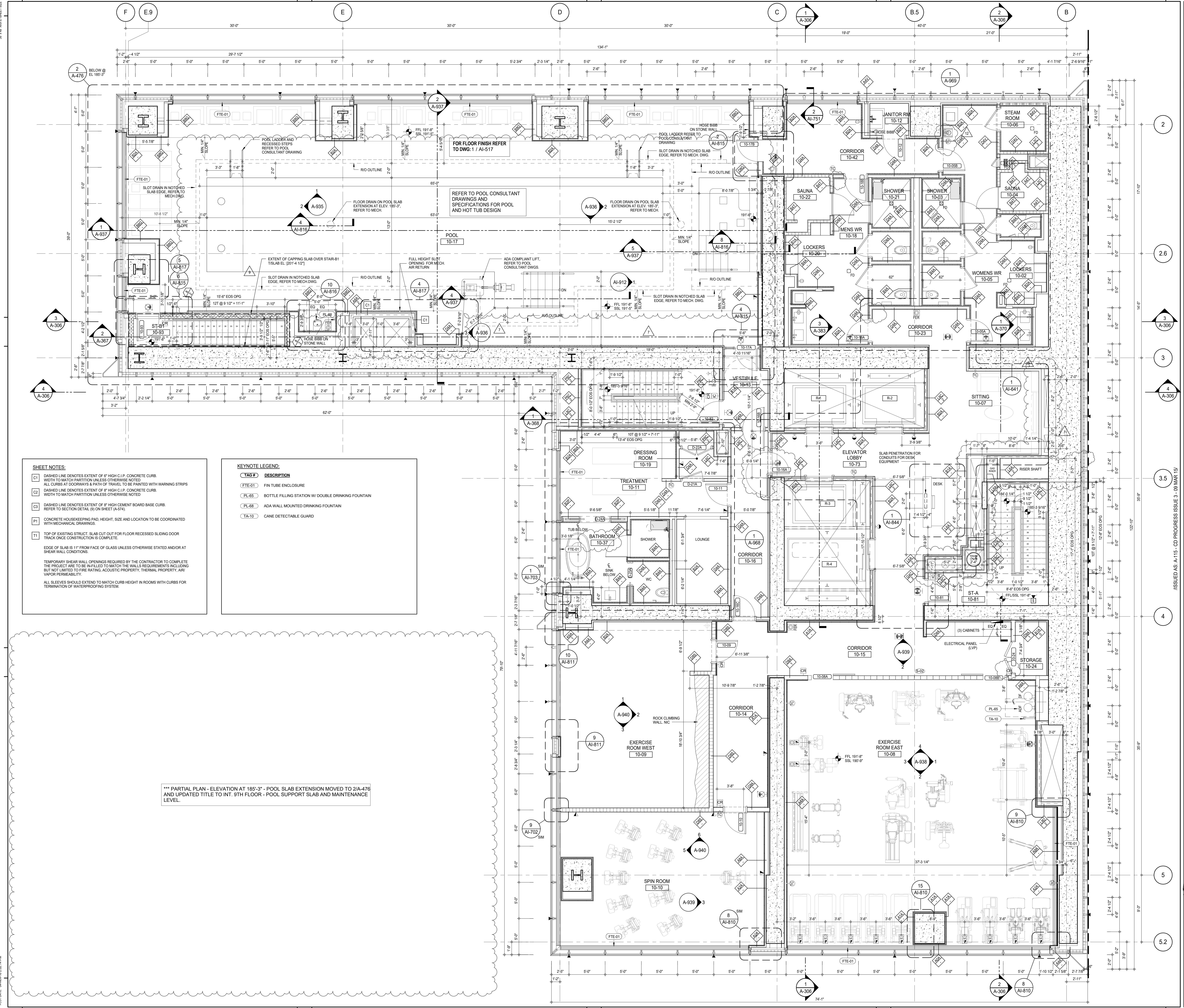
SEAL & SIGNATURE	DATE:	15 OCT 14
	PROJECT No:	1216-00
	DRAWN: Author	REV:
	CHECKED: Checker	15
	SCALE: 1/8" = 1'-0"	
	DWG No:	A-115.02

DOB PAGE No: 96 of 144

DOB EMPLOYEE STAMP:

DOB 5-SCAN:





*** PARTIAL PLAN - ELEVATION AT 185'-3" - POOL SLAB EXTENSION MOVED TO 2/A-476 AND UPDATED TITLE TO INT. 9TH FLOOR - POOL SUPPORT SLAB AND MAINTENANCE LEVEL.

SHEET NOTES:	
C1	DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED
C2	ALL CURBS AT DOORWAYS & PATH OF TRAVEL TO BE PAINTED WITH WARNING STRIPS
C3	DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED
P1	DASHED LINE DENOTES EXTENT OF 8" HIGH CEMENT BOARD BASE CURB. REFER TO SECTION DETAIL (9) ON SHEET (A-574)
P2	CONCRETE HOUSEKEEPING PAD, HEIGHT, SIZE AND LOCATION TO BE COORDINATED WITH MECHANICAL DRAWINGS.
T1	TOP OF EXISTING STRUCT. SLAB CUT OUT FOR FLOOR RECESSED SLIDING DOOR TRACK ONCE CONSTRUCTION IS COMPLETE.

KEYNOTE LEGEND:

<u>TAG #</u>	<u>DESCRIPTION</u>
<u>FTE-01</u>	FIN TUBE ENCLOSURE
<u>PL-65</u>	BOTTLE FILLING STATION W/ DOUBLE DRINKING FOUNTAIN
<u>PL-68</u>	ADA WALL MOUNTED DRINKING FOUNTAIN
<u>TA-10</u>	CANE DETECTABLE GUARD

PROJECT PLAN:

PROJECT NORTH

TRUE NORTH

DEVELOPER:

EXTEL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT:

Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 820 1888 FAX: 312 902 1775

INTERIOR DESIGNER:

Residential
Rotet Architecture and Design Studio, PLLC
238 Fifth Ave. 7th Floor
New York, NY 10001
TEL: 646 995 7000 FAX: _____

ARCHITECT OF RECORD:

Base Building Shell, Core, & Residential
AJI ARCHITECTS, P.C.
401 Livingston St., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 5550 FAX: 416 967 7150

STRUCTURAL ENGINEERS:

WSP CANTOR SEINIK
228 EAST 43rd Street
New York, NY 10017 USA
TEL: 212 687 8888 FAX: 646 487 5501

MEP ENGINEERS:

AKF GROUP
165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:

Lengan Engineering & Environmental Services
21 Penn Plaza - 360 West 31st Street, 6th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:

Construction Consulting Associates
400 Church Street
New York, NY 10007
TEL: 212 365 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:

A.L.P. Consulting
40 Worth Street, Suite 826
New York, NY 10013
TEL: 212 757 5550 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:

Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.

DESCRIPTION

DATE

1

CD PROGRESS ISSUE 1

15 OCT 14

2

CD PROGRESS ISSUE 2

19 DEC 14

3

D.O.B. SUBMISSION

18 FEB 15

4

CD PROGRESS ISSUE 3

09 MAR 15

5

D.O.B. SUBMISSION

27 APR 15

6

CD PROGRESS ISSUE 4

01 JUN 15

7

CD PROGRESS ISSUE 5

10 AUG 15

8

D.O.B. AMENDMENT 2

21 SEP 15

9

CD PROGRESS ISSUE 6

02 NOV 15

10

CMU DRYWALL, HOLLOW METAL DOORS UP TO 12F

14 JAN 16

11

CD PROGRESS ISSUE 7

29 JAN 16

12

D.O.B. - GMP SET

31 MAR 16

13

CD BULLETIN ISSUE - 1

22 APR 16

11

CD BULLETIN ISSUE - 3

25 MAY 16

12

D.O.B. AMENDMENT 3

03 OCT 16

0

2'-0"

4'-0"

6'-0"

D.O.B. SUBMISSION

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CONSULTANT:

AAI
ARCHITECTS, P.C.

PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

10TH FLOOR PLAN (RESIDENTIAL
ATTENUE FINANCES) (MFD-16TH FLOOR)

SEAL & SIGNATURE:

PROJECT No:

15 OCT 14

DRAWING No:

1216-00

CHKN: Checker

REV: _____

SCALE: 1/4" = 1'-0"

12

DWS No:

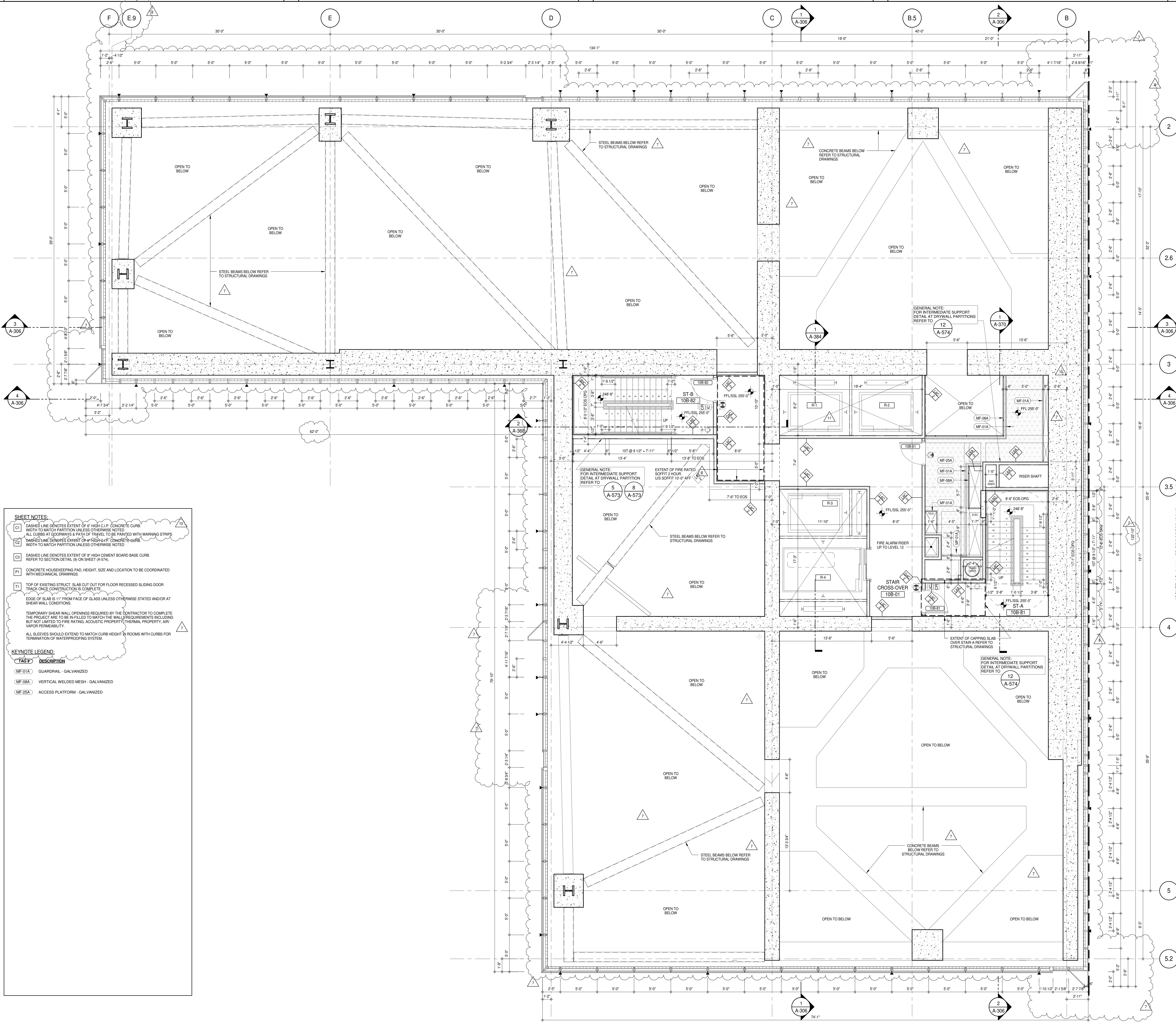
A-117-02

DOB PAGE No: 92 of 454

DOB B-SCAN:

DOB EMPLOYEE STAMP:

DOB B-SCAN:



SHEET NOTES:

1. DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

2. ALL CURBS AT DOORWAYS & PATH OF TRAVEL TO BE PAINTED WITH WARNING STRIPS.

3. DASHED LINE DENOTES EXTENT OF 8" HIGH C.I.P. CONCRETE CURB WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

4. DASHED LINE DENOTES EXTENT OF 8" HIGH CEMENT BOARD BASE CURB. REFER TO SECTION DETAIL (S) ON SHEET (A-574).

5. CONCRETE HOUSEKEEPING PAD, HEIGHT, SIZE AND LOCATION TO BE COORDINATED WITH MECHANICAL DRAWINGS.

6. TOP OF EXISTING STRUCT. SLAB CUT OUT FOR FLOOR RECESSED SLIDING DOOR TRACK ONCE CONSTRUCTION IS COMPLETE.

7. EDGE OF SLAB IS 11" FROM FACE OF GLASS UNLESS OTHERWISE STATED AND/OR AT SHEAR WALL CONDITIONS.

8. TEMPORARY SHEAR WALL OPENINGS REQUIRED BY THE CONTRACTOR TO COMPLETE THE PROJECT ARE TO BE INFILLED TO MATCH THE WALL REQUIREMENTS INCLUDING BUT NOT LIMITED TO FIRE RATING, ACOUSTIC PROPERTY, THERMAL PROPERTY, AIR VAPOR PERMEABILITY.

9. ALL SLEEVES SHOULD EXTEND TO MATCH CURB HEIGHT IN ROOMS WITH CURBS FOR TERMINATION OF WATERPROOFING SYSTEM.

KEYNOTE LEGEND:

MF-01A GUARDRAIL - GALVANIZED

MF-08A VERTICAL WELDED MESH - GALVANIZED

MF-25A ACCESS PLATFORM - GALVANIZED

KEY PLAN:

PROJECT NORTH

TRUE NORTH

DEVELOPER:

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT:

AAI ARCHITECTS, P.C.
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER:

Rottet Architecture and Design Studio, PLLC
238 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD:

AAI ARCHITECTS, P.C.
401 Wellington St. W., 2nd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:

VSP CANTOR SEINUK
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 887 8888 FAX: 646 487 5501

MEP ENGINEERS:

AKF GROUP
165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:

Langan Engineering & Environmental Services
21 Penn Plaza - 350 West 57th Street, 8th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:

Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:

AJLP Consulting
40 Worth Street, Suite 806
New York, NY 10013
TEL: 212 757 5559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:

Jan Hird Pokorny Associates, Inc.
39 West 57th Street, 12A
New York, NY 10019
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	CD PROGRESS ISSUE 5	10 AUG 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	14 JAN 16
11	CD PROGRESS ISSUE 8	29 JAN 16
12	CD PROGRESS ISSUE 9	31 MAR 16
13	CD PROGRESS ISSUE 10	22 APR 16
14	D.O.B. AMENDMENT 3	03 OCT 16

0 2'-0" 4'-0" 8'-0"

D.O.B. SUBMISSION

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CONSULTANT:

AAI
ARCHITECTS, P.C.

PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

10TH FLOOR INTERMEDIATE 2 PLAN (MFD-18TH FLOOR)

SCALE: 1/4" = 1'-0"

DATE: 15 OCT 14

PROJECT No: 1216-00

DRAWN: Author

CHECKED: Checker

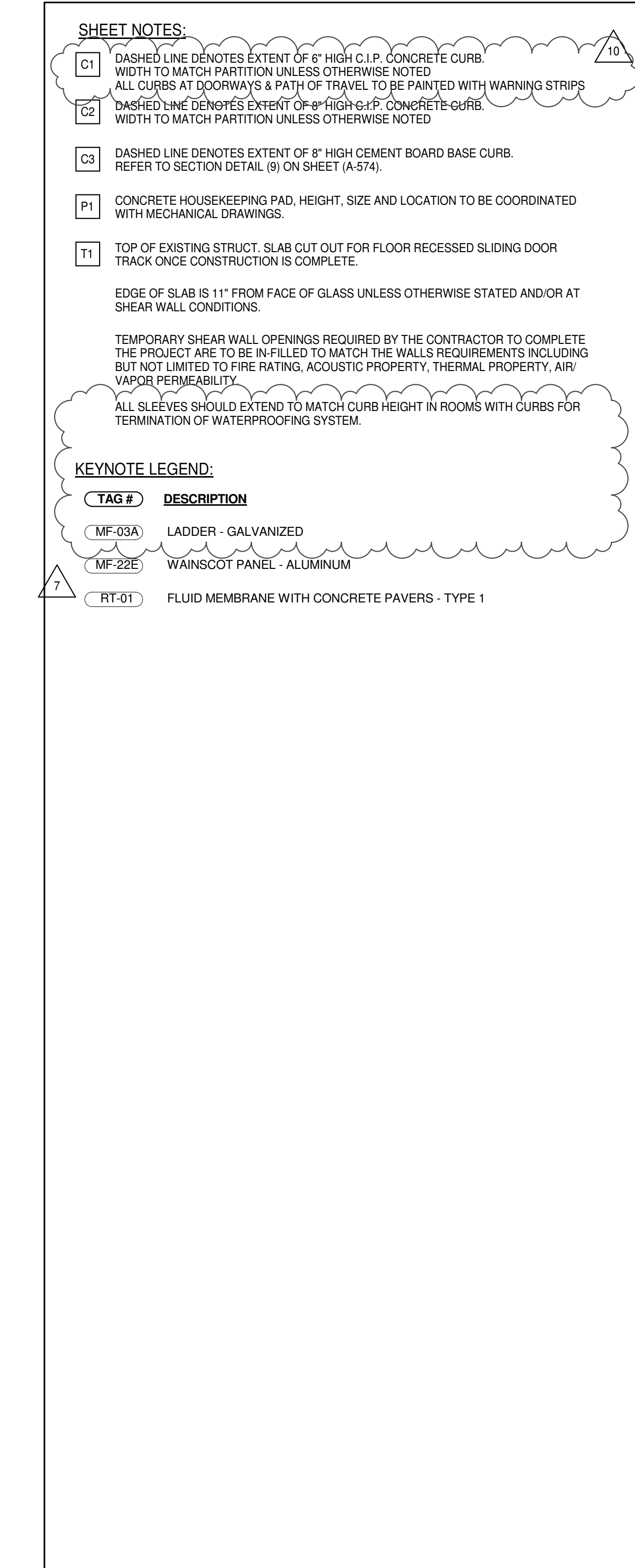
SCALE: 1/4" = 1'-0"

DWG No: **A-119.02**

DOB PAGE No: 94 of 154

DOB EMPLOYEE STAMP:

DOB S-CAN:



No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 11
2	CD PROGRESS ISSUE 2	19 DEC 11
3	D.O.B. SUBMISSION	18 FEB 12
4	CD PROGRESS ISSUE 3	09 MAR 12
5	D.O.B. SUBMISSION	27 APR 11
6	CD PROGRESS ISSUE 4	10 AUG 11
7	D.O.B. AMENDMENT 2	21 FEB 12
8	CD PROGRESS ISSUE 6	02 NOV 11
8	CMU, DRYWALL, HOLLOW METAL DOORS UP TO 12F	14 JAN 11
9	CD PROGRESS ISSUE 7	29 JAN 11
10	CD ISSUE 8 - GMP SET	31 MAR 12
11	CD BULLETIN ISSUE - 1	22 APR 11
12	CD BULLETIN ISSUE - 3	25 MAY 11
13	CD BULLETIN ISSUE - 7	14 SEP 11
	D.O.B. AMENDMENT 3	03 OCT 11



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CONSULTANT: **A A T**

AAI

ARCHITECTS, P.C.

PROJECT:

217 WEST 57TH STREET

NEW YORK, NY

DRAWING TITLE:

11TH FLOOR BMU PLAN (MFD-19TH

FLOOR)

SEAL & SIGNATURE:	DATE:	15 OCT
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	PROJECT No: 1216	
	DRAWN: Author	REV:


 CHK: _____ Checker _____
 13

SCALE: 1/4" = 1'-0"

A-120.02

STATE OF NEW YORK
No. 028881
A-120.02

DOB EMPLOYEE STAMP:		DOB B-SCAN
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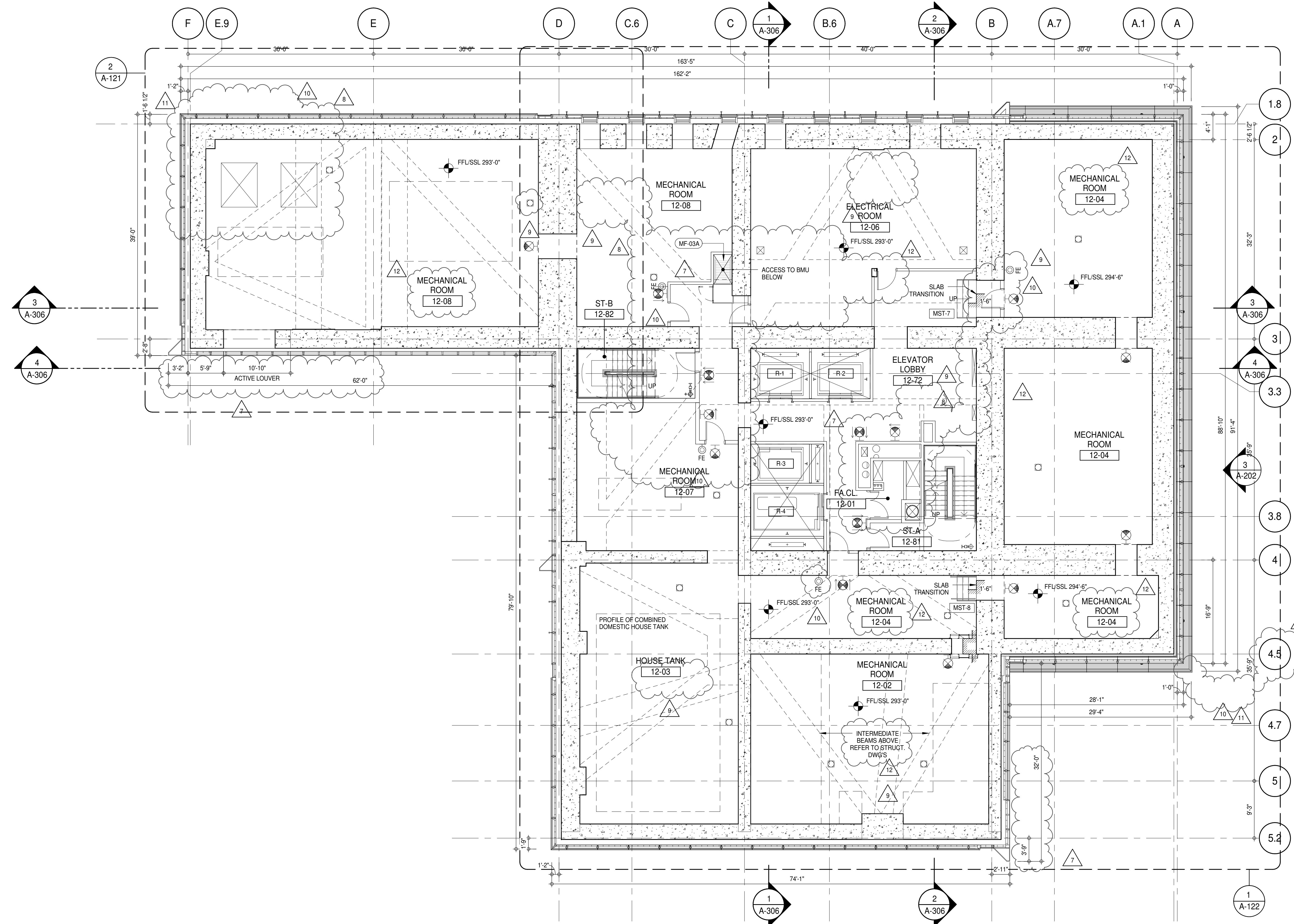
<p> $\frac{1}{2} \times \frac{1}{2} = \frac{1}{4}$ $\frac{1}{4} \times \frac{1}{4} = \frac{1}{16}$ $\frac{1}{16} \times \frac{1}{16} = \frac{1}{256}$ $\frac{1}{256} \times \frac{1}{256} = \frac{1}{65,536}$ $\frac{1}{65,536} \times \frac{1}{65,536} = \frac{1}{4,294,967,296}$ </p>	<p> $\frac{1}{2} \times \frac{1}{2} = \frac{1}{4}$ $\frac{1}{4} \times \frac{1}{4} = \frac{1}{16}$ $\frac{1}{16} \times \frac{1}{16} = \frac{1}{256}$ $\frac{1}{256} \times \frac{1}{256} = \frac{1}{65,536}$ $\frac{1}{65,536} \times \frac{1}{65,536} = \frac{1}{4,294,967,296}$ </p>
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SHEET NOTES:

C1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

C2 ALL CURBS AT DOORWAYS & PATH OF TRAVEL TO BE PAINTED WITH WARNING STRIPS.

C3 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

P1 CONCRETE HOUSEKEEPING PAD. HEIGHT, SIZE AND LOCATION TO BE COORDINATED WITH MECHANICAL DRAWINGS.

T1 TOP OF EXISTING STRUCT. SLAB CUT OUT FOR FLOOR RECESSED SLIDING DOOR TRACK ONCE CONSTRUCTION IS COMPLETE.

EDGE OF SLAB IS 11" FROM FACE OF GLASS UNLESS OTHERWISE STATED AND/OR AT SHEAR WALL CONDITIONS.

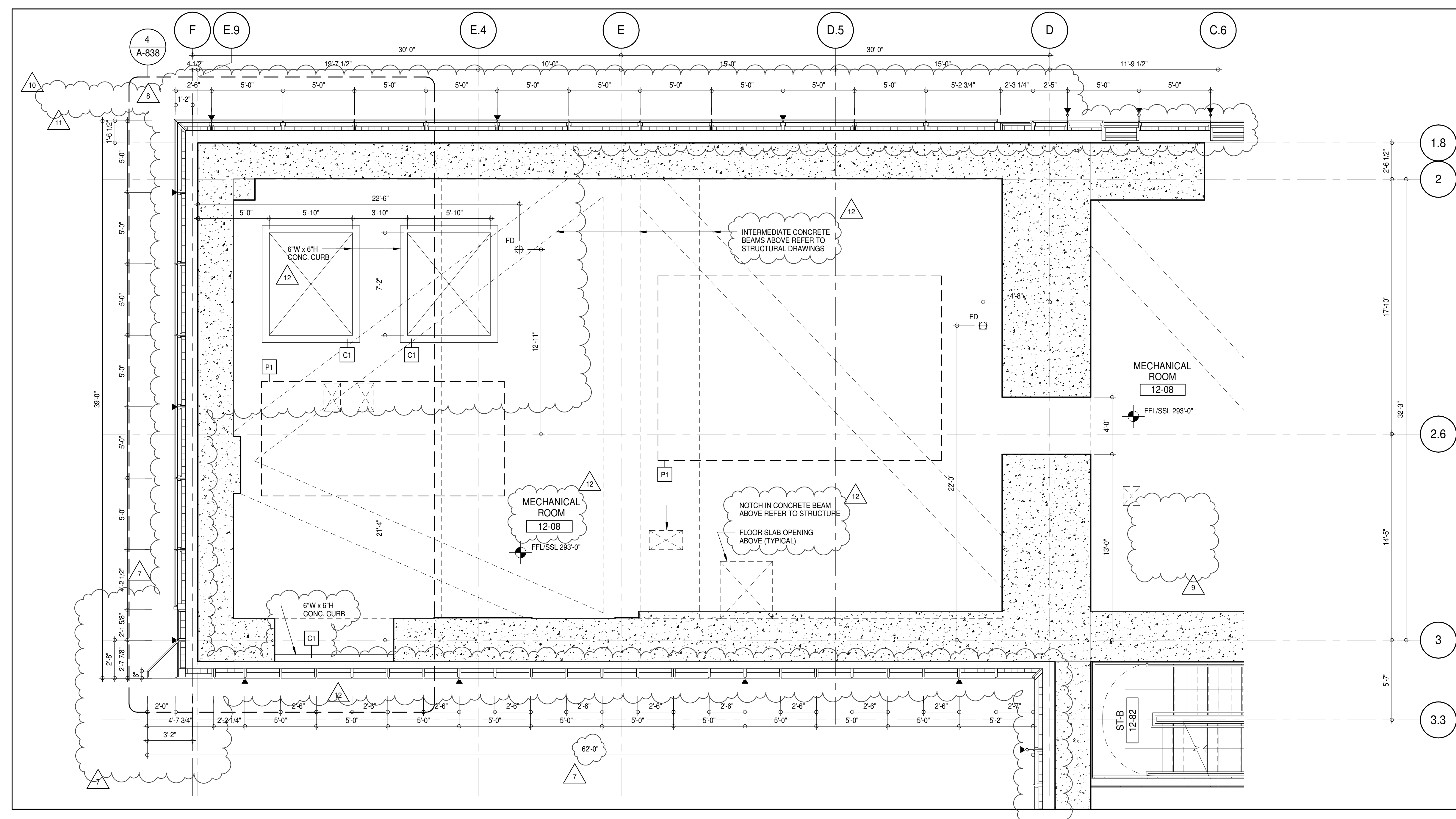
TEMPORARY SHEAR WALL OPENINGS REQUIRED BY THE CONTRACTOR TO COMPLETE THE PROJECT ARE TO BE FILLED TO MATCH THE WALLS REQUIREMENTS INCLUDING BUT NOT LIMITED TO FIRE RATING, ACOUSTIC PROPERTY, THERMAL PROPERTY, AIR VAPOR PERMEABILITY.

ALL SLEEVES SHOULD EXTEND TO MATCH CURB HEIGHT IN ROOMS WITH CURBS FOR TERMINATION OF WATERPROOFING SYSTEM.

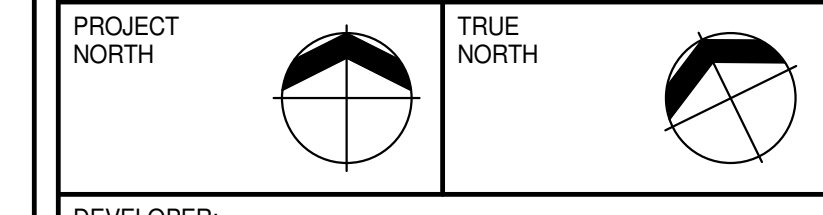
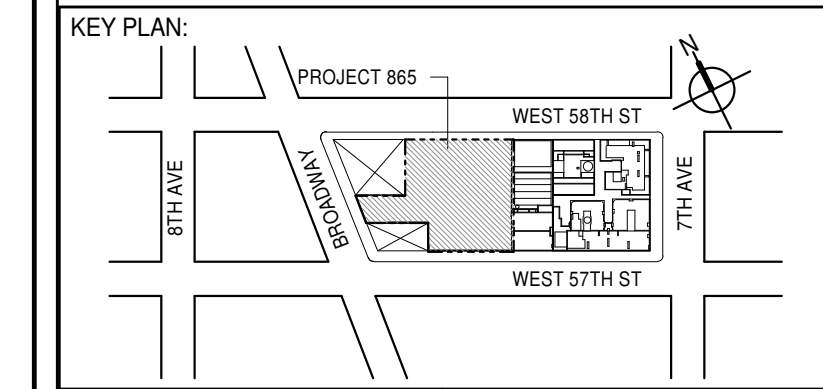
KEYNOTE LEGEND:

TAG # DESCRIPTION

MF-03A LADDER - GALVANIZED



12TH FLOOR PLAN - PARTIAL
A-121
14" x 11"



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
298 Fifth Ave., 7th Floor
New York, NY 10001
TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AJAJ ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
VSP CANTOR SEINUK
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 887 8888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
165 Broadway, 22nd Floor
New York, NY 10008 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 300 West 57th Street, 9th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1912 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 806
New York, NY 10013
TEL: 212 757 5559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6452 FAX: 212 759 6540

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100 Church Street
New York, NY 10007
TEL: 212 385 1912 FAX: 212 385 1911

40 Worth Street, Suite 806
New York, NY 10013
TEL: 212 757 5559 FAX: 646 219 8508

39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6452 FAX: 212 759 6540

15 OCT 14
19 DEC 14
18 FEB 15
09 MAR 15
27 APR 15
01 JUN 15
10 AUG 15
21 SEP 15
02 NOV 15
14 JAN 16
29 JAN 16
31 MAR 16
25 MAY 16
14 SEP 16
03 OCT 16

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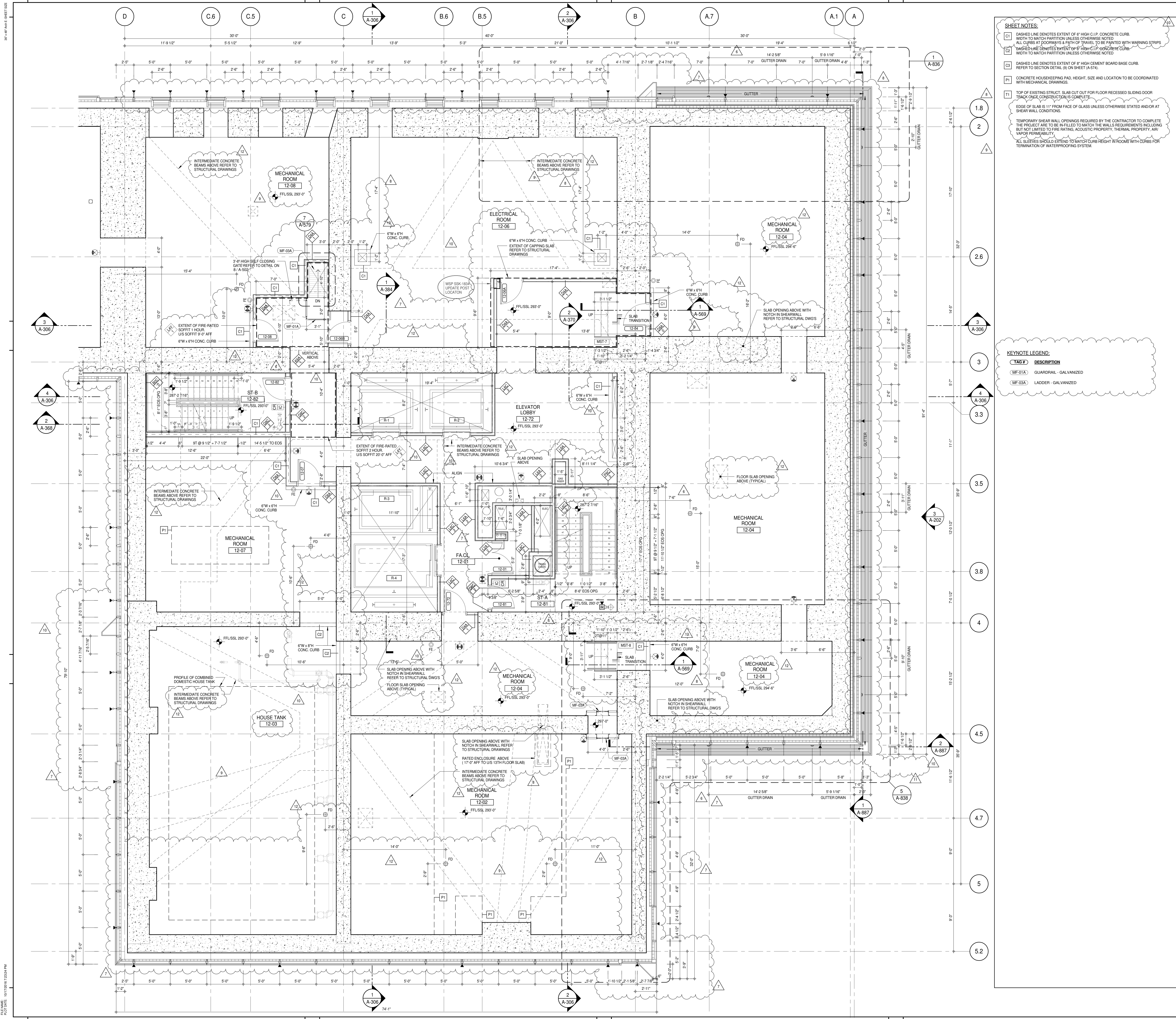
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15 OCT 14
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A-121.02
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DOB PAGE No: 96 of 164
DOB 5-SCAN:



SHEET NOTES:

C1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

C2 ALL CURBS AT DOORWAYS & PATH OF TRAVEL TO BE PAINTED WITH WARNING STRIPS DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

C3 DASHED LINE DENOTES EXTENT OF 6" HIGH CONCRETE BOARD BASE CURB. REFER TO SECTION DETAIL (B) ON SHEET (A-574).

P1 CONCRETE HOUSEKEEPING PAD. HEIGHT, SIZE AND LOCATION TO BE COORDINATED WITH MECHANICAL DRAWINGS.

T1 TOP OF EXISTING STRUCT. SLAB CUT OUT FOR FLOOR RECESSED SLIDING DOOR TRACK. ONCE CONSTRUCTION IS COMPLETE.

EDGE OF SLAB IS 1" FROM FACE OF GLASS UNLESS OTHERWISE STATED AND/OR AT SHEAR WALL CONDITIONS.

TEMPORARY SHEAR WALL OPENINGS REQUIRED BY THE CONTRACTOR TO COMPLETE THE PROJECT ARE TO BE FILLED TO MATCH THE WALLS REQUIREMENTS INCLUDING BUT NOT LIMITED TO FIRE RATING, ACOUSTIC PROPERTY, THERMAL PROPERTY, AIR VAPOR PERMEABILITY.

ALL SERIES SHOULD EXTEND TO MATCH CURB HEIGHT IN ROOMS WITH CURBS FOR TERMINATION OF WATERPROOFING SYSTEM.

KEYNOTE LEGEND:

TAG #	DESCRIPTION
MF-01A	GUARDRAIL - GALVANIZED
MF-03A	LADDER - GALVANIZED

KEY PLAN:

PROJECT #101 WEST 57TH ST WEST 57TH ST WEST 57TH ST

PROJECT NORTH

DEVELOPER: EXTREME DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
298 Fifth Ave., 7th Floor
New York, NY 10001
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
401 West 57th St., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEER:
VSP CANTOR SEINUK
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 887 2885 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
165 Broadway, 22nd Floor
New York, NY 10008 USA
TEL: 212 354 5655 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza, 360 West 57th Street, 8th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 806
New York, NY 10013
TEL: 212 757 5555 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 57th Street, 12A
New York, NY 10019
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	CD PROGRESS ISSUE 5	10 AUG 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	14 JAN 16
11	CD ISSUE 8 - GMP SET	29 JAN 16
12	CD BULLETIN ISSUE - 3	31 MAR 16
13	CD BULLETIN ISSUE - 7	25 MAY 16
14	D.O.B. AMENDMENT 3	14 SEP 16
15	D.O.B. AMENDMENT 3	03 OCT 16

0 2'-0" 4'-0" 8'-0"

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

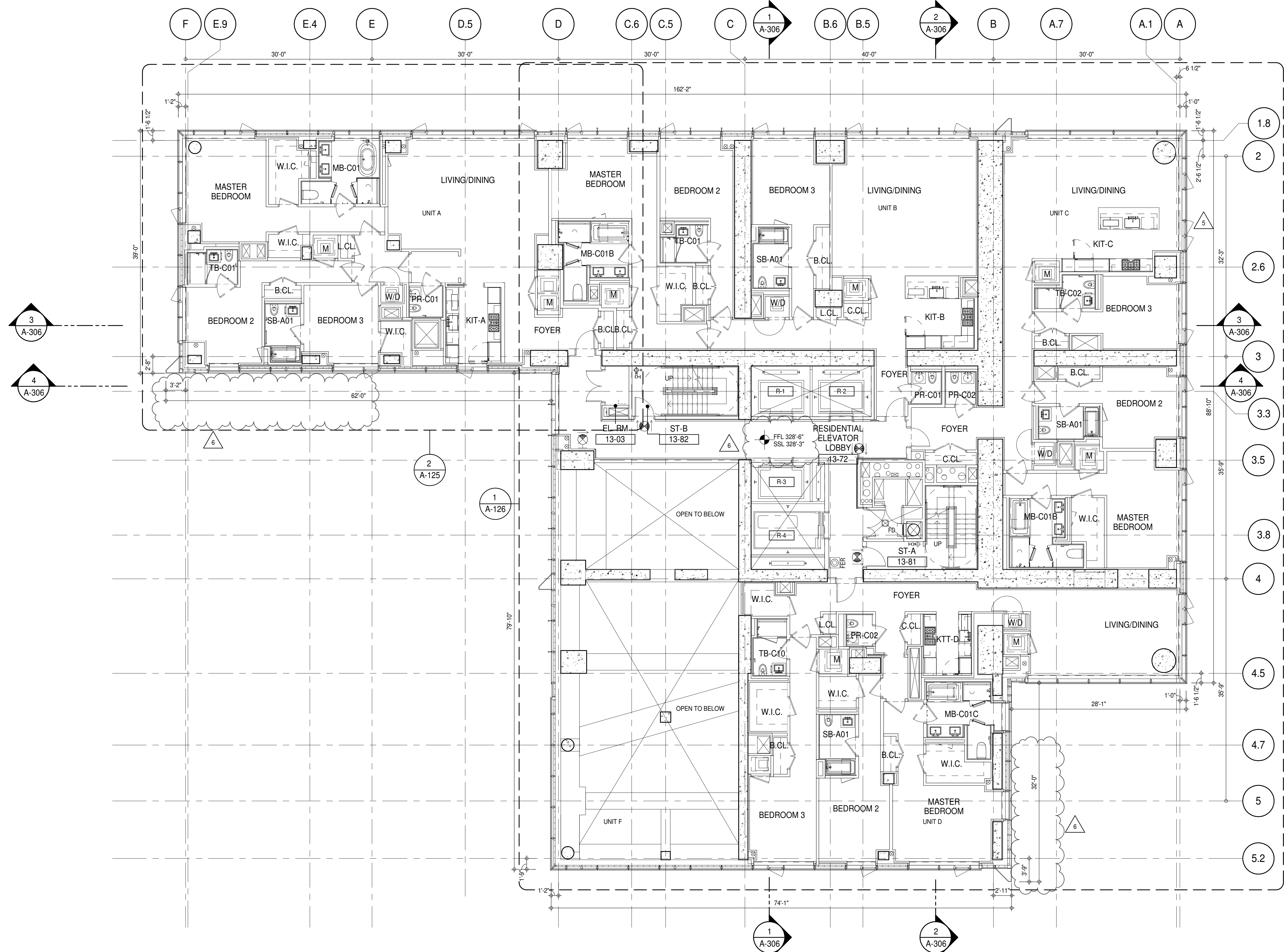
CONSULTANT:

AAI ARCHITECTS, P.C.

PROJECT: 217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE: 12TH FLOOR PLAN (MECHANICAL)
(MFD-20TH FLOOR)

SEAL & SIGNATURE: PROJECT No: 15 OCT 14
PROJECT No: 1216-00
DRAWN: Author
CHECKED: Checker
SCALE: 1/4" = 1'-0"
DWG No: 12
DOB PAGE No: 97 of 154
DOB 5-SCN:



SHEET NOTES:

01 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

02 ALL CURBS AT DOORWAYS & PATH OF TRAVEL TO BE PAINTED WITH WARNING STRIPS TRACK ONCE CONSTRUCTION IS COMPLETE.

03 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

04 DASHED LINE DENOTES EXTENT OF 6" HIGH CEMENT BOARD BASE CURB. REFER TO SECTION DETAIL (B) ON SHEET (A-574).

05 CONCRETE HOUSEKEEPING PAD. HEIGHT, SIZE AND LOCATION TO BE COORDINATED WITH MECHANICAL DRAWINGS.

11 TOP OF EXISTING STRUCT. SLAB CUT OUT FOR FLOOR RECESSED SLIDING DOOR TRACK ONCE CONSTRUCTION IS COMPLETE.

EDGE OF SLAB IS 11" FROM FACE OF GLASS UNLESS OTHERWISE STATED AND/OR AT SHEAR WALL CONDITIONS.

TEMPORARY SHEAR WALL OPENINGS REQUIRED BY THE CONTRACTOR TO COMPLETE THE PROJECT ARE TO BE FILLED TO MATCH THE WALLS REQUIREMENTS INCLUDING BUT NOT LIMITED TO FIRE RATING, ACOUSTIC PROPERTY, THERMAL PROPERTY, AIR VAPOR PERMEABILITY.

ALL SLEEVES SHOULD EXTEND TO MATCH CURB HEIGHT IN ROOMS WITH CURBS FOR TERMINATION OF WATERPROOFING SYSTEM.

KEYNOTE LEGEND:

TAG # DESCRIPTION

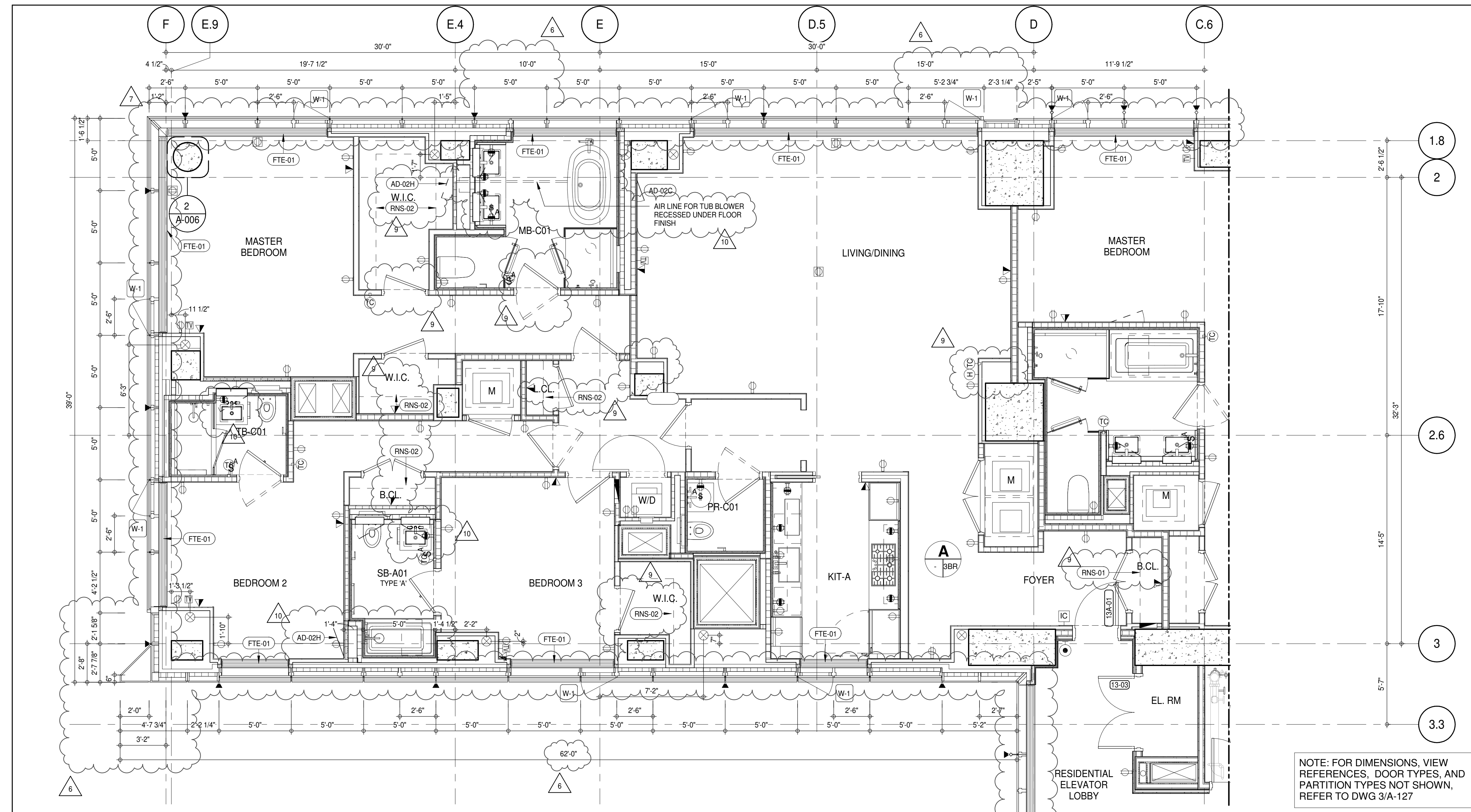
AD-02C ACCESS DOOR FLUSH NON RATED 18" x 18" - GYP

AD-02H ACCESS DOOR FLUSH NON RATED 28" X 17" - GYP

FTE-01 FIN TUBE ENCLOSURE

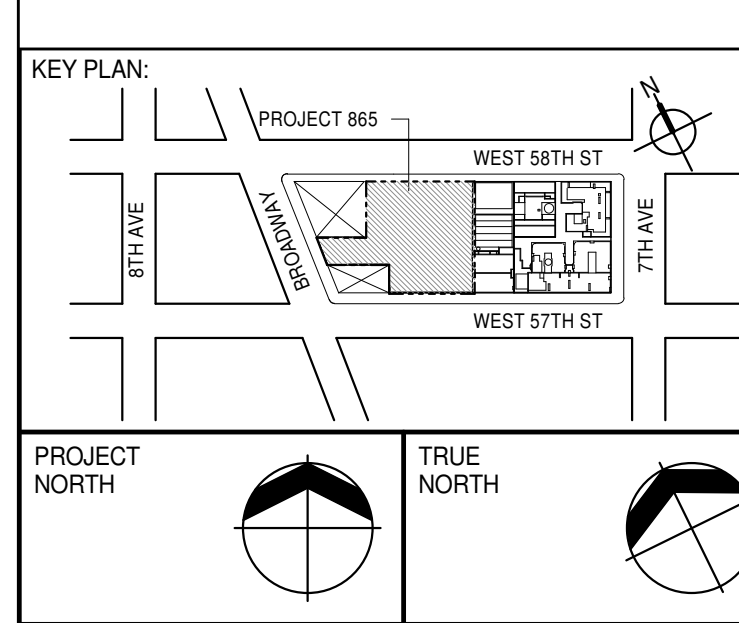
RNS-01 ROD AND SHELF (REFER TO A1-880)

RNS-02 ROD AND SHELF (N.I.C)



NOTE: FOR DIMENSIONS, VIEW REFERENCES, DOOR TYPES, AND PARTITION TYPES NOT SHOWN, REFER TO DWG 3/A-127

PARTIAL PLAN
1/4" = 1'-0"



PROJECT NORTH

DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
298 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
401 Wellington St., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEER:
VSP CANTOR SEINUK
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 887 8888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
165 Broadway, 22nd Floor
New York, NY 10038 USA
TEL: 212 354 5655 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 300 West 57th Street, 9th Floor
New York, NY 10001-2722
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1918 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 806
New York, NY 10013
TEL: 212 757 5559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 2	19 DEC 14
2	D.O.B. SUBMISSION	18 FEB 15
3	CD PROGRESS ISSUE 3	09 MAR 15
4	D.O.B. SUBMISSION	27 APR 15
5	CD PROGRESS ISSUE 4	01 JUN 15
6	D.O.B. AMENDMENT 2	21 SEP 15
7	CD PROGRESS ISSUE 5	02 NOV 15
8	D.O.B. AMENDMENT 3	29 JAN 16
9	CD PROGRESS ISSUE 6	31 MAR 16
10	CD PROGRESS ISSUE 7	14 SEP 16
	D.O.B. AMENDMENT 3	03 OCT 16



D.O.B. SUBMISSION

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CONSULTANT:
AAI
ARCHITECTS, P.C.

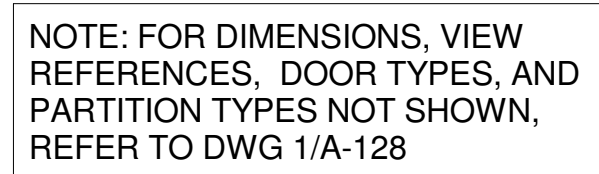
PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
13TH FLOOR PLAN (RESIDENTIAL - TIER 1) (MFD-32ND FLOOR)

SEAL & SIGNATURE:
PROJECT No: 1216-00
DATE: 19 DEC 14
DRAWN: Author
CHECKED: Checker
SCALE: As indicated
DWG No: **A-125.02**

DOB PAGE No: 98 of 154
DOB 5-SCAN:

DOB EMPLOYEE STAMP:



01	DASHED LINE DENOTES EXTERIOR OF 6" HIGH C.I.P. CONCRETE CURB. DASHED LINE DENOTES EXTERIOR OF 6" HIGH C.I.P. CONCRETE CURB. ALL TUBES AT DOWNRAIS & PATH OF TUBES TO BE PANELED WITH WARNING STRIPS.
02	DASHED LINE DENOTES EXTERIOR OF 6" HIGH C.I.P. CONCRETE CURB. DASHED LINE DENOTES EXTERIOR OF 6" HIGH C.I.P. CONCRETE CURB. TUBES TO MATCH PATTERN UNLESS OTHERWISE NOTED
03	DASHED LINE DENOTES EXTERIOR OF 6" HIGH CEMENT BOARD BASE CURB. REFER TO SECTION DETAIL (B) ON SHEET A-574.
04	CONCRETE HOUSEKEEPING DRAP. HEIGHT, SIZE AND LOCATION TO BE COORDINATED WITH MECHANICAL DRAWINGS.
05	TOP OF EXISTING STRUCT. CURB TO BE CUT OFF FOR FLOOR RECEESING SLIDING DOOR. BACK ONE CONCRETE CURB TO BE CUT OFF FOR FLOOR RECEESING SLIDING DOOR. EDGE OF SLAB IS 1" FROM FACE OF GLASS UNLESS OTHERWISE STATED OR AT SHEAR WALL CONDITIONS.
06	TERMINATE SHEAR WALL OPENINGS TO COMPLY WITH THE CONTRACT TO COMPLETE THE PROJECT ARE TO BE INFLUED TO MATCH THE WALLS REQUIREMENTS INCLUDING BUT NOT LIMITED TO FIRE RATING, ACOUSTIC PROPERTY, THERMAL PROPERTY, AIR AND SOUND TRANSMISSION COEFFICIENTS.
07	ALL SLEEVES SHOULD TO MATCH CURB HEIGHT IN ROOMS WITH CURBS FOR TERMINATION OF WATERPROOFING SYSTEM.

<u>TAG #</u>	<u>DESCRIPTION</u>
<u>AD-021</u>	ACCESS DOOR FLUSH NON RATED 28" X 17" - GYP
<u>AP-23</u>	COMPACT ELECTRIC DRYER
<u>AP-24</u>	COMPACT WASHING MACHINE
<u>AP-32</u>	RECESSED DRYER VENT BOX - UPWARD VENTING
<u>FTE-01</u>	FIN TUBE ENCLOSURE
<u>PB-01</u>	RESIDENTIAL ELECTRICAL PANELBOARD
<u>PB-02</u>	RESIDENTIAL TELECOM PANELBOARD
<u>RNS-01</u>	ROD AND SHELFL (REFER TO AI-880)
<u>RNS-02</u>	ROD AND SHELFL (N.I.C)

KEY PLAN:		
<div style="display: flex; justify-content: space-between;"> <div style="width: 30%;"> <p>PROJECT 865</p> </div> <div style="width: 30%;"> <p>WEST 58TH ST</p> </div> <div style="width: 30%;"> <p>7TH AVE</p> </div> </div>		
<div style="display: flex; justify-content: space-between;"> <div style="width: 30%;"> <p>7TH AVE</p> </div> <div style="width: 30%;"> <p>WEST 57TH ST</p> </div> </div>		
<div style="display: flex; justify-content: space-between;"> <div style="width: 30%;"> <p>PROJECT NORTH</p> </div> <div style="width: 30%;"> <p>TRUE NORTH</p> </div> <div style="width: 30%;"> </div> </div>		
<p>DEVELOPER:</p> <p>EXTELL DEVELOPMENT COMPANY 805 THIRD AVENUE, 7TH FLOOR NEW YORK, NY 10022 USA TEL: 212 712 6000 FAX: 212 712 6100</p>		
<p>DESIGN ARCHITECT: Base Building Shell and Core, and</p> <p>ADRIAN SMITH + GORDON GILL ARCHITECTURE 111 WEST MONROE STREET SUITE 2000 CHICAGO IL 60603 TEL: 312 920 1000 FAX: 312 920 1775</p>		
<p>INTERIOR DESIGNER: Residential</p> <p>Rotter Architecture and Design Studio, PLLC 298 Fifth Ave., 7th Floor New York, NY 10017 USA TEL: 646 998 7000 FAX: _____</p>		
<p>ARCHITECT OF RECORD: Base Building Shell, Core, and Residential</p> <p>AAI ARCHITECTS, P.C. 401 Wellington St. W., 3rd Floor Toronto, ON M5V 1E7 Canada TEL: 416 967 1500 FAX: 416 967 7150</p>		
<p>STRUCTURAL ENGINEERS:</p> <p>WSP CANTOR SENIUK 208 EAST 45th Street New York, NY 10017 Suite TEL: 212 687 9888 FAX: 646 487 5501</p>		
<p>MEP ENGINEERS:</p> <p>AKF GROUP 165 Broadway, 22nd Floor New York, NY 10006 USA TEL: 212 354 5656 FAX: 212 354 5668</p>		
<p>GEOTECHNICAL ENGINEERS:</p> <p>Langan Engineering & Environmental Services 21 Penn Plaza, 360 West 31st Street, 8th Floor New York, NY 10007 TEL: 212 479 5400 FAX: 212 479 5444</p>		
<p>CODE CONSULTANTS:</p> <p>Construction Consulting Associates 100 Church Street New York, NY 10007 TEL: 212 385 1818 FAX: 212 385 1911</p>		
<p>CURTAINWALL CONSULTANT:</p> <p>AJLP Consulting 40 Worth Street, Suite B29 New York, NY 10013 TEL: 212 757 5659 FAX: 646 219 8508</p>		
<p>LANDMARK ARCHITECTURAL CONSULTANT:</p> <p>Janet Pomeroy Pottery Associates, Inc. 39 West 37th Street, 15A New York, NY 10018 TEL: 212 759 6462 FAX: 212 759 6549</p>		
No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 2	19 DEC 14
2	D.O.B. SUBMISSION	18 FEB 15
3	CD PROGRESS ISSUE 3	09 MAR 15
4	D.O.B. SUBMISSION	27 APR 15
5	CD PROGRESS ISSUE 4	01 JUN 15
6	CD PROGRESS ISSUE 5	10 AUG 15
7	D.O.B. AMENDMENT 2	21 SEP 15
8	CD PROGRESS ISSUE 6	02 NOV 15
9	CD PROGRESS ISSUE 7	29 JAN 16
10	CD ISSUE 8 - GMP SET	31 MAR 16
11	CD BULLETIN ISSUE - 1	22 APR 16
12	CD BULLETIN ISSUE - 5	12 AUG 16
13	CD BULLETIN ISSUE - 7	14 SEP 16
14	D.O.B. AMENDMENT 3	03 OCT 16



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CONSULTANT



PROJECT: 217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

13TH FLOOR PLAN (RESIDENTIAL)
TIER 1) (MFD-32ND FLOOR)

SEAL & SIGNATURE:	DATE:	19 DEC 14
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	PROJECT No: 1216-00	
	DESIGN: Author	DATE:

	DRAWN: Auditor	REV:
	CHK: Checker	11

SCALE: 1/4" = 1'-0"

 DWG No: **A 126 02**

No. 028881
STATE OF NEW YORK

DOB PAGE No: 99 of 454	
DOB EMPLOYEE STAMP:	DOB B-SCAN:

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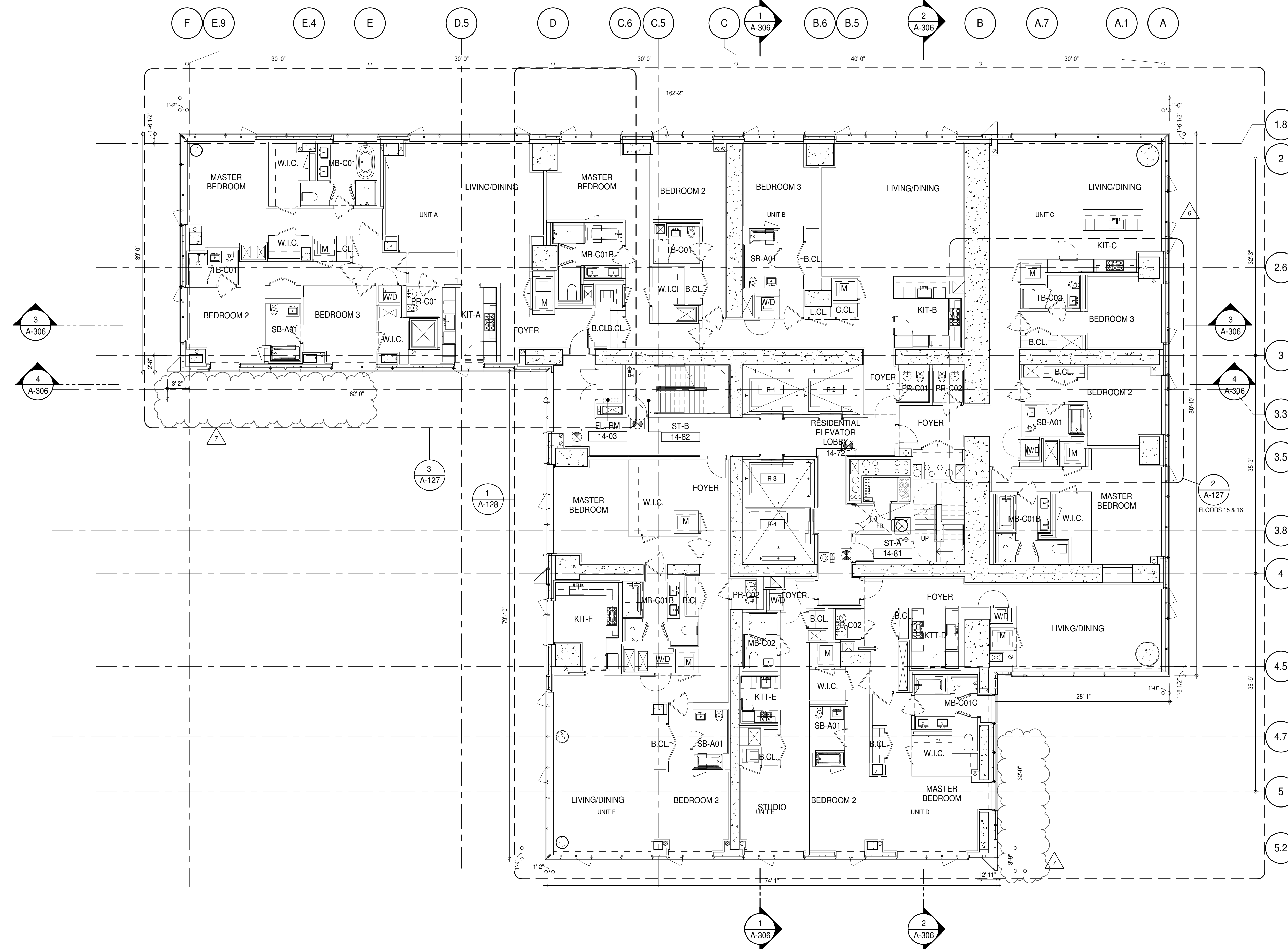
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SHEET NOTES:

01 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED. ALL CURBS AT DOORWAYS & PATH OF TRAVEL TO BE PAINTED WITH WARNING STRIPS.

02 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. FOUNDATION CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

03 DASHED LINE DENOTES EXTENT OF 6" HIGH CONCRETE BOARD BASE CURB. REFER TO SECTION DETAIL (B) ON SHEET (A-574).

04 CONCRETE HOUSEKEEPING PAD. HEIGHT, SIZE AND LOCATION TO BE COORDINATED WITH MECHANICAL DRAWINGS.

11 TOP OF EXISTING STRUCT. SLAB CUT OUT FOR FLOOR RECESSED SLIDING DOOR TRACK. ONCE CONSTRUCTION IS COMPLETE.

EDGE OF SLAB IS 11" FROM FACE OF GLASS UNLESS OTHERWISE STATED AND/OR AT SHEAR WALL CONDITIONS.

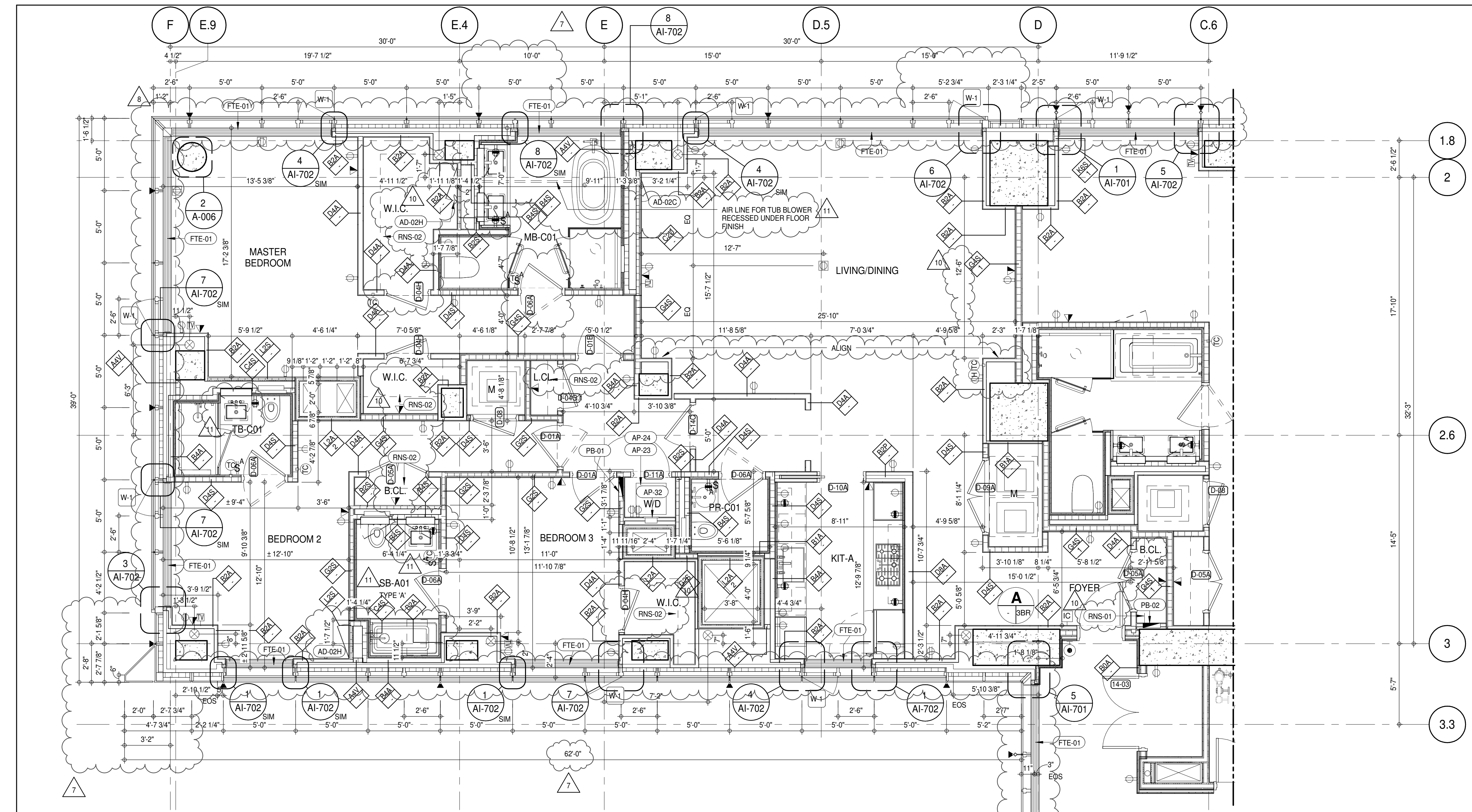
TEMPORARY SHEAR WALL OPENINGS REQUIRED BY THE CONTRACTOR TO COMPLETE THE PROJECT ARE TO BE FILLED TO MATCH THE WALLS REQUIREMENTS INCLUDING BUT NOT LIMITED TO FIRE RATING, ACOUSTIC PROPERTY, THERMAL PROPERTY, AIR VAPOR PERMEABILITY.

ALL SLEEVES SHOULD EXTEND TO MATCH CURB HEIGHT IN ROOMS WITH CURBS FOR TERMINATION OF WATERPROOFING SYSTEM.

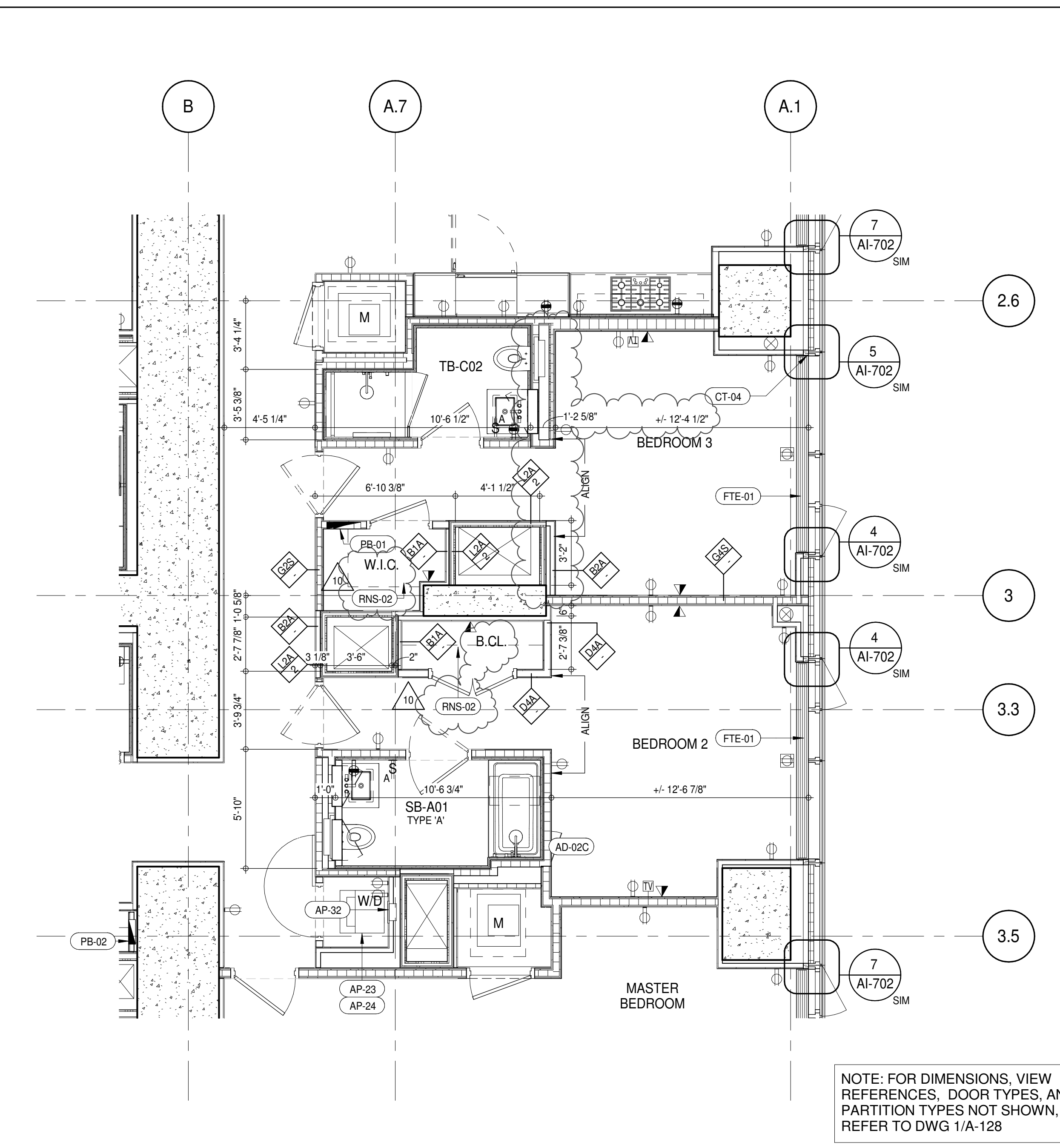
KEYNOTE LEGEND:

TAG #	DESCRIPTION
AD-02C	ACCESS DOOR FLUSH NON RATED 18" x 18" - GYP
AD-02H	ACCESS DOOR FLUSH NON RATED 28" X 17" - GYP
AP-23	COMPACT ELECTRIC DRYER
AP-24	COMPACT WASHING MACHINE
AP-32	RECESSED DRYER VENT BOX - UPWARD VENTING
CT-04	PORCELAIN TILE
FTE-01	FIN TUBE ENCLOSURE
PB-01	RESIDENTIAL ELECTRICAL PANELBOARD
PB-02	RESIDENTIAL TELECOM PANELBOARD
RNS-01	ROD AND SHELF (REFER TO A1-880)
RNS-02	ROD AND SHELF (N.I.C.)

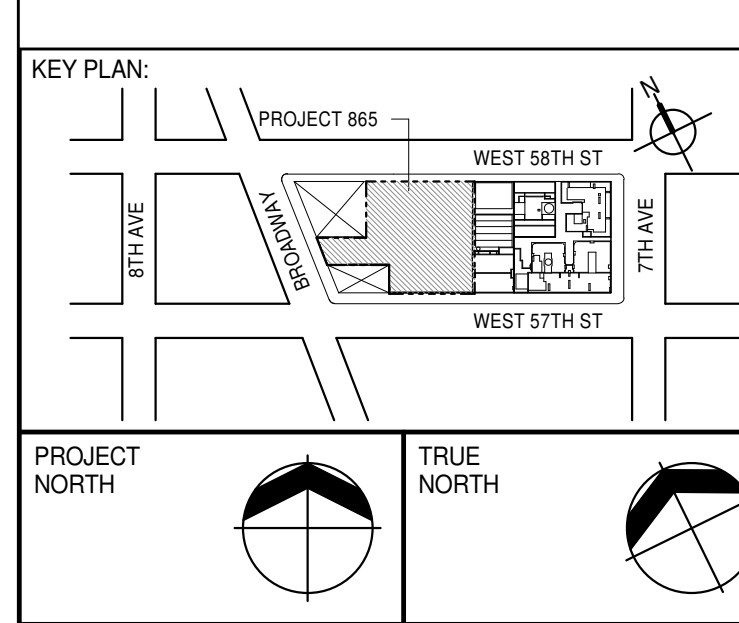
LEVEL	CORE ROOM ASSIGNMENT
16	TELECOM ROOM
15	FIRE ALARM CLOSET
14	TELECOM ROOM



PARTIAL PLAN 3
1/4" = 1'-0"



UNIT C - 15TH-16TH FLOOR PART PLAN 2
1/4" = 1'-0"



PROJECT NORTH

DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
288 FIFTH AVENUE, 7TH FLOOR
NEW YORK, NY 10017
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
401 WESTERN ST. W., 3RD FLOOR
TORONTO, ON M5V 1E7 CANADA
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEER:
VSP CANTOR SEINUK
228 EAST 45TH STREET
NEW YORK, NY 10017 USA
TEL: 212 887 2885 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
165 BROADWAY, 22ND FLOOR
NEW YORK, NY 10038 USA
TEL: 212 354 5655 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 PERRY PLAZA - 300 WEST 57th STREET, 9th FLOOR
NEW YORK, NY 10019-2722
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
NEW YORK, NY 10007
TEL: 212 385 1918 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 WORTH STREET, SUITE 806
NEW YORK, NY 10013
TEL: 212 757 5559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hind Pokorny Associates, Inc.
39 WEST 37th STREET, 12A
NEW YORK, NY 10018
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	CD PROGRESS ISSUE 5	10 AUG 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD ISSUE 8 - GMP SET	31 MAR 16
11	CD BULLETIN ISSUE - 5	12 AUG 16
12	CD BULLETIN ISSUE - 7	14 SEP 16
13	D.O.B. AMENDMENT 3	03 OCT 16

0 4'-0" 8'-0" 16'-0"

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:

AAI
ARCHITECTS, P.C.

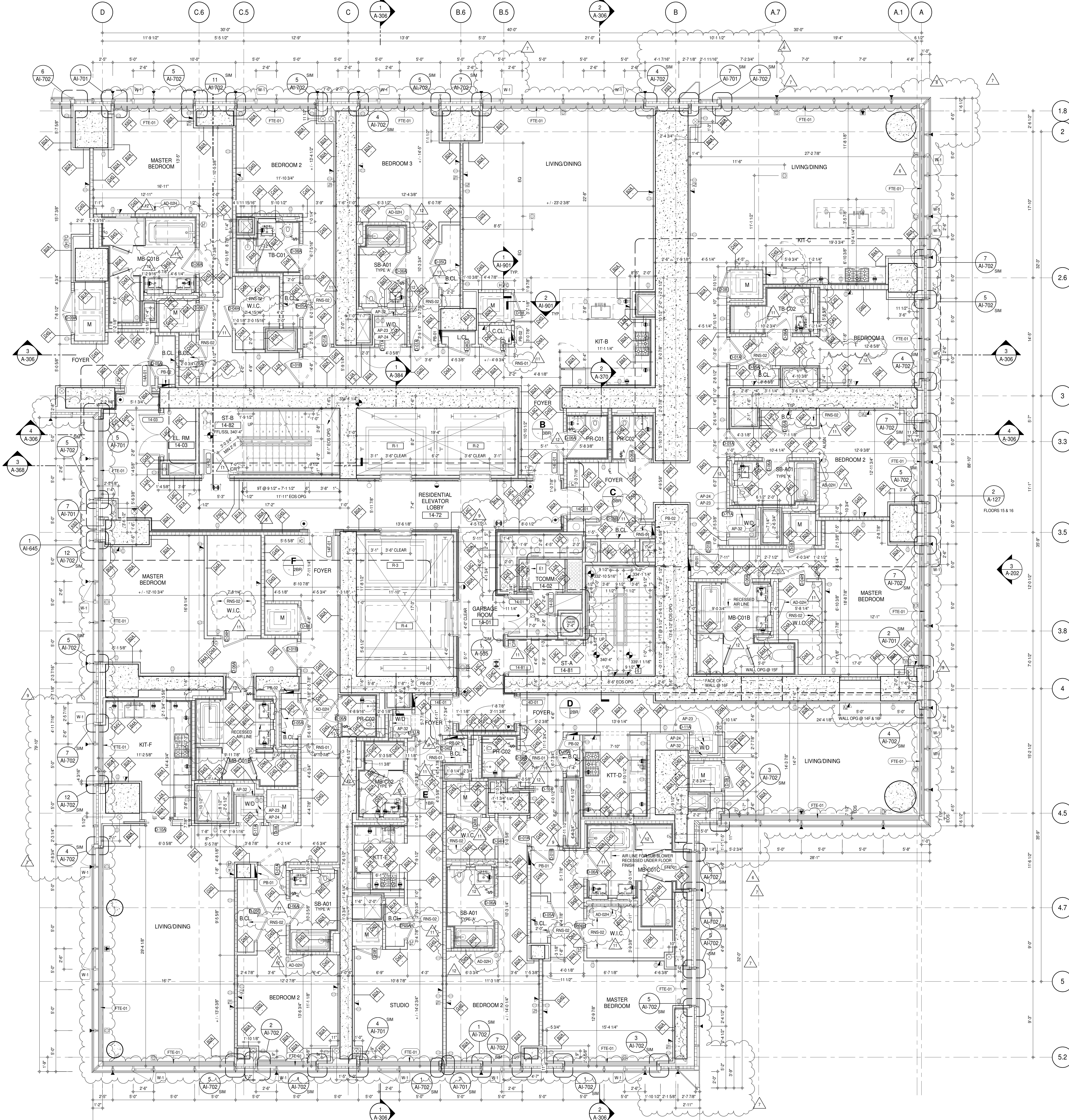
PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
14TH-16TH FLOOR PLAN (RESIDENTIAL - TIER 1) (MFD-33RD-35TH FLOOR)

SEAL & SIGNATURE:
DAVID L. LINDEN
REGISTERED ARCHITECT
STATE OF NEW YORK
NO. 028883

DATE: 15 OCT 14
PROJECT No: 1216-00
DRAWN: Author
CHECKED: Checker
SCALE: As indicated
DWG No: **A-127.02**

DOB PAGE No: 199 of 454
DOB 5-SCAN:



SHEET NOTES:

01 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

02 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

03 DASHED LINE DENOTES EXTENT OF 6" HIGH CONCRETE BOARD BASE CURB. REFER TO SECTION DETAIL (B) ON SHEET (A-574).

P1 CONCRETE HOUSEKEEPING PAD. HEIGHT, SIZE AND LOCATION TO BE COORDINATED WITH MECHANICAL DRAWINGS.

T1 TOP OF EXISTING STRUCT. SLAB CUT OUT FOR FLOOR RECESSED SLIDING DOOR. TRACK ONCE CONSTRUCTION IS COMPLETE.

E1 PROVIDE 2 HR RATED L2A PARTITION ON 15TH FLOOR.

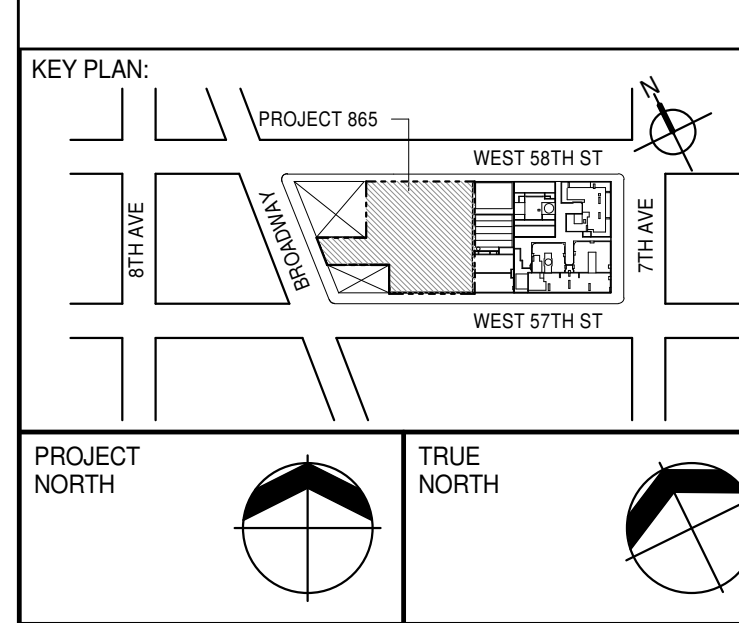
EDGE OF SLAB IS 11" FROM FACE OF GLASS UNLESS OTHERWISE STATED AND/OR AT SHEAR WALL CONDITIONS.

TEMPORARY SHEAR WALL OPENINGS REQUIRED BY THE CONTRACTOR TO COMPLETE THE PROJECT ARE TO BE INFILLED TO MATCH THE WALLS REQUIREMENTS INCLUDING BUT NOT LIMITED TO FIRE RATING, ACOUSTIC PROPERTY, THERMAL PROPERTY, AIR VAPOR PERMEABILITY.

KEYNOTE LEGEND:

TAG #	DESCRIPTION
AD-024	ACCESS DOOR FLUSH NON RATED 28" X 17" - GYP
AP-23	COMPACT ELECTRIC DRYER
AP-24	COMPACT WASHING MACHINE
AP-32	RECESSED DRYER VENT BOX - UPWARD VENTING
FTE-01	FIN TUBE ENCLOSURE
PB-01	RESIDENTIAL ELECTRICAL PANELBOARD
PB-02	RESIDENTIAL TELECOM PANELBOARD
RNS-01	ROD AND SHELF (REFER TO A1-880)
RNS-02	ROD AND SHELF (N.I.C)

LEVEL	CORE ROOM ASSIGNMENT
16	TELECOM ROOM
15	FIRE ALARM CLOSET
14	TELECOM ROOM



DEVELOPER: EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
AAI ARCHITECTS, P.C.
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
298 Fifth Ave., 7th Floor
New York, NY 10001
TEL: 646 998 7000 FAX: 212 479 5444

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
401 Westchester St., 2nd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEER:
VSP CANTOR SEINUK
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 887 8888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 360 West 51st Street, 9th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 806
New York, NY 10013
TEL: 212 757 6559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 57th Street, 12A
New York, NY 10019
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	D.O.B. AMENDMENT 2	21 SEP 15
8	CD PROGRESS ISSUE 5	02 NOV 15
9	CD PROGRESS ISSUE 6	29 JAN 16
10	CD ISSUE 8 - GMP SET	31 MAR 16
11	CD BULLETIN ISSUE - 1	22 APR 16
12	CD BULLETIN ISSUE - 5	12 AUG 16
13	CD BULLETIN ISSUE - 7	14 SEP 16
14	D.O.B. AMENDMENT 3	03 OCT 16

0 2'-0" 4'-0" 8'-0"

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

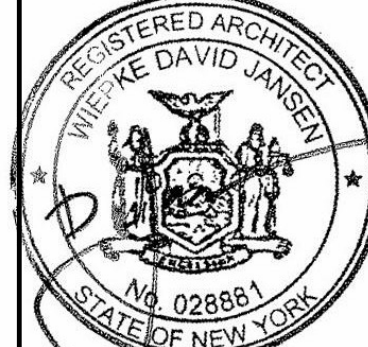
CONSULTANT:

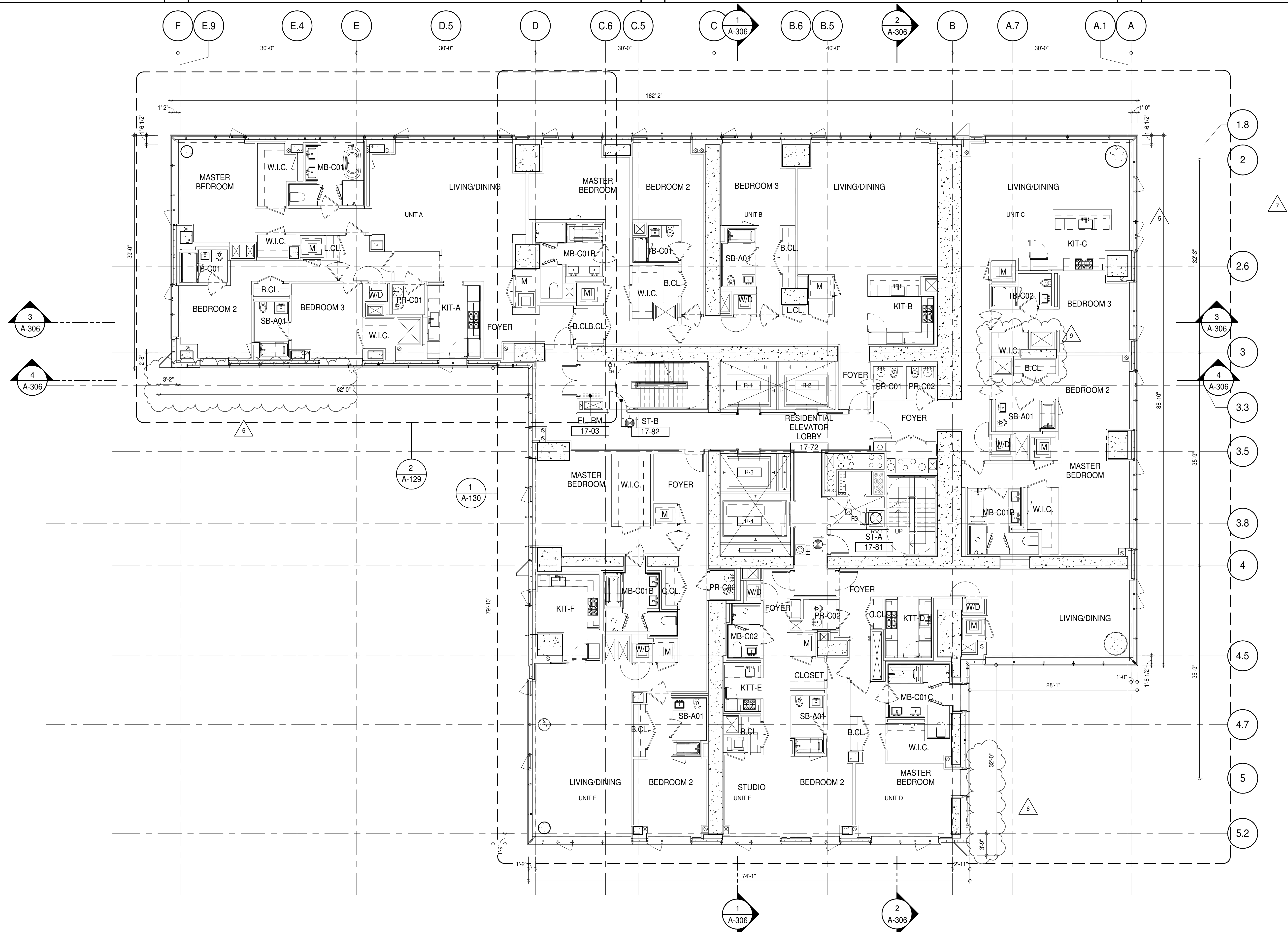


PROJECT: 217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE: 14TH-16TH FLOOR PLAN (RESIDENTIAL - TIER 1) (MFD-33RD-35TH FLOOR)

DATE:	15 OCT 14
PROJECT No:	1216-00
DRAWN: Author	REV: 12
CHECKED: Checker	
SCALE: 1/4" = 1'-0"	
DWG No:	A-128.02
DOB PAGE No:	191 of 454
DOB EMPLOYEE STAMP:	DOB 5-SCAN:





SHEET NOTES:

01 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

02 ALL CURBS AT ROOMWAYS & PATH OF TRAVEL TO BE PAINTED WITH WARNING STRIPS.

03 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

04 DASHED LINE DENOTES EXTENT OF 6" HIGH CEMENT BOARD BASE CURB. REFER TO SECTION DETAIL (B) ON SHEET (A-574).

05 CONCRETE HOUSEKEEPING PAD. HEIGHT, SIZE AND LOCATION TO BE COORDINATED WITH MECHANICAL DRAWINGS.

11 TOP OF EXISTING STRUCT. SLAB CUT OUT FOR FLOOR RECESSED SLIDING DOOR TRACK ONCE CONSTRUCTION IS COMPLETE.

EDGE OF SLAB IS 11" FROM FACE OF GLASS UNLESS OTHERWISE STATED AND/OR AT SHEAR WALL CONDITIONS.

TEMPORARY SHEAR WALL OPENINGS REQUIRED BY THE CONTRACTOR TO COMPLETE THE PROJECT ARE TO BE INFILLED TO MATCH THE WALLS REQUIREMENTS INCLUDING BUT NOT LIMITED TO FIRE RATING, ACOUSTIC PROPERTY, THERMAL PROPERTY, AIR VAPOR PERMEABILITY.

ALL SLEEVES SHOULD EXTEND TO MATCH CURB HEIGHT IN ROOMS WITH CURBS FOR TERMINATION OF WATERPROOFING SYSTEM.

KEYNOTE LEGEND:

TAG # DESCRIPTION

AD-02C ACCESS DOOR FLUSH NON RATED 18" x 18" - GYP

AD-02H ACCESS DOOR FLUSH NON RATED 28" X 17" - GYP

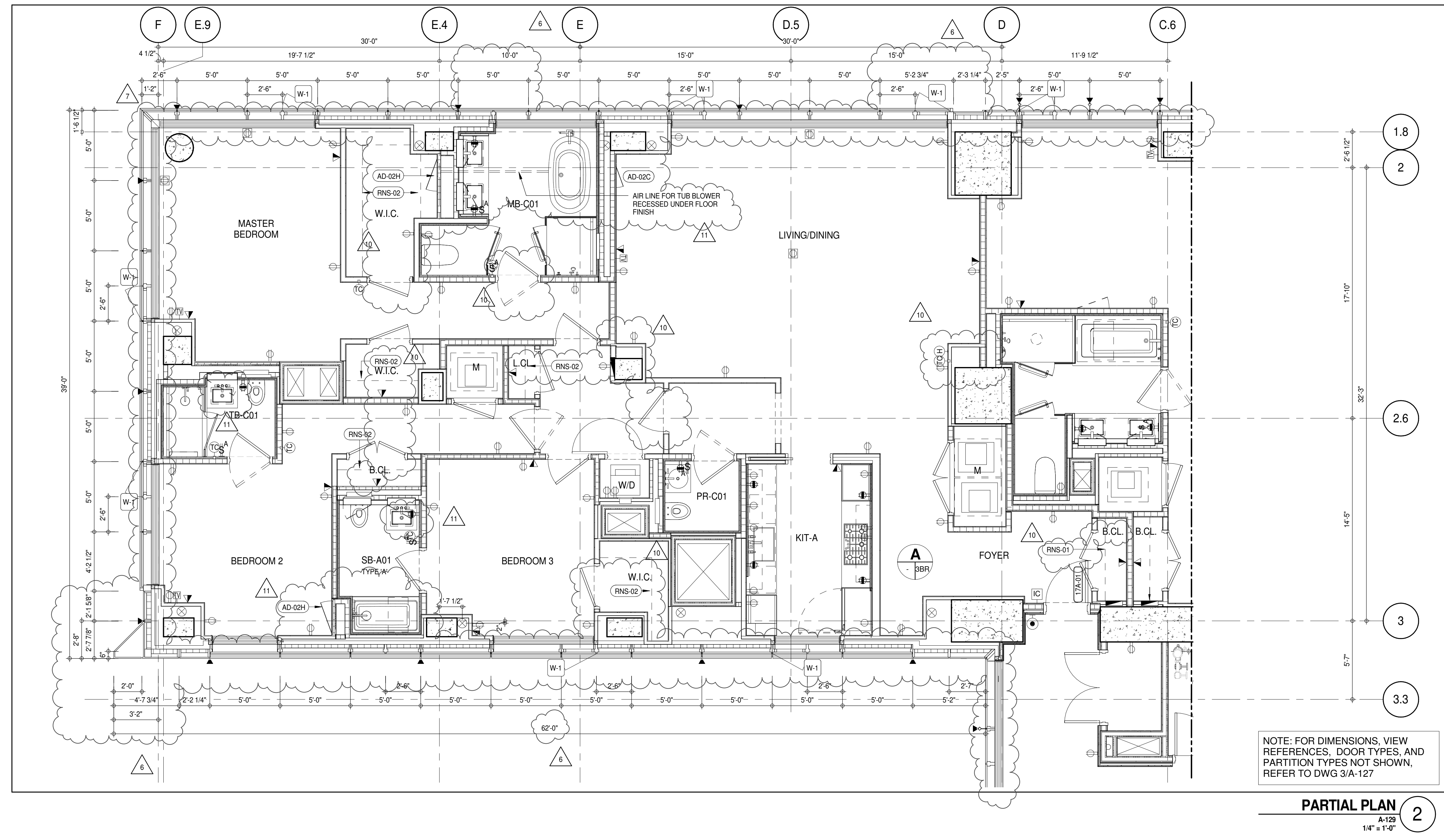
RNS-01 ROD AND SHELF (REFER TO A1-880)

RNS-02 ROD AND SHELF (REFER TO A1-880)

LEVEL CORE ROOM ASSIGNMENT

18 FIRE ALARM CLOSET

17 TELECOM ROOM



NOTE: FOR DIMENSIONS, VIEW REFERENCES, DOOR TYPES, AND PARTITION TYPES NOT SHOWN, REFER TO DWG 3/A-127

PARTIAL PLAN
A-129
1/4" = 1'-0"

DEPT OF BLDGS & COMM AFFAIRS
ISSUED AS A-124 CD PROGRESS ISSUE 5 - 09 MAR 15

KEY PLAN:

PROJECT NORTH

DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
298 Fifth Ave., 7th Floor
New York, NY 10001
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
401 Westchester St., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
VSP CANTOR SEINUK
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 887 8888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
165 Broadway, 22nd Floor
New York, NY 10008 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 360 West 51st Street, 9th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1918 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 806
New York, NY 10013
TEL: 212 757 5559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 2	19 DEC 14
2	D.O.B. SUBMISSION	18 FEB 15
3	CD PROGRESS ISSUE 3	09 MAR 15
4	D.O.B. SUBMISSION	27 APR 15
5	CD PROGRESS ISSUE 4	01 JUN 15
6	CD PROGRESS ISSUE 5	10 AUG 15
7	D.O.B. AMENDMENT 2	21 SEP 15
8	CD PROGRESS ISSUE 6	02 NOV 15
9	CD PROGRESS ISSUE 7	29 JAN 16
10	CD ISSUE 8 - GMP SET	31 MAR 16
11	CD BULLETIN ISSUE - 3	25 MAY 16
12	CD BULLETIN ISSUE - 5	12 AUG 16
13	CD BULLETIN ISSUE - 7	14 SEP 16
14	D.O.B. AMENDMENT 3	03 OCT 16

0 4'-0" 8'-0" 16'-0"

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:

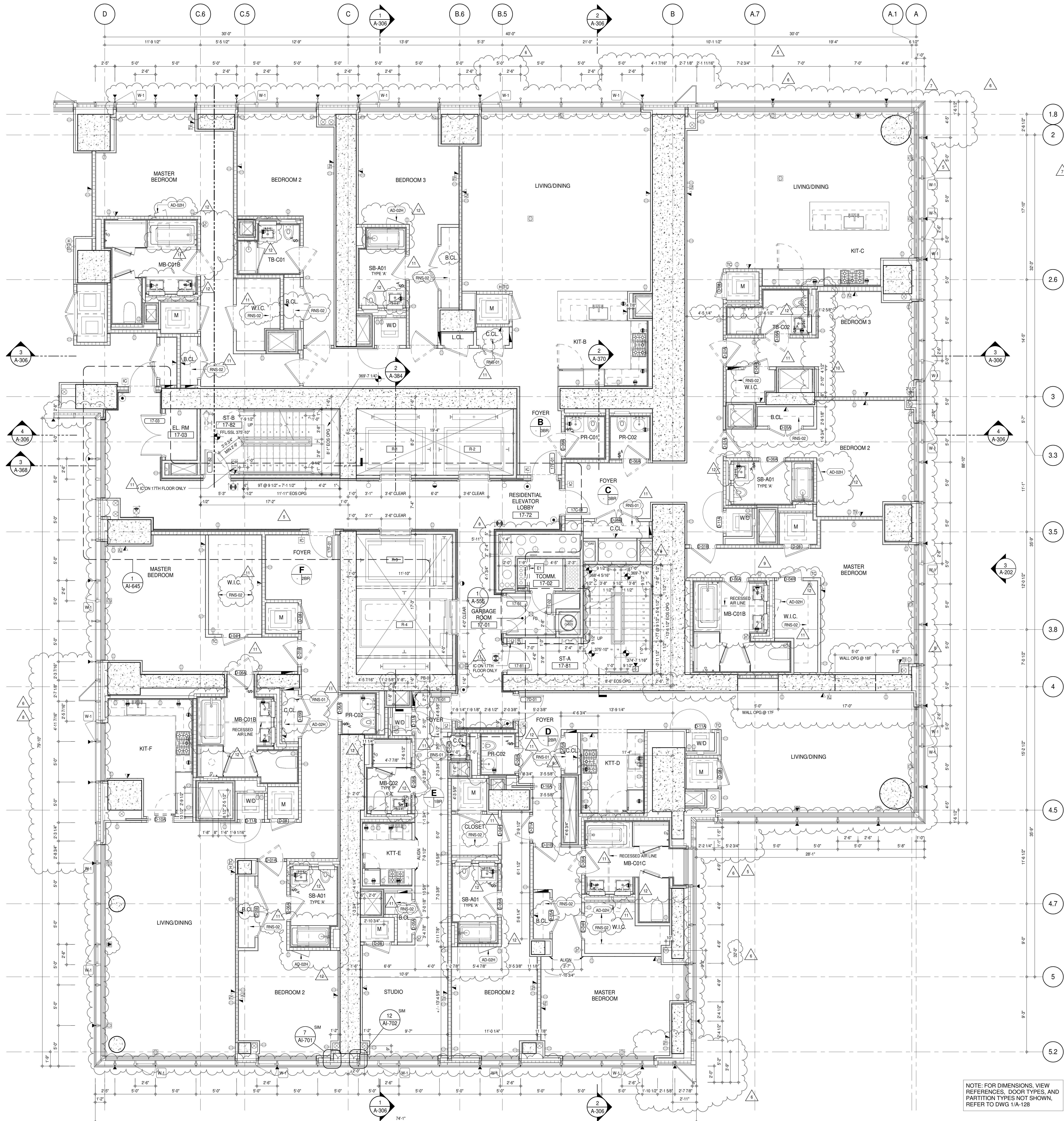
AAI ARCHITECTS, P.C.

PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
17TH-18TH FLOOR PLAN (RESIDENTIAL - TIER 1) (MFD-36TH-37TH FLOOR)

SEAL & SIGNATURE:
REGISTERED ARCHITECT
DAVID L. LAMBERT
NEW YORK, NY

DATE: 19 DEC 14
PROJECT No: 1216-00
DRAWN: Author
CHECKED: Checker
SCALE: As Indicated
DWG No: A-129.02
DOB PAGE No: 183 of 454
DOB 5-SCAN:



SHEET NOTES:

- D1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.
- D2 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.
- D3 DASHED LINE DENOTES EXTENT OF 6" HIGH CONCRETE BOARD BASE CURB. REFER TO SECTION DETAIL (B) ON SHEET (A-574).
- P1 CONCRETE HOUSEKEEPING PAD. HEIGHT, SIZE AND LOCATION TO BE COORDINATED WITH MECHANICAL DRAWINGS.
- T1 TOP OF EXISTING STRUCT. SLAB CUT OUT FOR FLOOR RECESSED SLIDING DOOR TRACK ONCE CONSTRUCTION IS COMPLETE.
- E1 PROVIDE 2 HR RATED LSA PARTITION ON 18TH FLOOR.

EDGE OF SLAB IS 11" FROM FACE OF GLASS UNLESS OTHERWISE STATED AND/OR AT SHEAR WALL CONDITIONS.

TEMPORARY SHEAR WALL OPENINGS REQUIRED BY THE CONTRACTOR TO COMPLETE THE PROJECT ARE TO BE IN-FILLED TO MATCH THE WALLS REQUIREMENTS INCLUDING BUT NOT LIMITED TO FIRE RATING, ACOUSTIC PROPERTY, THERMAL PROPERTY, AIR VAPOR PERMEABILITY.

KEYNOTE LEGEND:

TAG #	DESCRIPTION
AD-02H	ACCESS DOOR FLUSH NON RATED 26" X 17" - GYP
PB-01	RESIDENTIAL ELECTRICAL PANELBOARD
RNS-01	ROD AND SHELF (REFER TO A1-880)
RNS-02	ROD AND SHELF (N.I.C)

LEVEL CORE ROOM ASSIGNMENT

LEVEL	CORE ROOM ASSIGNMENT
18	FIRE ALARM CLOSET
17	TELECOM ROOM

NOTE: FOR DIMENSIONS, VIEW REFERENCES, DOOR TYPES, AND PARTITION TYPES NOT SHOWN, REFER TO DWG 1/A-128

KEY PLAN:

PROJECT NORTH

TRUE NORTH

DEVELOPER:

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT:

Base Building Shell & Core
AAI ARCHITECTS, P.C.
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER:

Residential
Rottet Architecture and Design Studio, PLLC
288 Fifth Ave., 7th Floor
New York, NY 10001
TEL: 646 998 7000 FAX: 646 998 7000

ARCHITECT OF RECORD:

Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:

VSP CANTOR SEINUK
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 887 2885 FAX: 646 487 5501

MEP ENGINEERS:

AKF GROUP
165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5655 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:

Langan Engineering & Environmental Services
21 Penn Plaza - 350 West 57th Street, 9th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:

Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:

AJLP Consulting
40 Worth Street, Suite 806
New York, NY 10013
TEL: 212 757 6550 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:

Jan Hind Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
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4	D.O.B. SUBMISSION	27 APR 15
5	CD PROGRESS ISSUE 4	01 JUN 15
6	CD PROGRESS ISSUE 5	10 AUG 15
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8	CD PROGRESS ISSUE 6	02 NOV 15
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11	CD BULLETIN ISSUE - 1	22 APR 16
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13	CD BULLETIN ISSUE - 5	12 AUG 16
14	CD BULLETIN ISSUE - 7	14 SEP 16
15	D.O.B. AMENDMENT 3	03 OCT 16

0 2'-0" 4'-0" 8'-0"

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:

AAI
ARCHITECTS, P.C.

PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

17TH-18TH FLOOR PLAN (RESIDENTIAL - TIER 1) (MFD-36TH-37TH FLOOR)

DATE:	19 DEC 14
PROJECT No:	1216-00
DRAWN: Author	REV: 12
CHECK: Checker	
SCALE: 1/4" = 1'-0"	
DWG No:	
A-130.02	
DOB PAGE No:	103 of 454
DOB S-SCAN:	

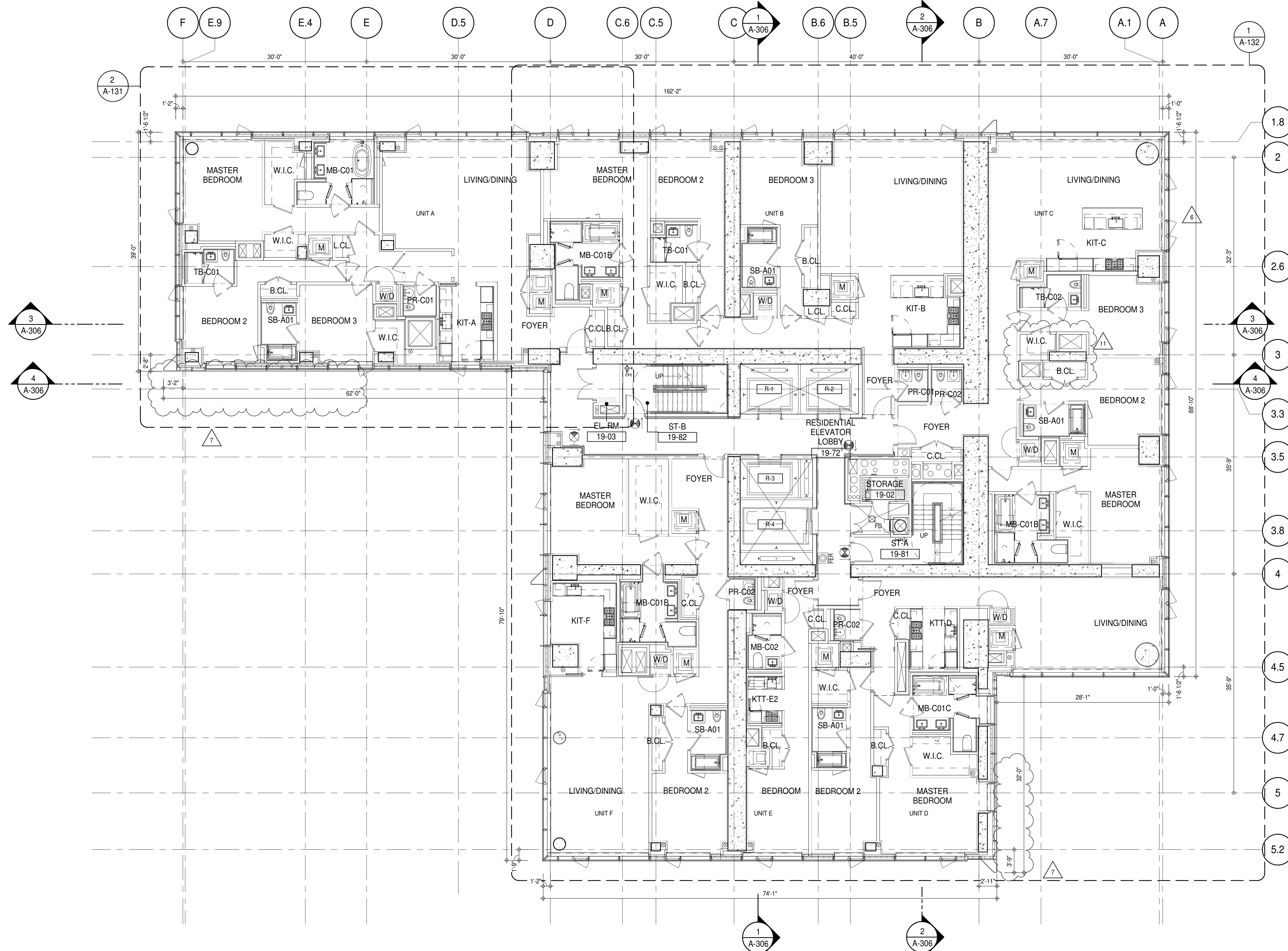
DOB EMPLOYEE STAMP:

SEALED & SIGNED:

REGISTERED ARCHITECT

DAVID L. JONES

NEW YORK



SHEET NOTES:

01 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

02 ALL CURBS AT ROOMWAYS & PATH OF TRAVEL TO BE PAINTED WITH WARNING STRIPS. DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

03 DASHED LINE DENOTES EXTENT OF 6" HIGH CEMENT BOARD BASE CURB. REFER TO SECTION DETAIL (B) ON SHEET (A-574).

P1 CONCRETE HOUSEKEEPING PAD. HEIGHT, SIZE AND LOCATION TO BE COORDINATED WITH MECHANICAL DRAWINGS.

11 TOP OF EXISTING STRUCT. SLAB CUT OUT FOR FLOOR RECESSED SLIDING DOOR TRACK ONCE CONSTRUCTION IS COMPLETE.

EDGE OF SLAB IS 11" FROM FACE OF GLASS UNLESS OTHERWISE STATED AND/OR AT SHEAR WALL CONDITIONS.

TEMPORARY SHEAR WALL OPENINGS REQUIRED BY THE CONTRACTOR TO COMPLETE THE PROJECT ARE TO BE FILLED TO MATCH THE WALLS REQUIREMENTS INCLUDING BUT NOT LIMITED TO FIRE RATING, ACOUSTIC PROPERTY, THERMAL PROPERTY, AIR VAPOR PERMEABILITY.

ALL SLEEVES SHOULD EXTEND TO MATCH CURB HEIGHT IN ROOMS WITH CURBS FOR TERMINATION OF WATERPROOFING SYSTEM.

KEYNOTE LEGEND:

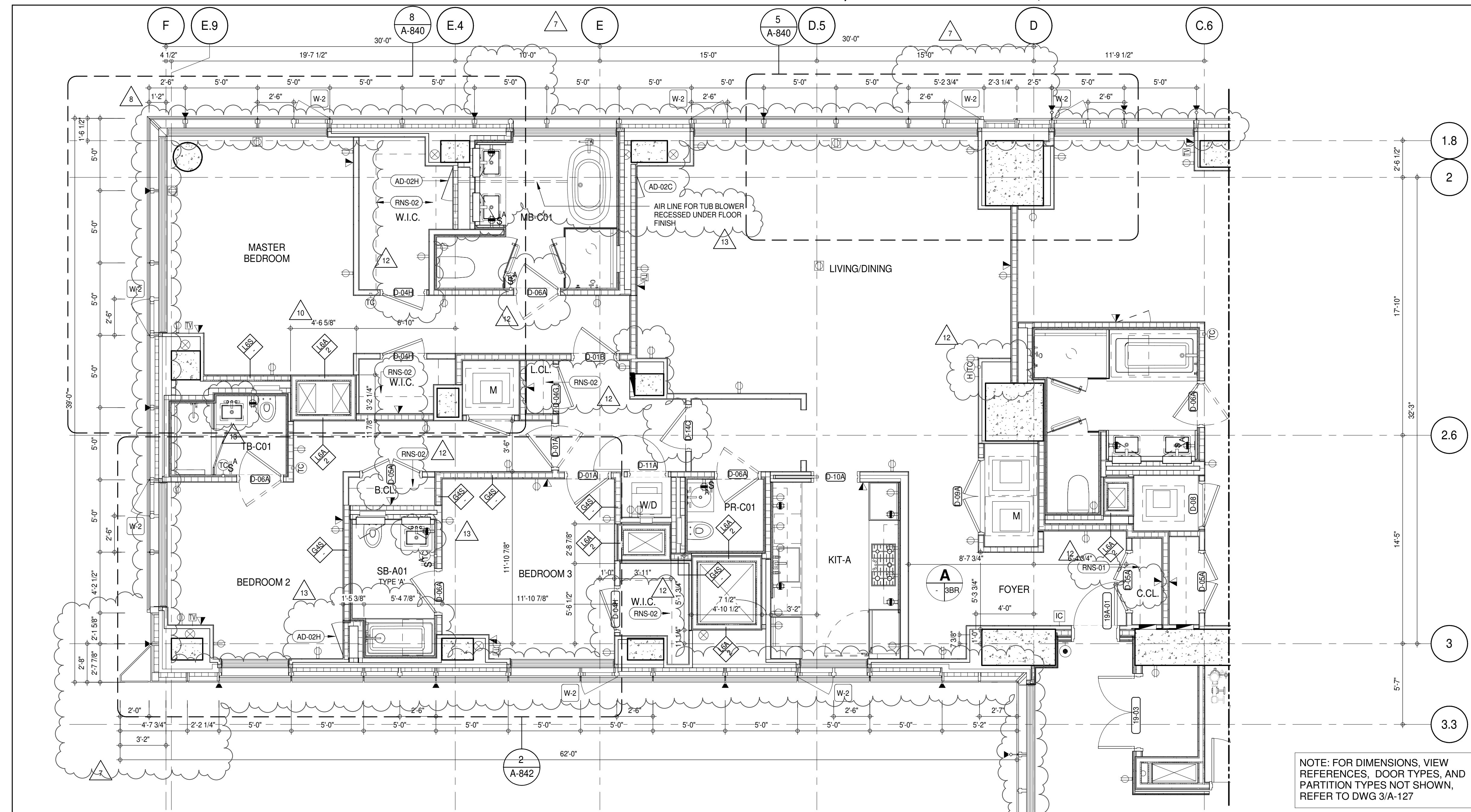
(TAG #) DESCRIPTION

(AD-02C) ACCESS DOOR FLUSH NON RATED 18" x 18" - GYP

(AD-02H) ACCESS DOOR FLUSH NON RATED 28" X 17" - GYP

(RNS-01) ROD AND SHELF (REFER TO A1-880)

(RNS-02) ROD AND SHELF (REFER TO A1-101)



NOTE: FOR DIMENSIONS, VIEW REFERENCES, DOOR TYPES, AND PARTITION TYPES NOT SHOWN, REFER TO DWG 3/A-127

PARTIAL PLAN

DEPT OF BLDGS & COMM AFFS

PROJECT NO. 1216-00

ISSUED AS A-125: CD PROGRESS ISSUE 3 - 09 MAR 15

0 4' - 0" 8' - 0" 16' - 0"

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:

AAI
ARCHITECTS, P.C.

PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

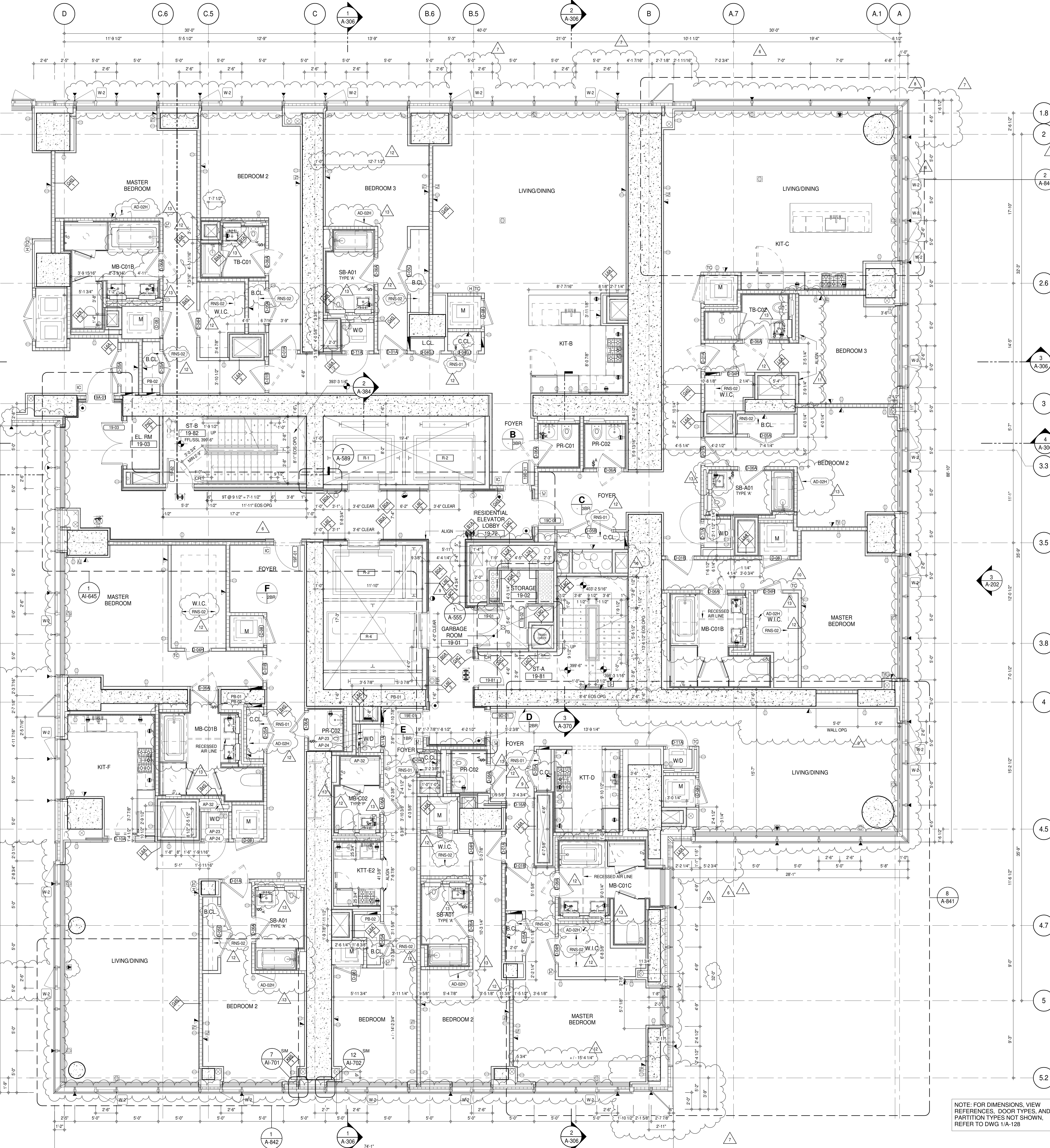
DRAWING TITLE:
19TH FLOOR PLAN (RESIDENTIAL - TIER 1) (MFD-38TH FLOOR)

SEAL & SIGNATURE: **DAVID L. LAM**
REGISTERED ARCHITECT
NEW YORK STATE

DATE: 15 OCT 14
PROJECT No: 1216-00
DRAWN: Author
CHECKED: Checker
SCALE: As indicated
DWG No: **A-131.02**

DOB PAGE No: 194 of 454
DOB 5-SCAN:

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
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8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	CD BULLETIN ISSUE - 1	22 APR 16
13	CD BULLETIN ISSUE - 3	25 MAY 16
14	CD BULLETIN ISSUE - 5	12 AUG 16
15	CD BULLETIN ISSUE - 7	14 SEP 16
16	D.O.B. AMENDMENT 3	03 OCT 16



SHEET NOTES:

D1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

D2 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

D3 DASHED LINE DENOTES EXTENT OF 6" HIGH CEMENT BOARD BASE CURB. REFER TO SECTION DETAIL (B) ON SHEET 1/A-574.

P1 CONCRETE HOUSEKEEPING PAD. HEIGHT, SIZE AND LOCATION TO BE COORDINATED WITH MECHANICAL DRAWINGS.

T1 TOP OF EXISTING STRUCT. SLAB CUT OUT FOR FLOOR RECESSED SLIDING DOOR TRACK. ONCE CONSTRUCTION IS COMPLETE.

EDGE OF SLAB IS 1" FROM FACE OF GLASS UNLESS OTHERWISE STATED AND/OR AT SHEAR WALL CONDITIONS.

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ALL SLEEVES SHOULD EXTEND TO MATCH CURB HEIGHT IN ROOMS WITH CURBS FOR TERMINATION OF WATERPROOFING SYSTEM.

KEYNOTE LEGEND:

TAG # **DESCRIPTION**

AD-02H ACCESS DOOR FLUSH NON RATED 28" X 17" - GYP

AP-23 COMPACT ELECTRIC DRYER

AP-24 COMPACT WASHING MACHINE

AP-32 RECESSED DRYER VENT BOX - UPWARD VENTING

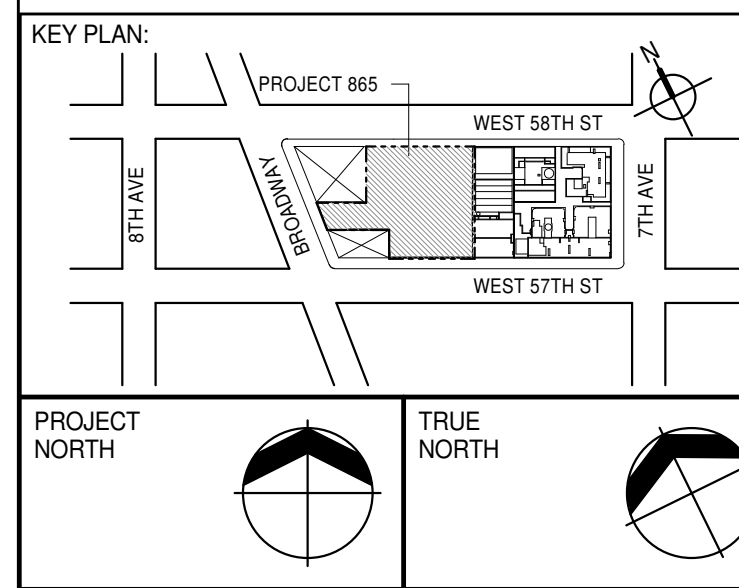
PB-01 RESIDENTIAL ELECTRICAL PANELBOARD

PB-02 RESIDENTIAL TELECOM PANELBOARD

RNS-01 ROD AND SHELF (REFER TO AI-880)

RNS-02 ROD AND SHELF (N.I.C.)

NOTE: FOR DIMENSIONS, VIEW REFERENCES, DOOR TYPES, AND PARTITION TYPES NOT SHOWN, REFER TO DWG 1/A-128



DEVELOPER: EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
AAI ARCHITECTS, P.C.
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
298 Fifth Ave., 7th Floor
New York, NY 10001
TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
401 Westchester St., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEER:
VSP CANTOR SENUK
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 887 2885 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5655 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 300 West 57th Street, 9th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 806
New York, NY 10013
TEL: 212 757 6550 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hind Pokorny Associates, Inc.
39 West 57th Street, 12A
New York, NY 10019
TEL: 212 759 6452 FAX: 212 759 6540

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16	D.O.B. AMENDMENT 3	03 OCT 16

0 2'-0" 4'-0" 8'-0"

D.O.B. SUBMISSION

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ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:

AAI
ARCHITECTS, P.C.

PROJECT: 217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE: 19TH FLOOR PLAN (RESIDENTIAL - TIER 1) (MFD-38TH FLOOR)

DATE: 15 OCT 14

PROJECT No: 1216-00

DRAWN: Author

CHECKED: Checker

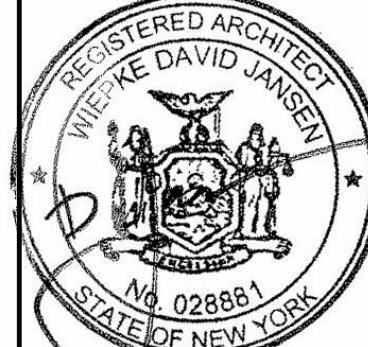
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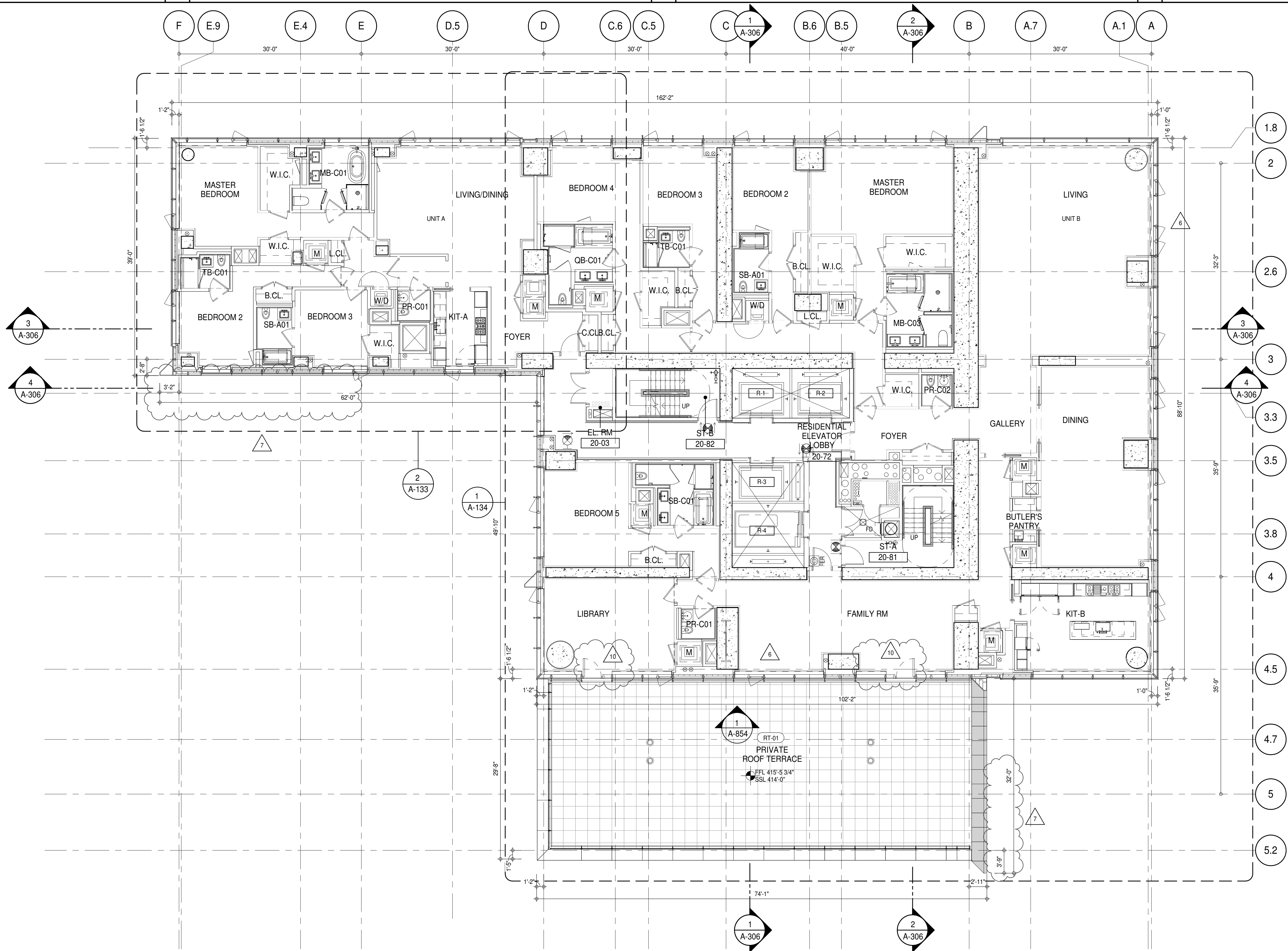
DWG No:

A-132.02

DOB PAGE No: 185 of 454

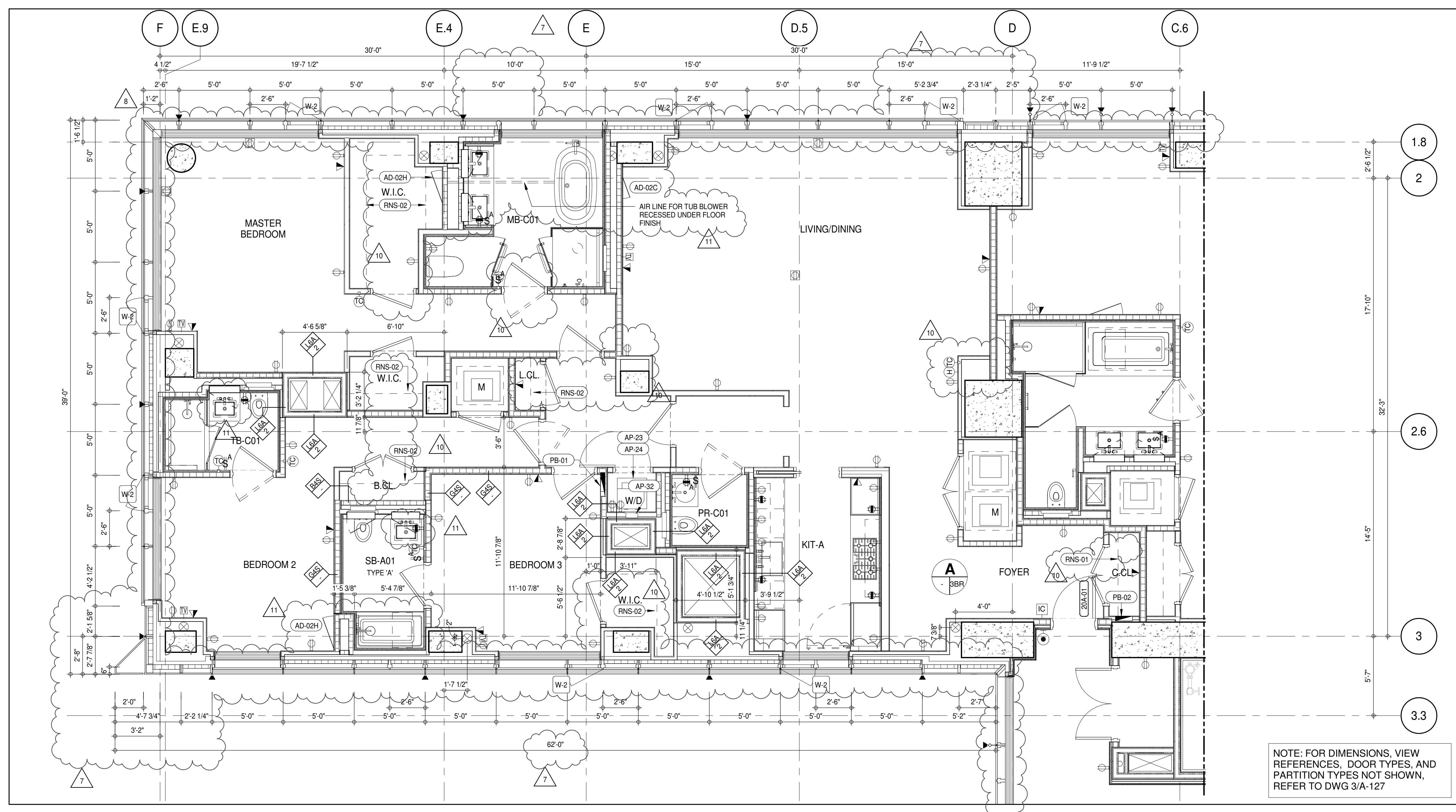
DOB 5-SCAN:





- SHEET NOTES:**
- 01 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.
 - 02 ALL CURBS AT ROOMWAYS & PATH OF TRAVEL TO BE PAINTED WITH WARNING STRIPS.
 - 03 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.
 - 04 DASHED LINE DENOTES EXTENT OF 6" HIGH CEMENT BOARD BASE CURB. REFER TO SECTION DETAIL (B) ON SHEET (A-574).
 - 05 CONCRETE HOUSEKEEPING PAD. HEIGHT, SIZE AND LOCATION TO BE COORDINATED WITH MECHANICAL DRAWINGS.
 - 11 TOP OF EXISTING STRUCT. SLAB CUT OUT FOR FLOOR RECESSED SLIDING DOOR TRACK ONCE CONSTRUCTION IS COMPLETE.
 - EDGE OF SLAB IS 11" FROM FACE OF GLASS UNLESS OTHERWISE STATED AND/OR AT SHEAR WALL CONDITIONS.
 - TEMPORARY SHEAR WALL OPENINGS REQUIRED BY THE CONTRACTOR TO COMPLETE THE PROJECT ARE TO BE FILLED TO MATCH THE WALLS REQUIREMENTS INCLUDING BUT NOT LIMITED TO FIRE RATING, ACOUSTIC PROPERTY, THERMAL PROPERTY, AIR VAPOR PERMEABILITY.
 - ALL SLEEVES SHOULD EXTEND TO MATCH CURB HEIGHT IN ROOMS WITH CURBS FOR TERMINATION OF WATERPROOFING SYSTEM.

- KEYNOTE LEGEND:**
- (TAG #) DESCRIPTION
 - (AD-020) ACCESS DOOR FLUSH NON RATED 18" x 18" - GYP
 - (AD-024) ACCESS DOOR FLUSH NON RATED 28" X 17" - GYP
 - (AP-23) COMPACT ELECTRIC DRYER
 - (AP-24) COMPACT WASHING MACHINE
 - (AP-32) RECESSED DRYER VENT BOX - UPWARD VENTING
 - (PB-01) RESIDENTIAL ELECTRICAL PANELBOARD
 - (PB-02) RESIDENTIAL TELECOM PANELBOARD
 - (RNS-01) ROD AND SHELF (REFER TO A1-880)
 - (RNS-02) ROD AND SHELF (N.I.C)
 - (RT-01) FLUID MEMBRANE WITH CONCRETE PAVERS - TYPE 1



PARTIAL PLAN
1/4" = 1'-0"

DEPT OF BLDGS 21532029
ISSUED AS A-128 CD PROGRESS ISSUE 3 - 09 MAR 15

KEY PLAN:

PROJECT NORTH:

DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
298 Fifth Ave., 7th Floor
New York, NY 10001
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
401 Westchester St., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
VSP CANTOR SEINUK
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 887 8888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 300 West 57th Street, 9th Floor
New York, NY 10001-2722
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1918 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 806
New York, NY 10013
TEL: 212 757 5559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6452 FAX: 212 759 6540

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14	D.O.B. AMENDMENT 3	03 OCT 16

0 4' - 0" 8' - 0" 16' - 0"

D.O.B. SUBMISSION

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ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:

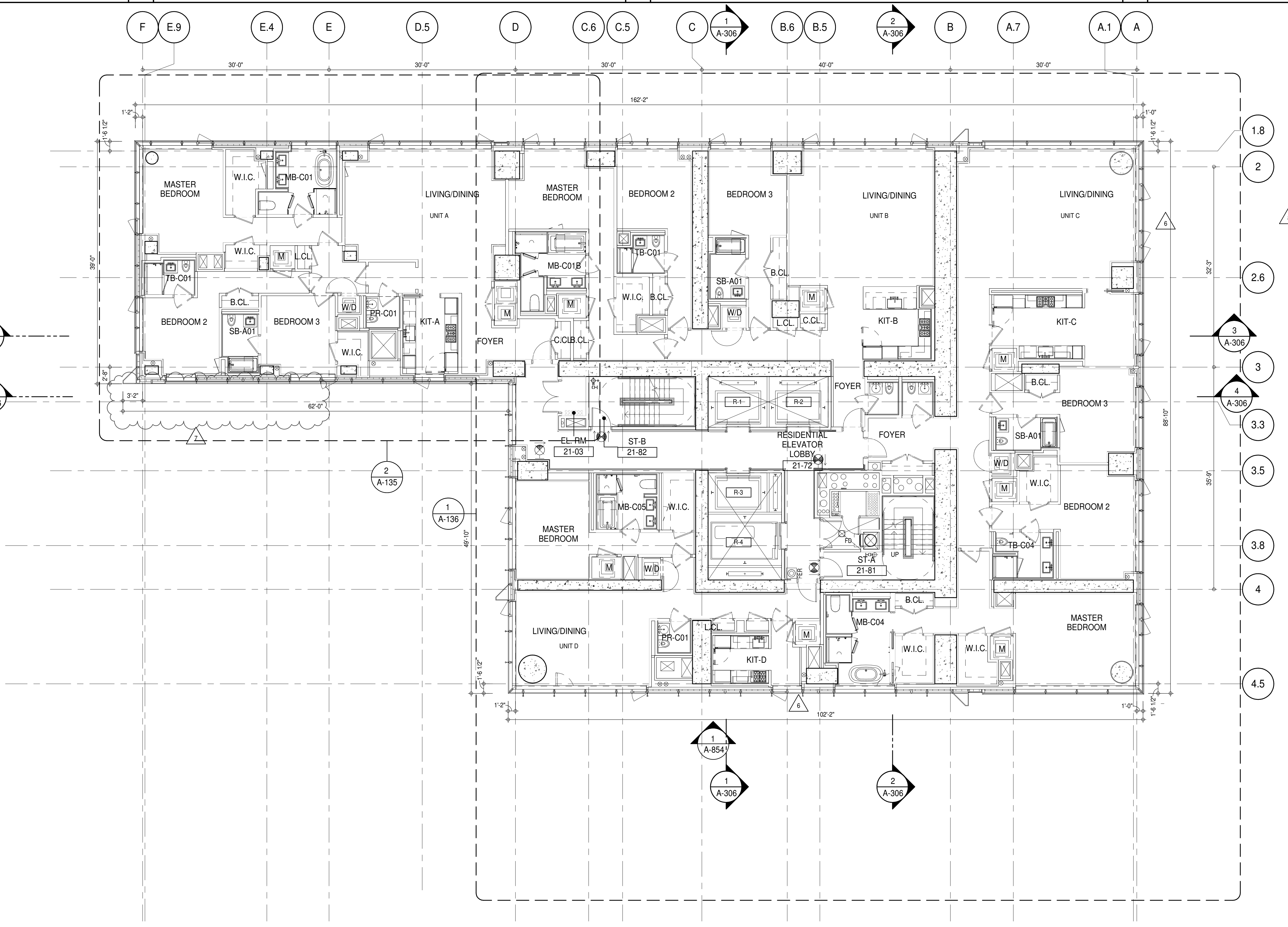
AAI ARCHITECTS, P.C.

PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
20TH FLOOR PLAN (RESIDENTIAL - TIER 1) (MFD-39TH FLOOR)

SEAL & SIGNATURE:
REGISTERED ARCHITECT
DAVID L. LAMBERT
NEW YORK, NY

DATE: 15 OCT 14
PROJECT No: 1216-00
DRAWN: Author
CHECKED: Checker
SCALE: As indicated
DWG No:
A-133.02
DOB PAGE No: 196 of 454
DOB 5-SCAN:



SHEET NOTES:

G1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

G2 ALL CURBS AT ROOMWAYS & PATH OF TRAVEL TO BE PAINTED WITH WARNING STRIPS.

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KEYNOTE LEGEND:

TAG # DESCRIPTION

AD-020 ACCESS DOOR FLUSH NON RATED 18" x 18" - GYP

AD-024 ACCESS DOOR FLUSH NON RATED 28" X 17" - GYP

AP-23 COMPACT ELECTRIC DRYER

AP-24 COMPACT WASHING MACHINE

AP-32 RECESSED DRYER VENT BOX - UPWARD VENTING

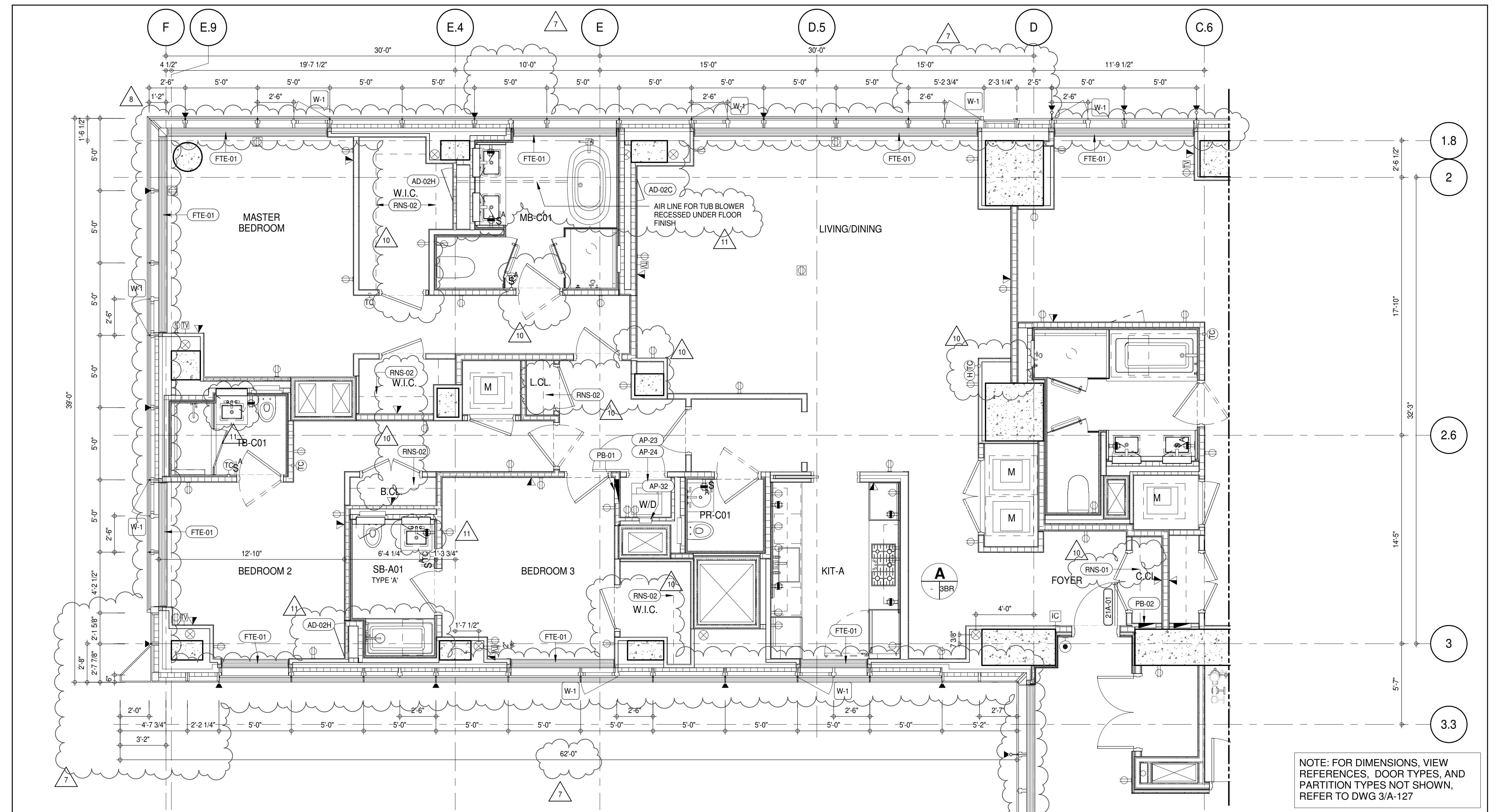
FTE-01 FIN TUBE ENCLOSURE

PB-01 RESIDENTIAL ELECTRICAL PANELBOARD

PB-02 RESIDENTIAL TELECOM PANELBOARD

RNS-01 ROD AND SHELF (REFER TO A1-880)

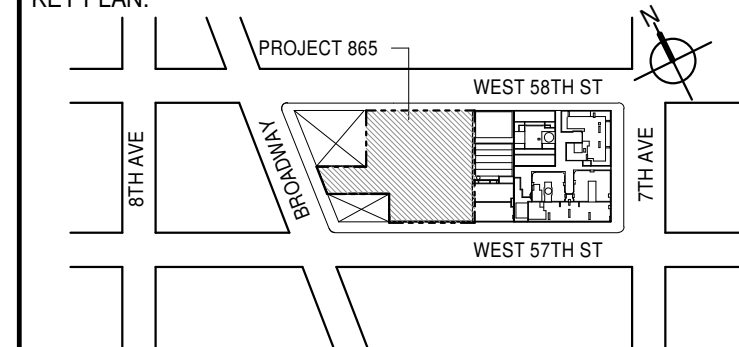
RNS-02 ROD AND SHELF (N.I.C.)



NOTE: FOR DIMENSIONS, VIEW REFERENCES, DOOR TYPES, AND PARTITION TYPES NOT SHOWN, REFER TO DWG 3/A-127

PARTIAL PLAN

KEY PLAN:



PROJECT NORTH

DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: **Base Building Shell & Core**
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: **Residential**
Rottet Architecture and Design Studio, PLLC
288 Fifth Ave., 7th Floor
New York, NY 10001
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: **Base Building Shell, Core, & Residential**
AAI ARCHITECTS, P.C.
401 West 57th St., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEER: **VSP CANTOR SEINUK**
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 887 8888 FAX: 646 487 5501

MEP ENGINEERS: **AKF GROUP**
165 Broadway, 22nd Floor
New York, NY 10008 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS: **Langan Engineering & Environmental Services**
21 Penn Plaza - 300 West 57th Street, 9th Floor
New York, NY 10001-2722
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS: **Construction Consulting Associates**
100 Church Street
New York, NY 10007
TEL: 212 385 1918 FAX: 212 385 1911

CURTAINWALL CONSULTANT: **AJLP Consulting**
40 Worth Street, Suite 806
New York, NY 10013
TEL: 212 757 5559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT: **Jan Hird Pokorny Associates, Inc.**
39 West 57th Street, 12A
New York, NY 10019
TEL: 212 759 6452 FAX: 212 759 6540

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0 4' 0" 8' 0" 16' 0"

D.O.B. SUBMISSION

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CONSULTANT:



PROJECT: **217 WEST 57TH STREET**
NEW YORK, NY

DRAWING TITLE: **21ST FLOOR PLAN (RESIDENTIAL - TIER 1) (MFD-43RD FLOOR)**

DATE: 15 OCT 14

PROJECT No: 1216-00

DRAWN: Author

CHECKED: Checker

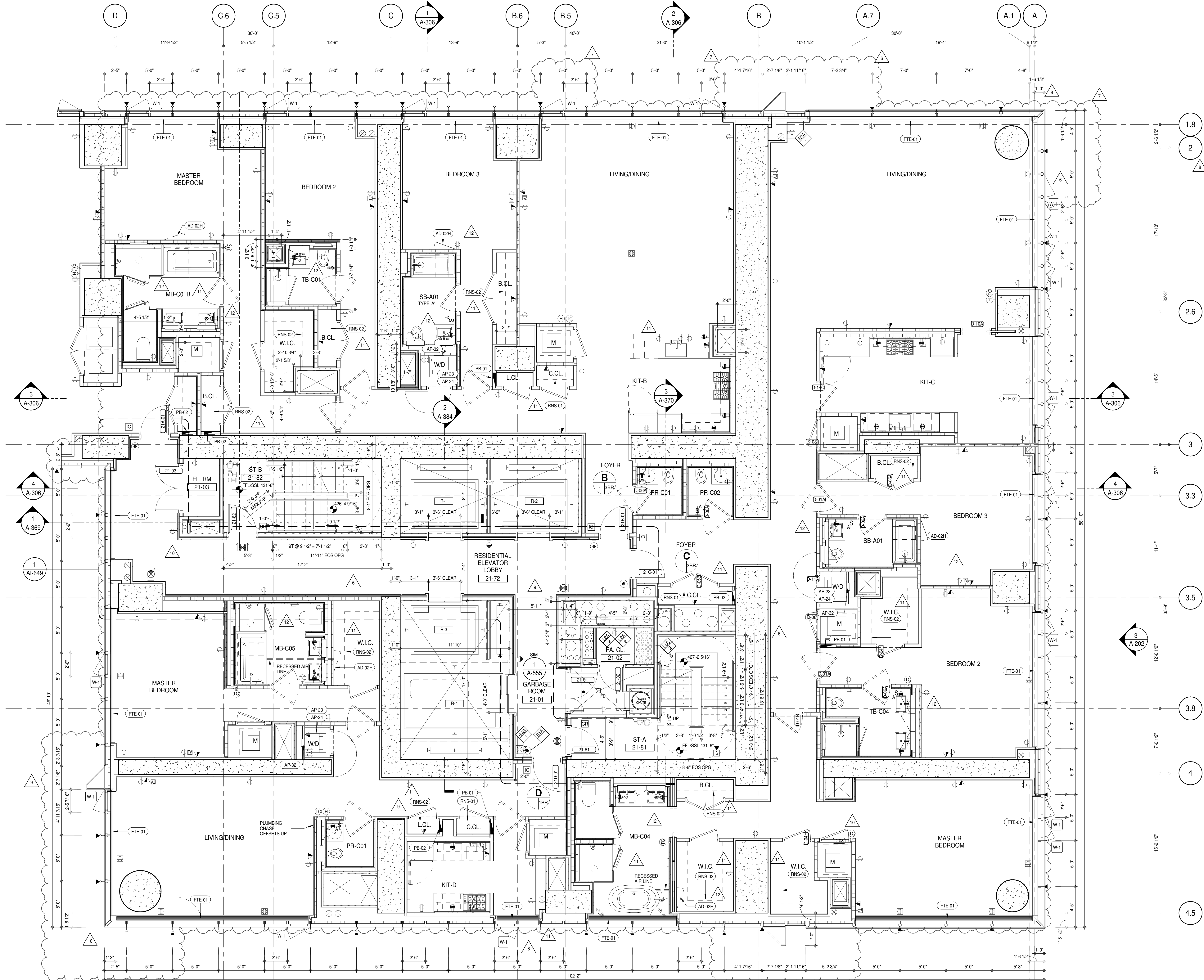
SCALE: As indicated

DWG No: **A-135.02**

DOB PAGE No: 188 of 454

DOB EMPLOYEE STAMP: DOB 5 SCAN:

DOB 5 SCAN:



SHEET NOTES:

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KEYNOTE LEGEND:

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AP-24 COMPACT WASHING MACHINE

AP-32 RECESSED DRYER VENT BOX - UPWARD VENTING

FTE-01 FIN TUBE ENCLOSURE

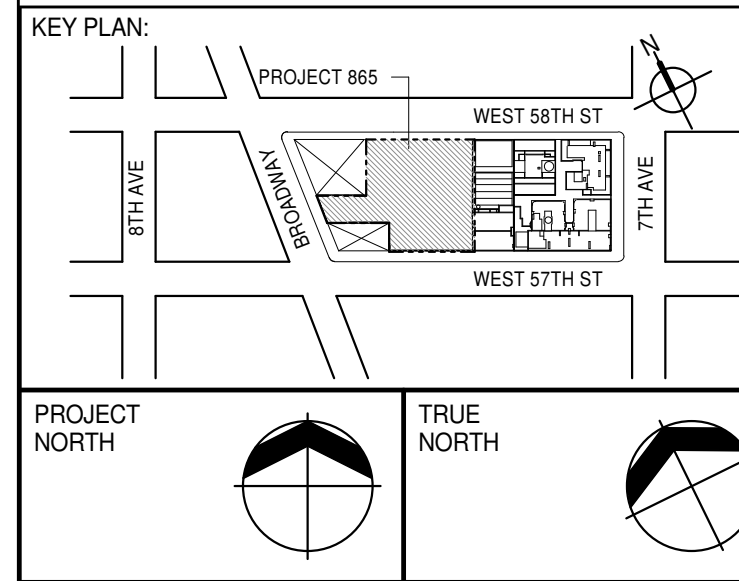
PB-01 RESIDENTIAL ELECTRICAL PANELBOARD

PB-02 RESIDENTIAL TELECOM PANELBOARD

RNS-01 ROD AND SHELF (REFER TO A1-880)

RNS-02 ROD AND SHELF (N.I.C)

NOTE: FOR DIMENSIONS, VIEW REFERENCES, DOOR TYPES, AND PARTITION TYPES NOT SHOWN, REFER TO DWG 1/A-128 AND 1/A-138



PROJECT NORTH

TRUE NORTH

DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: **AAI ARCHITECTS, P.C.**
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: **Rottet Architecture and Design Studio, PLLC**
298 Fifth Ave., 7th Floor
New York, NY 10001
TEL: 646 998 7000 FAX: 646 998 7000

ARCHITECT OF RECORD: **AAI ARCHITECTS, P.C.**
401 Wellington St., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 1750

STRUCTURAL ENGINEER: **VSP CANTOR SENUK**
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 887 2885 FAX: 646 487 5501

MEP ENGINEERS: **AKF GROUP**
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TEL: 212 354 5655 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS: **Langan Engineering & Environmental Services**
21 Penn Plaza - 300 West 57th Street, 9th Floor
New York, NY 10001-2727
TEL: 212 385 1918 FAX: 212 385 1911

CODE CONSULTANTS: **Construction Consulting Associates**
100 Church Street
New York, NY 10007
TEL: 212 757 5550 FAX: 646 219 8508

CURTAINWALL CONSULTANT: **AJLP Consulting**
40 Worth Street, Suite 806
New York, NY 10013
TEL: 212 757 5550 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT: **Jan Hind Pokorny Associates, Inc.**
39 West 57th Street, 12A
New York, NY 10019
TEL: 212 759 6452 FAX: 212 759 6540

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14	D.O.B. AMENDMENT 3	03 OCT 16

0 2'-0" 4'-0" 8'-0"

D.O.B. SUBMISSION

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ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT: **AAI ARCHITECTS, P.C.**

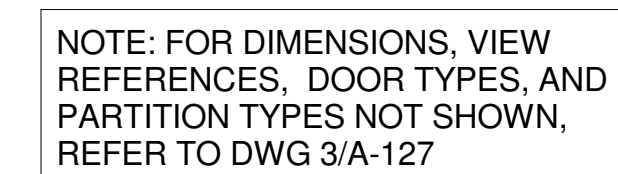
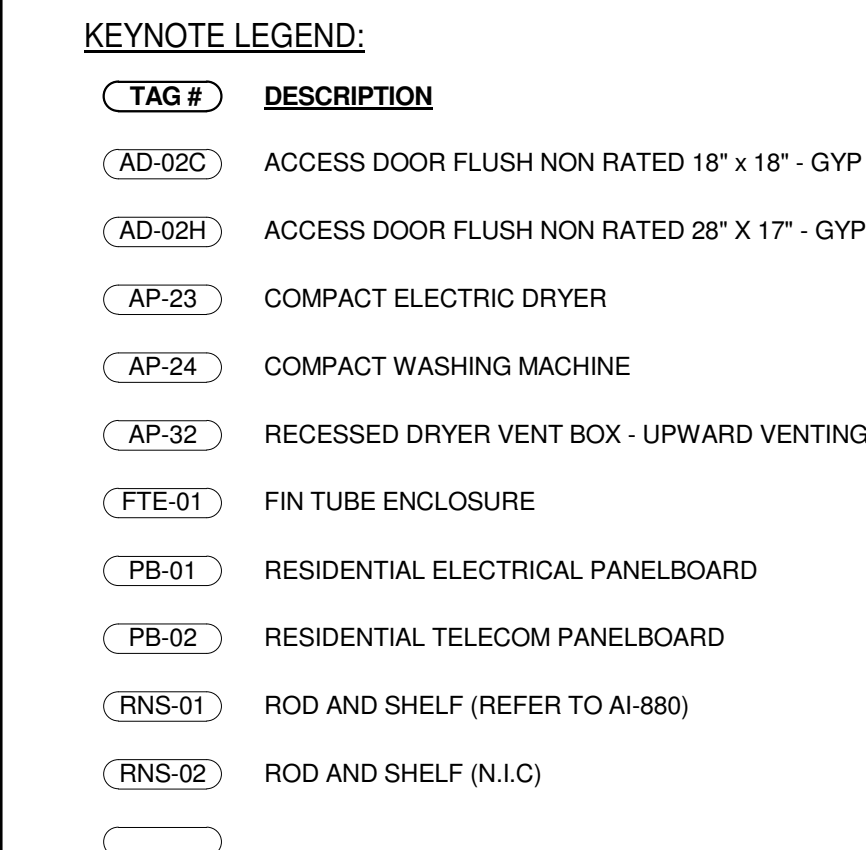
PROJECT: **217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE: **21ST FLOOR PLAN (RESIDENTIAL - TIER 1) (MFD-43RD FLOOR)**

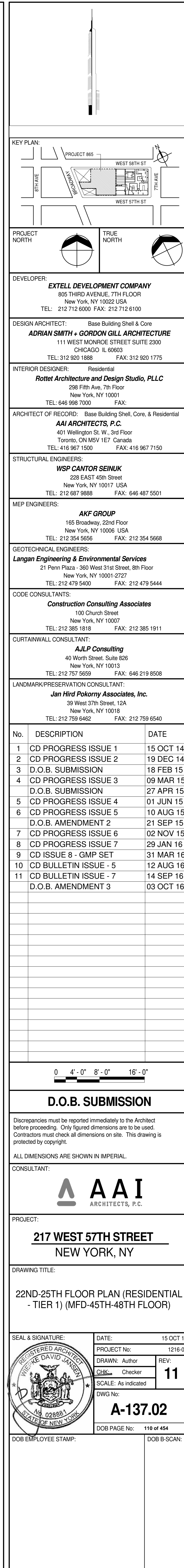
SEAL & SIGNATURE: **DAVID L. LAMORE**
REGISTERED ARCHITECT
NEW YORK, NY

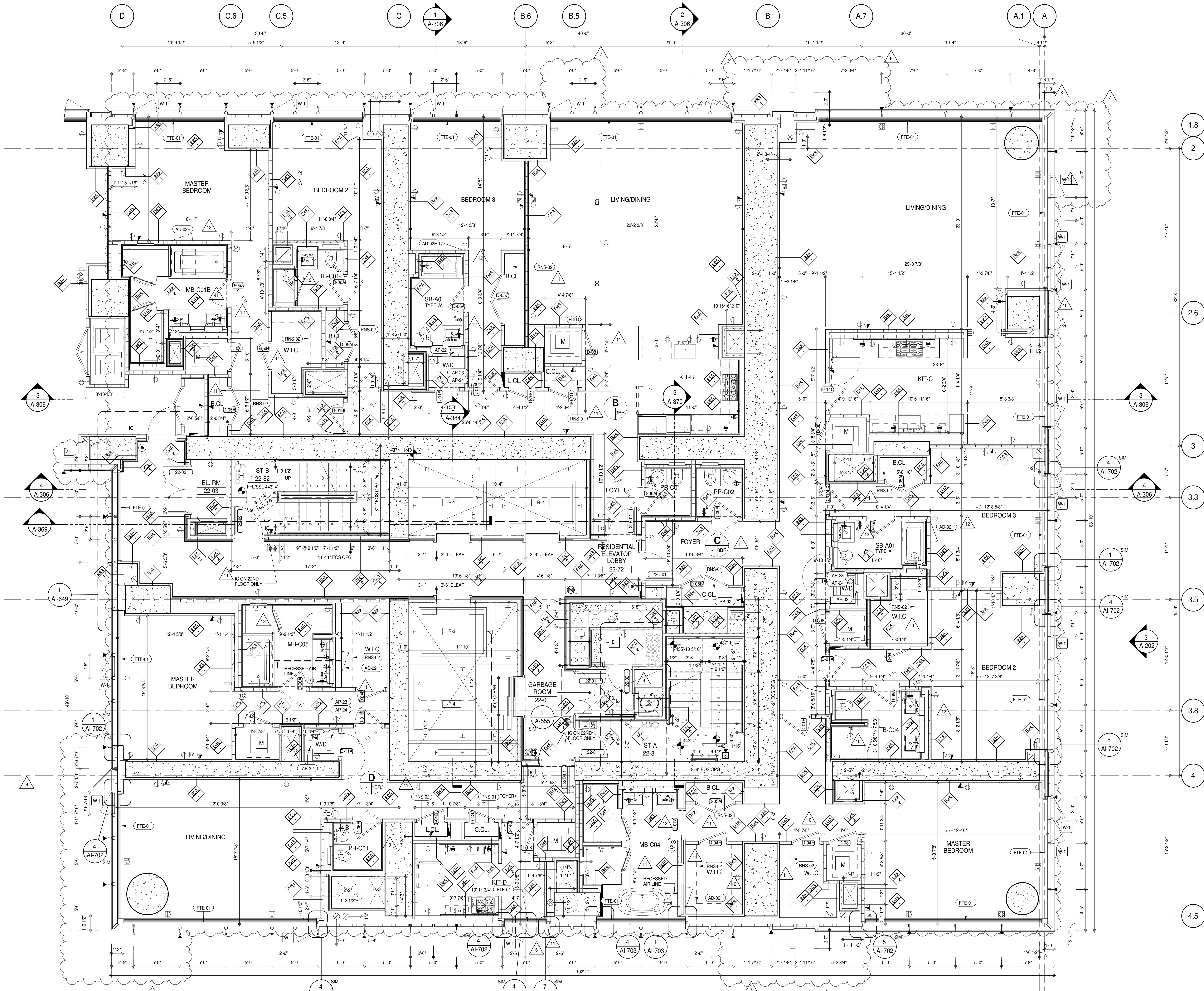
DATE: 15 OCT 14
PROJECT No: 1216-00
DRAWN: Author
CHECKED: Checker
SCALE: 1/4" = 1'-0"
DWG No: **A-136.02**

DOB PAGE No: 199 of 454
DOB 5-SIGN: 12



PARTIAL PLAN
A-137
1/4" = 1'-0"





SHEET NOTES:

01 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

02 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

03 DASHED LINE DENOTES EXTENT OF 6" HIGH CEMENT BOARD BASE CURB. REFER TO SECTION DETAIL (B) ON SHEET (A-574).

P1 CONCRETE HOUSEKEEPING PAD. HEIGHT, SIZE AND LOCATION TO BE COORDINATED WITH MECHANICAL DRAWINGS.

T1 TOP OF EXISTING STRUCT. SLAB CUT OUT FOR FLOOR RECESSED SLIDING DOOR TRACK ONCE CONSTRUCTION IS COMPLETE.

E1 PROVIDE 2 HR RATED LSA PARTITION ON 24TH AND 25TH FLOORS.

EDGE OF SLAB IS 11" FROM FACE OF GLASS UNLESS OTHERWISE STATED AND/OR AT SHEAR WALL CONDITIONS.

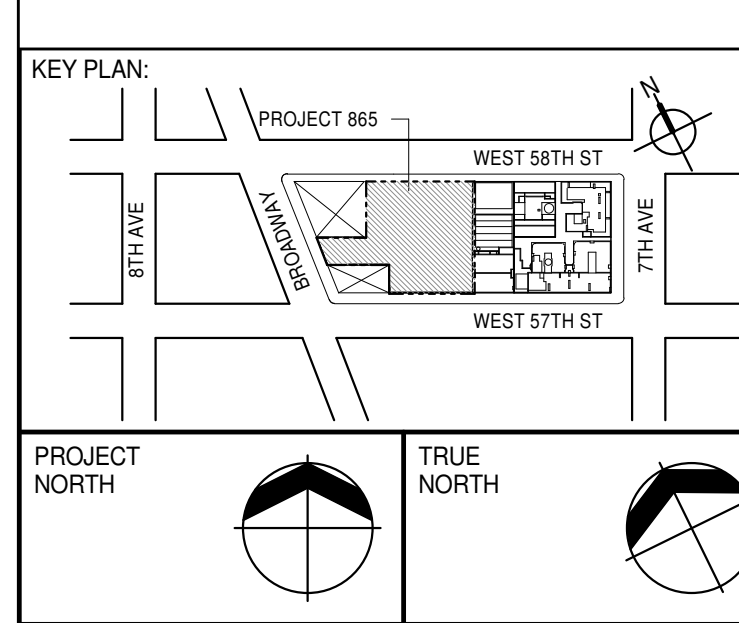
TEMPORARY SHEAR WALL OPENINGS REQUIRED BY THE CONTRACTOR TO COMPLETE THE PROJECT ARE TO BE FILLED TO MATCH THE WALLS REQUIREMENTS INCLUDING BUT NOT LIMITED TO FIRE RATING, ACOUSTIC PROPERTY, THERMAL PROPERTY, AIR VAPOR PERMEABILITY.

KEYNOTE LEGEND:

TAG #	DESCRIPTION
AD-02H	ACCESS DOOR FLUSH NON RATED 28" X 17" - GYP
AP-23	COMPACT ELECTRIC DRYER
AP-24	COMPACT WASHING MACHINE
AP-32	RECESSED DRYER VENT BOX - UPWARD VENTING
FTE-01	FIN TUBE ENCLOSURE
PB-02	RESIDENTIAL TELECOM PANELBOARD
RNS-01	ROD AND SHELF (REFER TO AI-880)
RNS-02	ROD AND SHELF (N.I.C.)

LEVEL	CORE ROOM ASSIGNMENT
25	FIRE ALARM CLOSET
24	TELECOM ROOM
23	TELECOM ROOM

NOTE: FOR DIMENSIONS, VIEW REFERENCES, DOOR TYPES, AND PARTITION TYPES NOT SHOWN, REFER TO DWG 1/A-128



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
 805 THIRD AVENUE, 7TH FLOOR
 NEW YORK, NY 10022 USA
 TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT:
ADRIAN SMITH + GORDON GILL ARCHITECTURE
 111 WEST MONROE STREET SUITE 2300
 CHICAGO IL 60603
 TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER:
Rotet Architecture and Design Studio, PLLC
 298 Fifth Ave., 7th Floor
 New York, NY 10001
 TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD:
AAI ARCHITECTS, P.C.
 401 West 57th St., 3rd Floor
 Toronto, ON M5V 1E7 Canada
 TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
VSP CANTOR SEINUK
 228 EAST 45th Street
 New York, NY 10017 USA
 TEL: 212 887 2885 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
 165 Broadway, 22nd Floor
 New York, NY 10006 USA
 TEL: 212 354 5655 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
 21 Penn Plaza - 360 West 57th Street, 9th Floor
 New York, NY 10001-2727
 TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
 100 Church Street
 New York, NY 10007
 TEL: 212 385 1918 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
 40 Worth Street, Suite 806
 New York, NY 10013
 TEL: 212 757 6559 FAX: 646 219 8508

LANDMARK PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
 39 West 57th Street, 12A
 New York, NY 10019
 TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	CD PROGRESS ISSUE 5	10 AUG 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	CD BULLETIN ISSUE - 1	22 APR 16
13	CD BULLETIN ISSUE - 5	12 AUG 16
14	CD BULLETIN ISSUE - 7	14 SEP 16
15	D.O.B. AMENDMENT 3	03 OCT 16

0' 2'-0" 4'-0" 8'-0"

D.O.B. SUBMISSION

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ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:



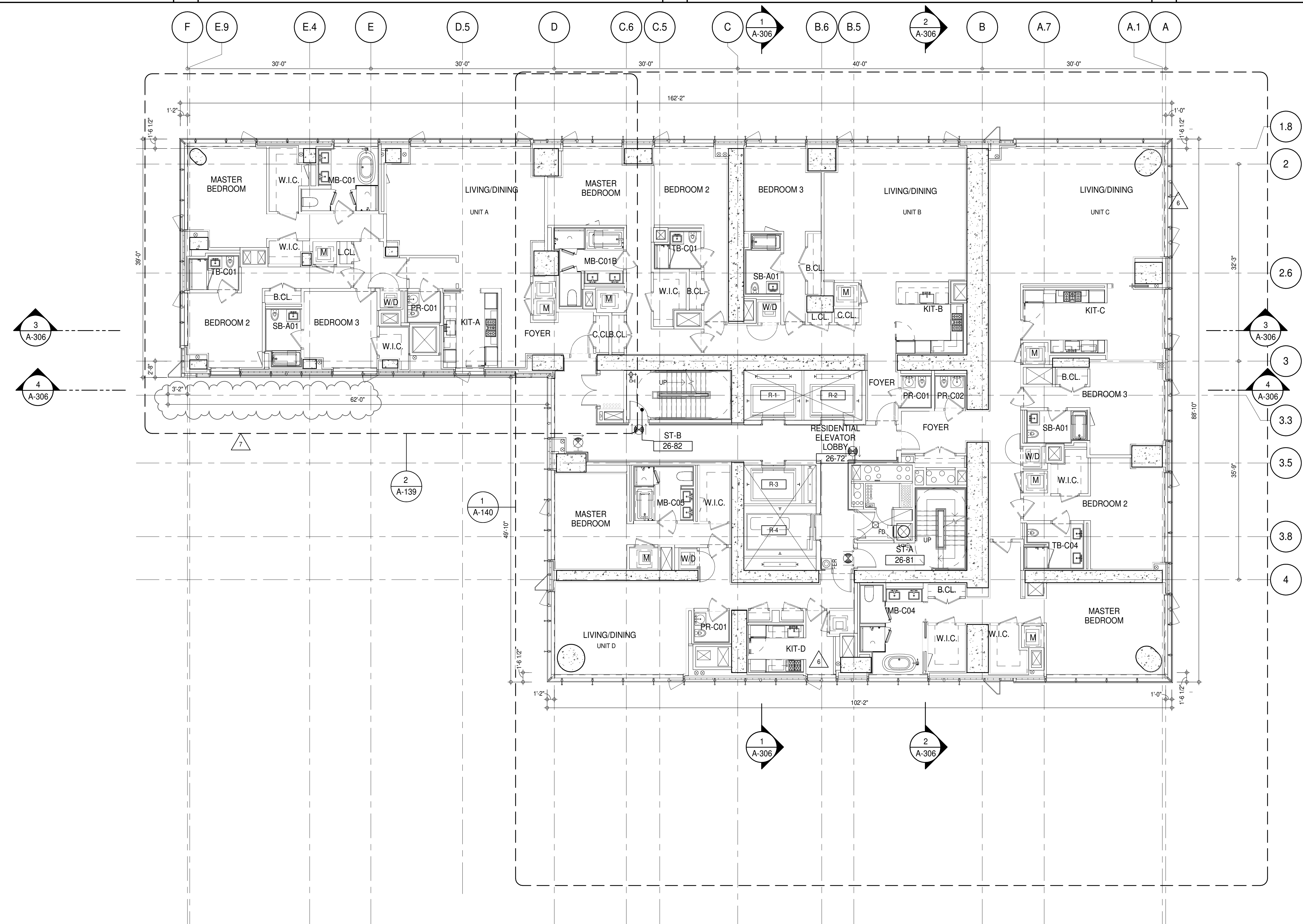
PROJECT:
217 WEST 57TH STREET
 NEW YORK, NY

DRAWING TITLE:
22ND-25TH FLOOR PLAN (RESIDENTIAL - TIER 1) (MFD-45TH-48TH FLOOR)

SEAL & SIGNATURE: PROJECT No: 15 OCT 14
 1216-00

DRAWN: Author
 CHECKED: Checker
 SCALE: 1/4" = 1'-0"
 DWG No: **12**

A-138.02
 DOB PAGE No: 111 of 454
 DOB 5-SCAN:



SHEET NOTES:

G1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

G2 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

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ALL SLEEVES SHOULD EXTEND TO MATCH CURB HEIGHT IN ROOMS WITH CURBS FOR TERMINATION OF WATERPROOFING SYSTEM.

KEYNOTE LEGEND:

TAG # DESCRIPTION

AD-02C ACCESS DOOR FLUSH NON RATED 18" x 18" - GYP

AD-02H ACCESS DOOR FLUSH NON RATED 28" X 17" - GYP

AP-23 COMPACT ELECTRIC DRYER

AP-24 COMPACT WASHING MACHINE

AP-32 RECESSED DRYER VENT BOX - UPWARD VENTING

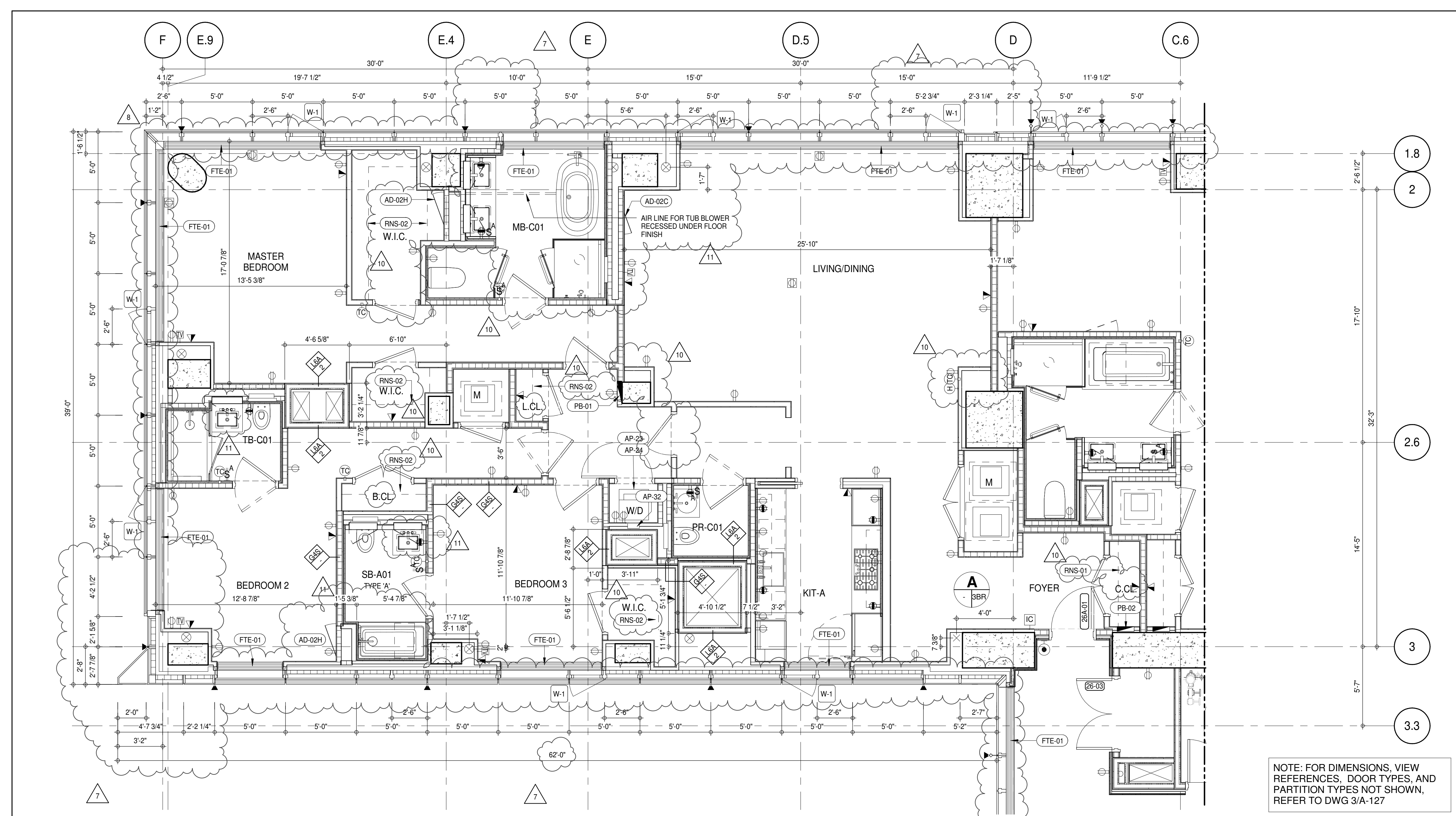
FTE-01 FIN TUBE ENCLOSURE

PB-01 RESIDENTIAL ELECTRICAL PANELBOARD

PB-02 RESIDENTIAL TELECOM PANELBOARD

RNS-01 ROD AND SHELF (REFER TO AI-880)

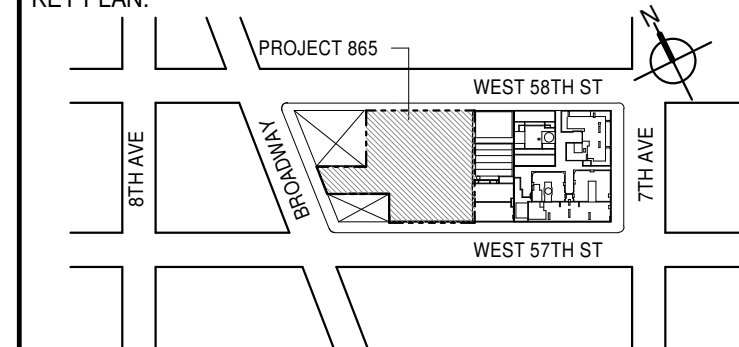
RNS-02 ROD AND SHELF (N.I.C.)



NOTE: FOR DIMENSIONS, VIEW REFERENCES, DOOR TYPES, AND PARTITION TYPES NOT SHOWN, REFER TO DWG 3/A-127

PARTIAL PLAN
A-139
1/4" = 1'-0"

KEY PLAN:



PROJECT NORTH

DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: **AAI ARCHITECTS, P.C.**
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: **Rottet Architecture and Design Studio, PLLC**
298 Fifth Ave., 7th Floor
New York, NY 10017
TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: **AAI ARCHITECTS, P.C.**
401 West 57th St., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS: **VSP CANTOR SEINUK**
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 987 8888 FAX: 646 487 5501

MEP ENGINEERS: **AKF GROUP**
165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5656 FAX: 212 354 5668

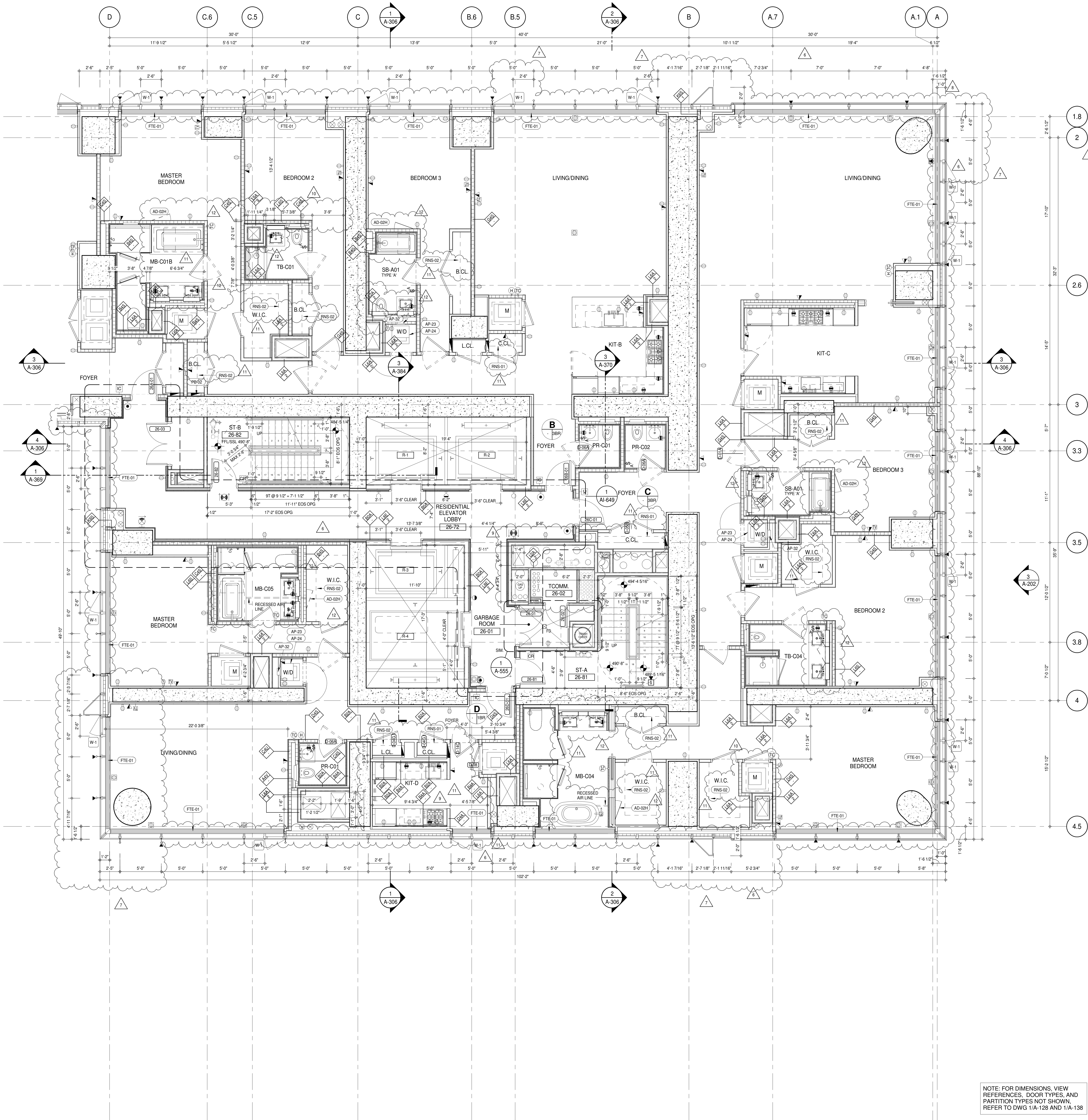
GEOTECHNICAL ENGINEERS: **Langan Engineering & Environmental Services**
21 Penn Plaza - 300 West 57th Street, 9th Floor
New York, NY 10001-2722
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS: **Construction Consulting Associates**
100 Church Street
New York, NY 10007
TEL: 212 385 1918 FAX: 212 385 1911

CURTAINWALL CONSULTANT: **AJLP Consulting**
40 Worth Street, Suite 806
New York, NY 10013
TEL: 212 757 5559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT: **Jan Hird Pokorny Associates, Inc.**
39 West 57th Street, 12A
New York, NY 10019
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
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12	CD PROGRESS ISSUE 7	14 SEP 16
13	D.O.B. SUBMISSION	03 OCT 16



SHEET NOTES:

01 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

02 ALL CURBS AT ROOMWAYS & PATH OF TRAVEL TO BE PAINTED WITH WARNING STRIPS.

03 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

04 DASHED LINE DENOTES EXTENT OF 6" HIGH CEMENT BOARD BASE CURB. REFER TO SECTION DETAIL, (B) ON SHEET (A-574).

05 CONCRETE HOUSEKEEPING PAD. HEIGHT, SIZE AND LOCATION TO BE COORDINATED WITH MECHANICAL DRAWINGS.

11 TOP OF EXISTING STRUCT. SLAB CUT OUT FOR FLOOR RECESSED SLIDING DOOR TRACK ONCE CONSTRUCTION IS COMPLETE.

EDGE OF SLAB IS 1" FROM FACE OF GLASS UNLESS OTHERWISE STATED AND/OR AT SHEAR WALL CONDITIONS.

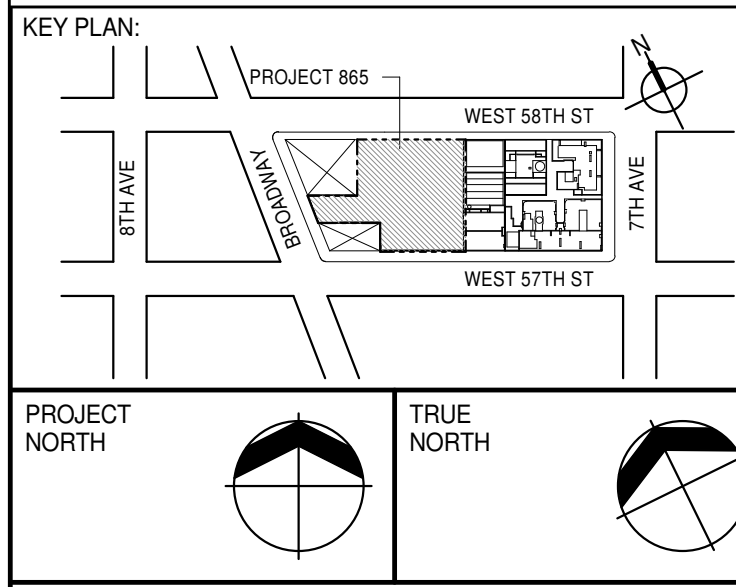
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ALL SLEEVES SHOULD EXTEND TO MATCH CURB HEIGHT IN ROOMS WITH CURBS FOR TERMINATION OF WATERPROOFING SYSTEM.

KEYNOTE LEGEND:

TAG #	DESCRIPTION
AD-02H	ACCESS DOOR FLUSH NON RATED 28" X 17" - GYP
AP-23	COMPACT ELECTRIC DRYER
AP-24	COMPACT WASHING MACHINE
AP-32	RECESSED DRYER VENT BOX - UPWARD VENTING
FTE-01	FIN TUBE ENCLOSURE
PB-02	RESIDENTIAL TELECOM PANELBOARD
RNS-01	ROD AND SHELF (REFER TO A1-880)
RNS-02	ROD AND SHELF (N.I.C)

NOTE: FOR DIMENSIONS, VIEW REFERENCES, DOOR TYPES, AND PARTITION TYPES NOT SHOWN, REFER TO DWG 1/A-128 AND 1/A-138



PROJECT NORTH

TRUE NORTH

DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: **AAI ARCHITECTS, P.C.**
Base Building Shell & Core
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: **Rotet Architecture and Design Studio, PLLC**
298 Fifth Ave., 7th Floor
New York, NY 10001
TEL: 646 989 7000 FAX: 646 989 7000

ARCHITECT OF RECORD: **AAI ARCHITECTS, P.C.**
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEER: **VSP CANTOR SEINUK**
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 887 2885 FAX: 646 487 5501

MEP ENGINEERS: **AKF GROUP**
165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5655 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS: **Langan Engineering & Environmental Services**
21 Penn Plaza - 300 West 57th Street, 9th Floor
New York, NY 10001 2722
TEL: 212 385 1818 FAX: 212 479 5444

CODE CONSULTANTS: **Construction Consulting Associates**
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT: **AJLP Consulting**
40 Worth Street, Suite 806
New York, NY 10013
TEL: 212 757 5555 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT: **Jan Hind Pokorny Associates, Inc.**
39 West 57th Street, 12A
New York, NY 10019
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
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4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
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7	CD PROGRESS ISSUE 5	10 AUG 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	D.O.B. AMENDMENT 3	03 OCT 16

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12	D.O.B. AMENDMENT 3	03 OCT 16

0' 2' 4' 8' 0"

D.O.B. SUBMISSION

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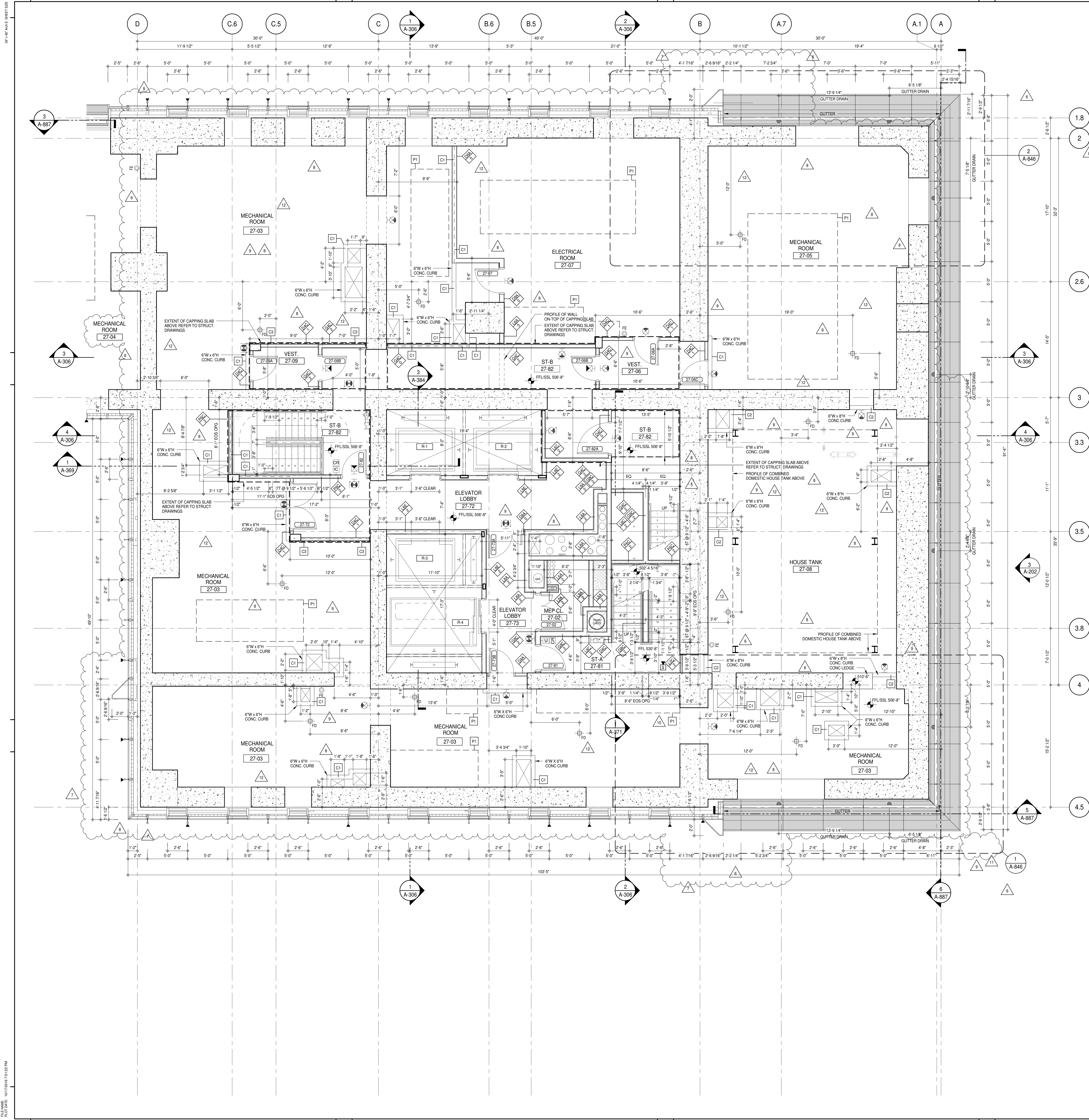
CONSULTANT: **AAI ARCHITECTS, P.C.**

PROJECT: **217 WEST 57TH STREET**
NEW YORK, NY

DRAWING TITLE: **26TH FLOOR PLAN (RESIDENTIAL - TIER 1) (MFD-49TH FLOOR)**

SEAL & SIGNATURE: **DAVID L. LAMORE**
REGISTERED ARCHITECT
NEW YORK, NY

DATE: 15 OCT 14
PROJECT No: 1216-00
DRAWN: Author
CHECKED: Checker
SCALE: 1/4" = 1'-0"
DWG No: **A-140.02**
DOB PAGE No: 113 of 454
DOB 5-SIGN: 12



SHEET NOTES:

C1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

C2 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

C3 DASHED LINE DENOTES EXTENT OF 6" HIGH CEMENT BOARD BASE CURB. REFER TO SECTION DETAIL (B) ON SHEET (A-574).

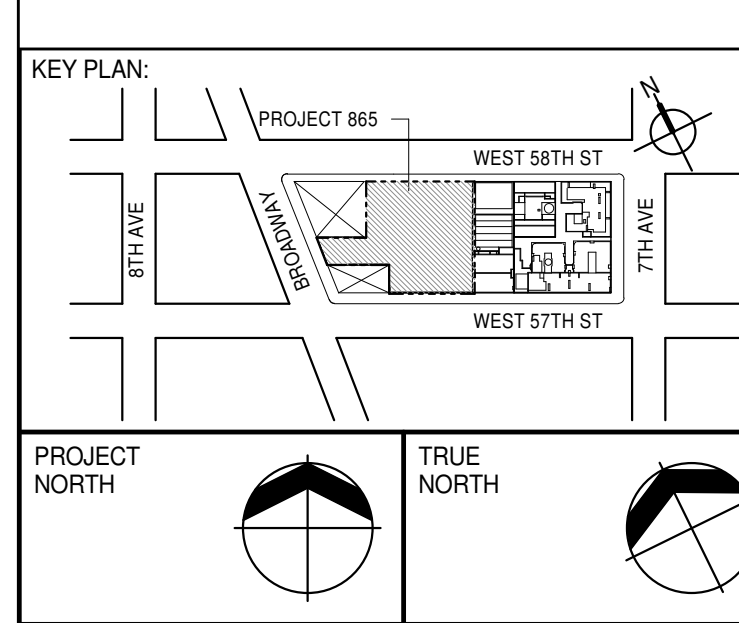
P1 CONCRETE HOUSEKEEPING PAD. HEIGHT, SIZE AND LOCATION TO BE COORDINATED WITH MECHANICAL DRAWINGS.

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ALL SLEEVES SHOULD EXTEND TO MATCH CURB HEIGHT IN ROOMS WITH CURBS FOR TERMINATION OF WATERPROOFING SYSTEM.



DEVELOPER: EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
298 Fifth Ave., 7th Floor
New York, NY 10001
TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AJ ARCHITECTS, P.C.
401 Wellington St., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
VSP CANTOR SEINUK
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 887 2885 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5655 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 300 West 57th Street, 9th Floor
New York, NY 10001 2722
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1912 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
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New York, NY 10013
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7	CD PROGRESS ISSUE 5	10 AUG 15
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11	CD ISSUE 8 - GMP SET	31 MAR 16
12	D.O.B. BULLETIN ISSUE - 2	11 MAY 16
13	CD BULLETIN ISSUE - 3	25 MAY 16
14	CD BULLETIN ISSUE - 7	14 SEP 16
15	D.O.B. AMENDMENT 3	03 OCT 16

0 2' 0" 4' 0" 8' 0"

D.O.B. SUBMISSION

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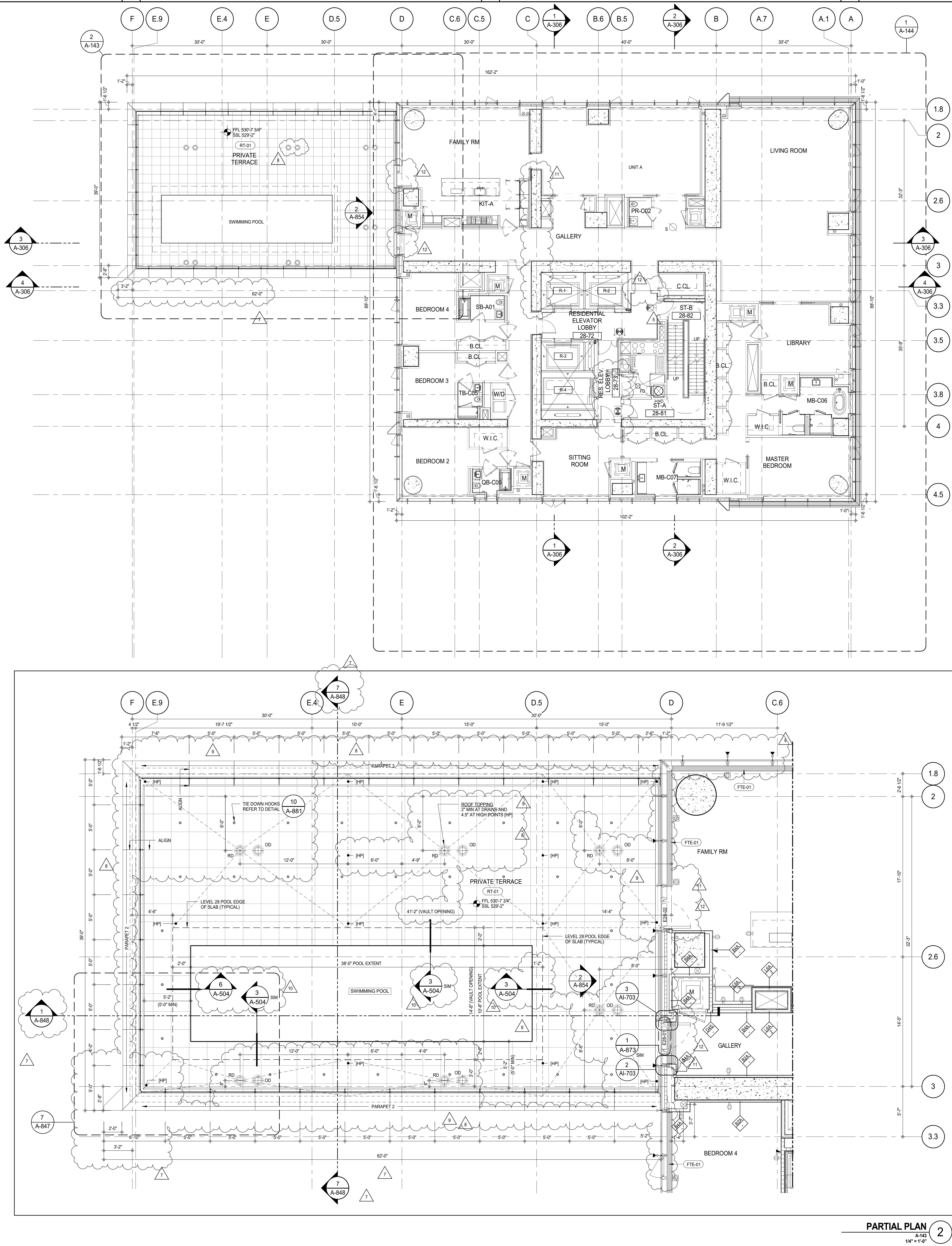
CONSULTANT:



PROJECT: 217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE: 27TH FLOOR PLAN (MECHANICAL)
(MFD-50TH FLOOR)

SEAL & SIGNATURE:	DATE:	15 OCT 14
	PROJECT No:	1216-00
	DRAWN: Author	REV:
	CHECKED: Checker	12
	DWG No:	
SCALE: 1/4" = 1'-0"		
A-142.02		
DOB PAGE No: 115 of 454		
DOB 5 SCAN:		



SHEET NOTES:

C1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

C2 ALL CURBS AT DOORWAYS & PATH OF TRAVEL TO BE PAINTED WITH WARNING STRIPS.

C3 DASHED LINE DENOTES EXTENT OF 8" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

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KEY PLAN:

PROJECT INFO:

PROJECT: 217 WEST 57TH STREET, NEW YORK, NY

DATE: 15 OCT 14

PROJECT NO: 1216-00

REVISION: 12

DESIGNER: ADRIAN SMITH + GORDON GILL ARCHITECTURE

111 WEST MONROE STREET SUITE 2300
 CHICAGO, IL 60603
 TEL: 312 920 1888 FAX: 312 920 1775

ARCHITECT OF RECORD: ADRIAN SMITH + GORDON GILL ARCHITECTURE

111 WEST MONROE STREET SUITE 2300
 CHICAGO, IL 60603
 TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Rottet Architecture and Design Studio, PLLC

288 Fifth Ave., 7th Floor
 New York, NY 10001
 TEL: 212 354 5656 FAX: 212 354 5668

ARCHITECT OF RECORD: ADRIAN SMITH + GORDON GILL ARCHITECTURE

111 WEST MONROE STREET SUITE 2300
 CHICAGO, IL 60603
 TEL: 312 920 1888 FAX: 312 920 1775

STRUCTURAL ENGINEER: WSP CANTOR SEINUK

228 EAST 45th Street
 New York, NY 10017 USA
 TEL: 212 987 8888 FAX: 212 987 5501

MEP ENGINEERS: AKF GROUP

165 Broadway, 22nd Floor
 New York, NY 10006 USA
 TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS: Langan Engineering & Environmental Services

21 Penn Plaza - 360 West 51st Street, 9th Floor
 New York, NY 10001-2722
 TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS: Construction Consulting Associates

100 Church Street
 New York, NY 10007
 TEL: 212 385 1918 FAX: 212 385 1911

CURTAINWALL CONSULTANT: A.J.P. Consulting

40 Worth Street, Suite 826
 New York, NY 10013
 TEL: 212 757 6559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT: Jan Hird Pokorny Associates, Inc.

39 West 37th Street, 12A
 New York, NY 10018
 TEL: 212 759 6452 FAX: 212 759 6540

ISSUED AS A-131 - CD PROGRESS ISSUE 3 - 09 MAR 15

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	CD PROGRESS ISSUE 5	10 AUG 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	CD BULLETIN ISSUE - 1	22 APR 16
13	CD BULLETIN ISSUE - 2	25 MAY 16
14	CD BULLETIN ISSUE - 3	12 AUG 16
15	D.O.B. AMENDMENT 3	03 OCT 16

D.O.B. SUBMISSION

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CONSULTANT: AAI ARCHITECTS, P.C.

PROJECT: 217 WEST 57TH STREET, NEW YORK, NY

DRAWING TITLE: 28TH FLOOR PLAN (RESIDENTIAL - TIER 2) (MFD-53RD FLOOR)

SEAL & SIGNATURE: DAVID J. SMITH, ARCHITECT

DATE: 15 OCT 14

PROJECT NO: 1216-00

DRAWN: Author

CHECKED: Checker

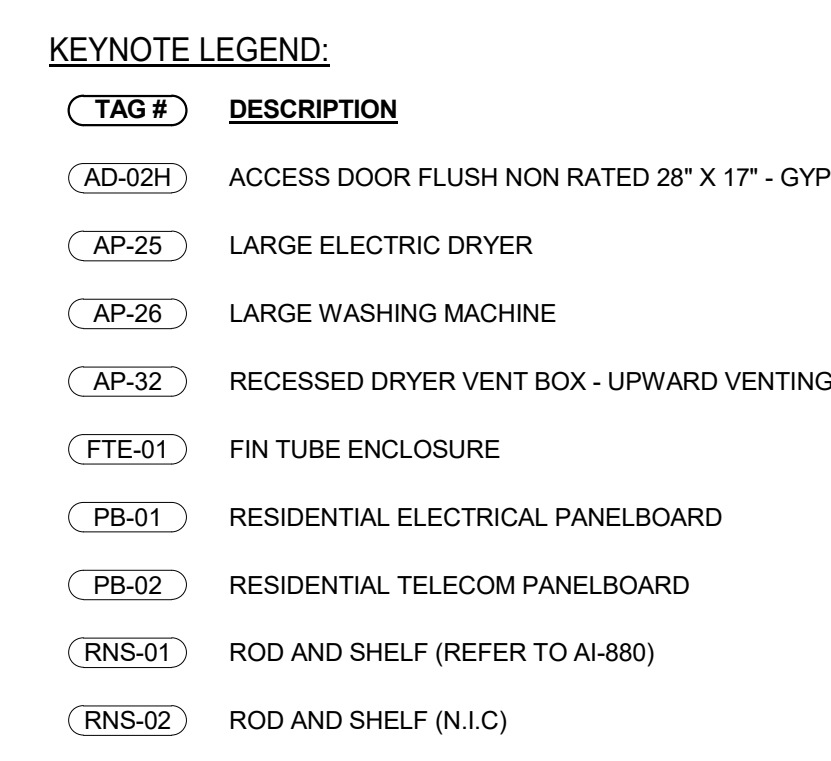
SCALE: As Indicated

DWG No: A-143.02

DOB PAGE No: 116 of 454

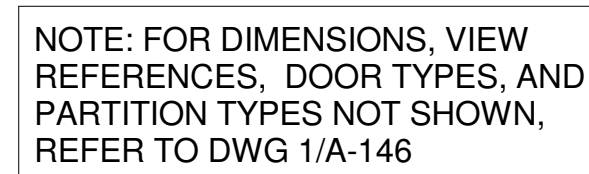
DOB 5-SCAN:

PARTIAL PLAN
 1/4" = 1'-0"



39 West 37th Street, 12A New York, NY 10018 TEL: 212 759 6462 FAX: 212 759 6540		
No.	DESCRIPTION	DATE

[illegible]



71	DASHED LINE DENOTES EXTENT OF 6" HIGH C/P. CONCRETE CURB WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.
72	CURB TO ADJOIN A PATH OF TRAVEL, TO BE LOCATED WITH WARNING STRIPS DASHED LINE DENOTES EXTENT OF 6" HIGH C/P. CONCRETE CURB WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.
73	DASHED LINE DENOTES EXTENT OF 6" HIGH CEMENT BOARD BASE CURB. REFER TO SECTION DETAIL 101, ON SHEET (A-574).
74	CONCRETE HOUSING/KEEPING PAD, HEIGHT, SIZE AND LOCATION TO BE COORDINATED WITH MECHANICAL DRAWINGS.
77	TOP OF EXISTING STRUCT. SLAB OUT CUT FOR FLOOR RECESSED SLIDING DOOR TRACK CASE CONSTRUCTION IS COMPLETE. EDGE OF SLAB IS 1" FROM FACE OF GLASS UNLESS OTHERWISE STATED AND/or NOT BY WALL CONDITIONS.
78	TEMPORARY SEAM WALL OPENINGS REQUIRED BY THE CONTRACTOR TO COMPLETE INSTALLATION TO BE IN PLACE TO MATCH THE WALL DISBURSMENTS INCLUDING BUT NOT LIMITED TO FIRE RATING, ACoustIC PROPERTY, THERMAL PROPERTY, AIR VAPOR MEMBRANE.
81	ALL SLEEVES SHOULD EXTEND TO THE CURB HEIGHT IN ROOMS WITH CURBS FOR FLOOR TO FLOOR WATERPROOFING.

<u>TAG #</u>	<u>DESCRIPTION</u>
AD-02H1	ACCESS DOOR FLUSH NON RATED 28" X 17" - GYP
AP-23	COMPACT ELECTRIC DRYER
AP-24	COMPACT WASHING MACHINE
AP-32	RECESSED DRYER VENT BOX - UPWARD VENTING
FTE-01	FIN TUBE ENCLOSURE
PB-01	RESIDENTIAL ELECTRICAL PANELBOARD
PB-02	RESIDENTIAL TELECOM PANELBOARD
RNS-01	ROD AND SHELF (REFER TO AI-880)
RNS-02	ROD AND SHIELD (N.I.C)

DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
TEL: 212 212 6000 FAX: 212 212 9100

DESIGN ARCHITECT: **Basic Building Shell & Core**
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROIE STREET SUITE 2300
CHICAGO, IL 60663
TEL: 312 820 1888 FAX: 312 820 1775

INTERIOR DESIGNER: **Rotter Architecture and Design Studio, PLLC**
256 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 999 7000 FAX:

ARCHITECT OF RECORD: **Basic Building Shell, Core, & Residential**
ADRIAN SMITH + GORDON GILL ARCHITECTS P.C.
401 Wellington St W., 3rd Floor
Toronto, ON M5V 1K7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEER: **WSP CANOT SENIUR**
228 East 45th Street
New York, NY 10017 USA
TEL: 212 697 9888 FAX: 646 487 5501

MEP ENGINEER: **AKF GROUP**
165 Broadway, 2nd Floor
New York, NY 10006 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEER: **Langman Engineering & Environmental Services**
21 Penn Plaza, 560 West 31st Street, 8th Floor
New York, NY 10001-2727
TEL: 212 475 5400 FAX: 212 479 5444

CORE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1811

CURTAINWALL CONSULTANT: **AJLP Consulting**
40 Wall Street, Suite B26
New York, NY 10013
TEL: 212 769 8452 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hind Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6460

No.	DESCRIPTION	DATE
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D.O.B. SUBMISSION

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CONSULTANT



PROJECT:


217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

29TH FLOOR PLAN (RESIDENT
TIER 2) (MFD-54TH FLOOR

SEAL & SIGNATURE:	DATE:	15 OCT 14
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	PROJECT No: 1216-00	
	DATE: 12/16/00	

	DRAWN: Author		REV:
	DATE:		

CHK: Checker 11

SCALE: 1/4" = 1'-0"

 DWG No: **A 145 00**

STAT No. 028881 **A-145.02**

DOB PAGE No: 118 of 454

DOB EMPLOYEE STAMP:	DOB B-SCAN:
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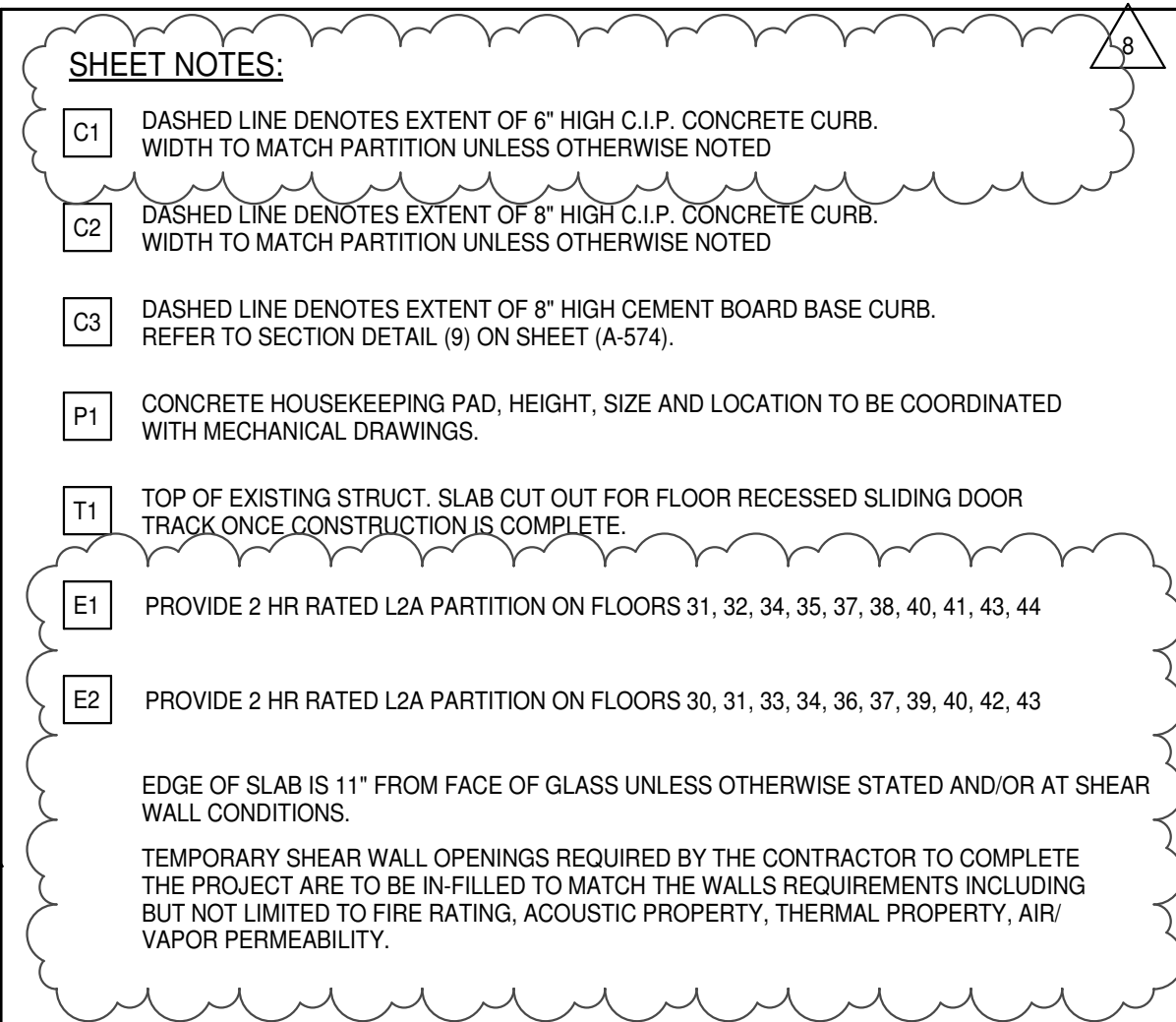
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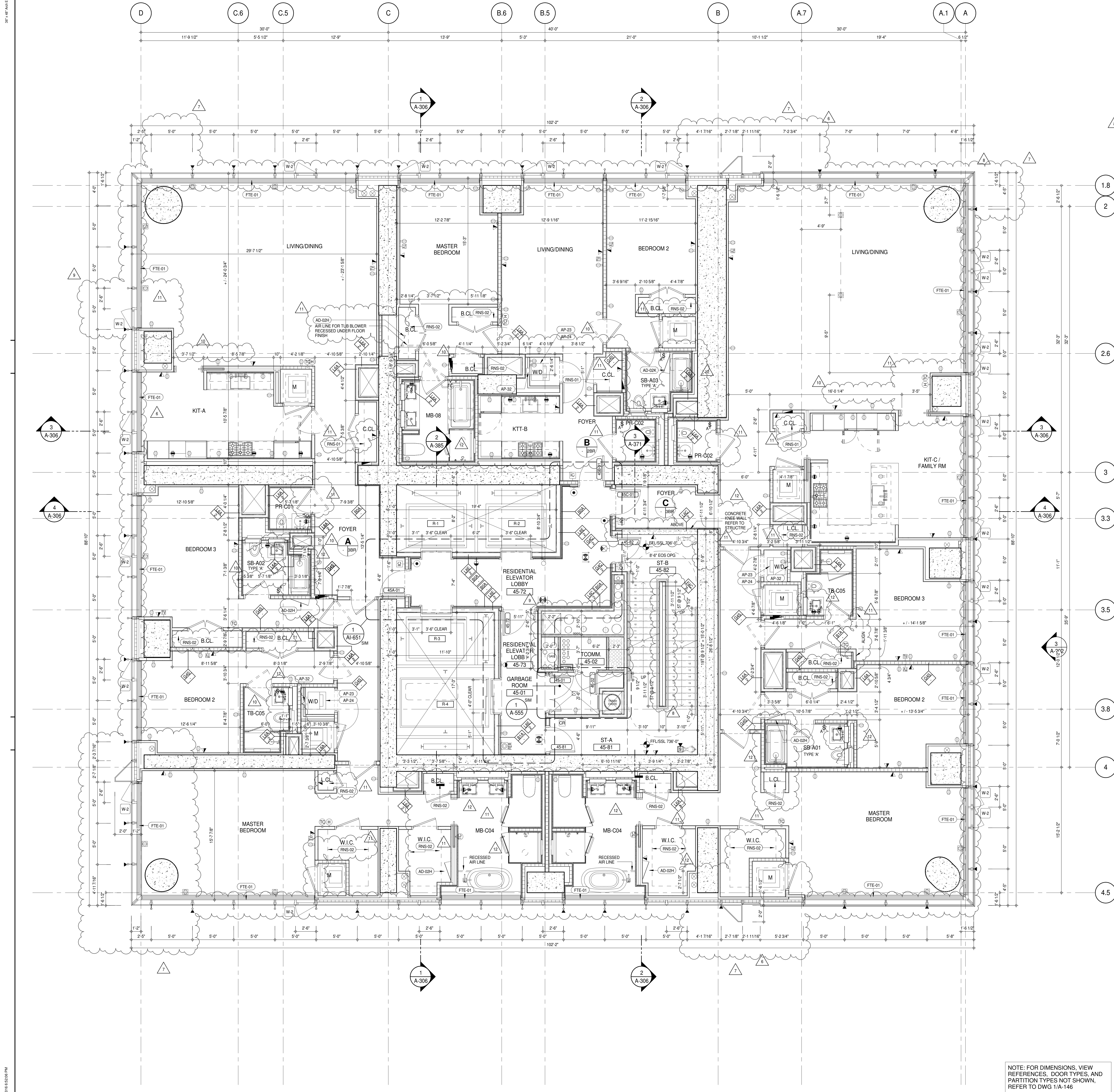


<u>KEYNOTE LEGEND:</u>	
<u>TAG #</u>	<u>DESCRIPTION</u>
<u>AD-02H</u>	ACCESS DOOR FLUSH NON RATED 28" X 17" - GYP
<u>AD-02K</u>	ACCESS DOOR FLUSH NON RATED 28" X 14" - STONE
<u>AP-23</u>	COMPACT ELECTRIC DRYER
<u>AP-24</u>	COMPACT WASHING MACHINE
<u>AP-32</u>	RECESSED DRYER VENT BOX - UPWARD VENTING
<u>FTE-01</u>	FIN TUBE ENCLOSURE
<u>PB-01</u>	RESIDENTIAL ELECTRICAL PANELBOARD
<u>PB-02</u>	RESIDENTIAL TELECOM PANELBOARD
<u>RHS-01</u>	ROD AND SHELF (REFER TO A1-880)
<u>RHS-02</u>	ROD AND SHELF (N.I.C)

<u>LEVEL</u>	<u>CORE ROOM ASSIGNMENT</u>
44	ELECTRICAL CLOSET
43	FIRE ALARM CLOSET
42	TELECOM ROOM
41	ELECTRICAL CLOSET
40	FIRE ALARM CLOSET
39	TELECOM ROOM
38	ELECTRICAL CLOSET
37	FIRE ALARM CLOSET
36	TELECOM ROOM
35	ELECTRICAL CLOSET
34	FIRE ALARM CLOSET
33	TELECOM ROOM
32	ELECTRICAL CLOSET
31	FIRE ALARM CLOSET
30	TELECOM ROOM

RECEIVED AS: A 123 CD PROCEEDINGS OF THE 2003 MAR 25

<p>KEY PLAN:</p> <div style="display: flex; align-items: center;"> <div style="margin-left: 20px;"> <p>PROJECT 865</p> <p>WEST 56TH ST</p> <p>WEST 57TH ST</p> </div> </div>			
<p>PROJECT NORTH</p>		<p>TRUE NORTH</p>	
<p>DEVELOPER:</p> <p>EXTELL DEVELOPMENT COMPANY 805 THIRD AVENUE, 7TH FLOOR New York, NY 10022 USA TEL: 212 712-6000 FAX: 212 712-6100</p>			
<p>DESIGN ARCHITECT: Base Building Shell & Core ADRIAN SMITH + GORDON GILL ARCHITECTURE 111 WEST MONROE STREET SUITE 2209 CHICAGO, IL 60693 TEL: 312 820 1888 FAX: 312 820 1775</p>			
<p>INTERIOR DESIGNER: Residential Rottet Architecture and Design Studio, PLLC 298 Fifth Ave, 7th Floor New York, NY 10001 TEL: 646 385 7000 FAX: 212 476 5501</p>			
<p>ARCHITECT OF RECORD: Base Building Shell, Core, & Residential AAI ARCHITECTS, P.C. 401 Wellington St. W., 3rd Floor Toronto, ON M5V 1E7 Canada TEL: 416 967 1500 FAX: 416 967 7150</p>			
<p>STRUCTURAL ENGINEERS: WSP CANTOR SEINUK 228 East 45th Street New York, NY 10017 USA TEL: 212 687 9888 FAX: 646 487 5501</p>			
<p>MEP ENGINEERS: AKF GROUP 165 Broadway, 22nd Floor New York, NY 10005 USA TEL: 212 354 5656 FAX: 212 354 5668</p>			
<p>GEOTECHNICAL ENGINEERS: Langan Engineering & Environmental Services 21 Penn Plaza - 360 West 31st Street, 6th Floor New York, NY 10001-2727 TEL: 212 478 5400 FAX: 212 479 5444</p>			
<p>CODE CONSULTANTS: Construction Consulting Associates 100 Church Street New York, NY 10007 TEL: 212 385 1818 FAX: 212 385 1911</p>			
<p>CURTAINWALL CONSULTANT: AJLP Consulting 40 Worth Street, Suite 826 New York, NY 10013 TEL: 212 757 5659 FAX: 646 219 8508</p>			
<p>LANDMARK/PRESERVATION CONSULTANT: Jan Hird Pokorny Associates, Inc. 39 West 57th Street, 12A New York, NY 10018 TEL: 212 759 6462 FAX: 212 759 6540</p>			
No.	DESCRIPTION	DATE	
1	CD PROGRESS ISSUE 2	19 DEC 14	
2	D.O.B. SUBMISSION	18 FEB 15	
3	CD PROGRESS ISSUE 3	09 MAR 15	
4	D.O.B. SUBMISSION	27 APR 15	
5	CD PROGRESS ISSUE 4	01 JUN 15	
4	CD PROGRESS ISSUE 5	10 AUG 15	
	D.O.B. AMENDMENT 2	21 SEP 15	
6	CD PROGRESS ISSUE 6	02 NOV 15	
7	CD PROGRESS ISSUE 7	29 JAN 16	
8	CD ISSUE 8 - GMP SET	31 MAR 16	
9	CD BULLETIN ISSUE - 2	11 MAY 16	
10	CD BULLETIN ISSUE - 5	12 AUG 16	
11	CD BULLETIN ISSUE - 7	14 SEP 16	
	D.O.B. AMENDMENT 3	03 OCT 16	
<p style="text-align: center;">0' 2'-0" 4'-0" 6'-0"</p>			
<p>D.O.B. SUBMISSION</p>			
<p>Discrepancies must be reported immediately to the Architect before proceeding. Only graphic dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.</p>			
<p>ALL DIMENSIONS ARE SHOWN IN IMPERIAL.</p>			
<p>CONSULTANT:</p> <div style="text-align: center;"> <p>AAI ARCHITECTS, P.C.</p> </div>			
<p>PROJECT:</p> <p>217 WEST 57TH STREET NEW YORK, NY</p>			
<p>DRAWING TITLE:</p> <p>30TH-44TH FLOOR PLAN (RESIDENTIAL - TIER 2) (MFD-55TH-69TH FLOOR)</p>			
<p>SEAL & SIGNATURE:</p>		<p>DATE: 19 DEC 14</p> <p>PROJECT No: 1216-00</p> <p>DRAWN: Author</p> <p>CHECKED: Checker</p> <p>SCALE: 1/4" = 1'-0"</p> <p>DWG No:</p> <p style="font-size: 2em; font-weight: bold;">A-146.02</p> <p>DOB PAGE No: 119 of 454</p>	
<p>DOB EMPLOYEE STAMP:</p>		<p>DOB B-SCAN:</p>	



SHEET NOTES:

01 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

02 ALL CURBS AT ROOMWAYS & PATH OF TRAVEL TO BE PAINTED WITH WARNING STRIPS.

03 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

04 DASHED LINE DENOTES EXTENT OF 6" HIGH CEMENT BOARD BASE CURB. REFER TO SECTION DETAIL (B) ON SHEET (A-574).

05 CONCRETE HOUSEKEEPING PAD. HEIGHT, SIZE AND LOCATION TO BE COORDINATED WITH MECHANICAL DRAWINGS.

11 TOP OF EXISTING STRUCT. SLAB CUT OUT FOR FLOOR RECESSED SLIDING DOOR TRACK ONCE CONSTRUCTION IS COMPLETE.

EDGE OF SLAB IS 11" FROM FACE OF GLASS UNLESS OTHERWISE STATED AND/OR AT SHEAR WALL CONDITIONS.

TEMPORARY SHEAR WALL OPENINGS REQUIRED BY THE CONTRACTOR TO COMPLETE THE PROJECT ARE TO BE FILLED TO MATCH THE WALLS REQUIREMENTS INCLUDING BUT NOT LIMITED TO FIRE RATING, ACOUSTIC PROPERTY, THERMAL PROPERTY, AIR VAPOR PERMEABILITY.

ALL SLEEVES SHOULD EXTEND TO MATCH CURB HEIGHT IN ROOMS WITH CURBS FOR TERMINATION OF WATERPROOFING SYSTEM.

KEYNOTE LEGEND:

TAG # DESCRIPTION

AD-02H ACCESS DOOR FLUSH NON RATED 28" X 17" - GYP

AD-02K ACCESS DOOR FLUSH NON RATED 28" X 14" - STONE

AP-23 COMPACT ELECTRIC DRYER

AP-24 COMPACT WASHING MACHINE

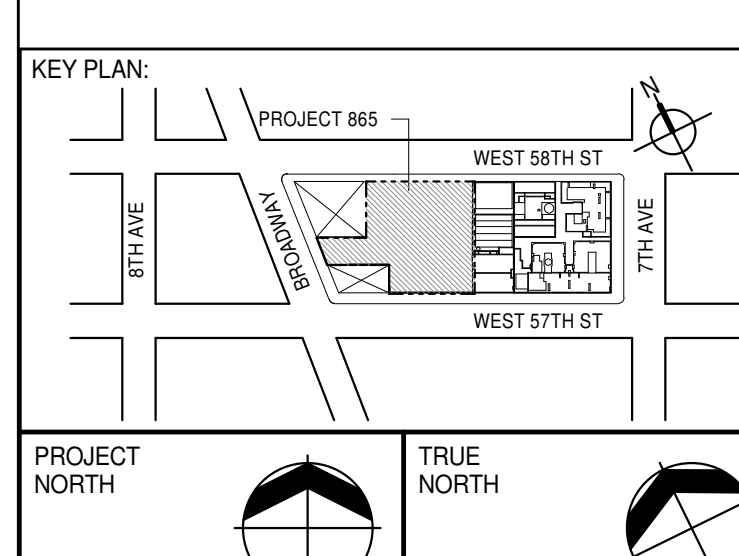
AP-32 RECESSED DRYER VENT BOX - UPWARD VENTING

FTE-01 FIN TUBE ENCLOSURE

RNS-01 ROD AND SHELF (REFER TO A1-880)

RNS-02 ROD AND SHELF (N.I.C.)

NOTE: FOR DIMENSIONS, VIEW REFERENCES, DOOR TYPES, AND PARTITION TYPES NOT SHOWN, REFER TO DWG 1/A-146



DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: **Base Building Shell & Core**
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: **Residential**
Rottet Architecture and Design Studio, PLLC
298 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: **Base Building Shell, Core, & Residential**
AAI ARCHITECTS, P.C.
401 Westchester St., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEER: **VSP CANTOR SEINUK**
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 887 8888 FAX: 646 487 5501

MEP ENGINEERS: **AKF GROUP**
165 Broadway, 22nd Floor
New York, NY 10008 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS: **Langan Engineering & Environmental Services**
21 Penn Plaza - 300 West 57th Street, 9th Floor
New York, NY 10001-2722
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS: **Construction Consulting Associates**
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT: **AJLP Consulting**
40 Worth Street, Suite 806
New York, NY 10013
TEL: 212 757 6650 FAX: 646 219 8508

LANDMARK PRESERVATION CONSULTANT: **Jan Hird Pokorny Associates, Inc.**
39 West 57th Street, 12A
New York, NY 10019
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	CD PROGRESS ISSUE 5	10 AUG 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	D.O.B. AMENDMENT 3	11 MAY 16
13	CD BULLETIN ISSUE - 5	12 AUG 16
14	CD BULLETIN ISSUE - 7	14 SEP 16
15	D.O.B. AMENDMENT 3	03 OCT 16

0 2'-0" 4'-0" 8'-0"

D.O.B. SUBMISSION

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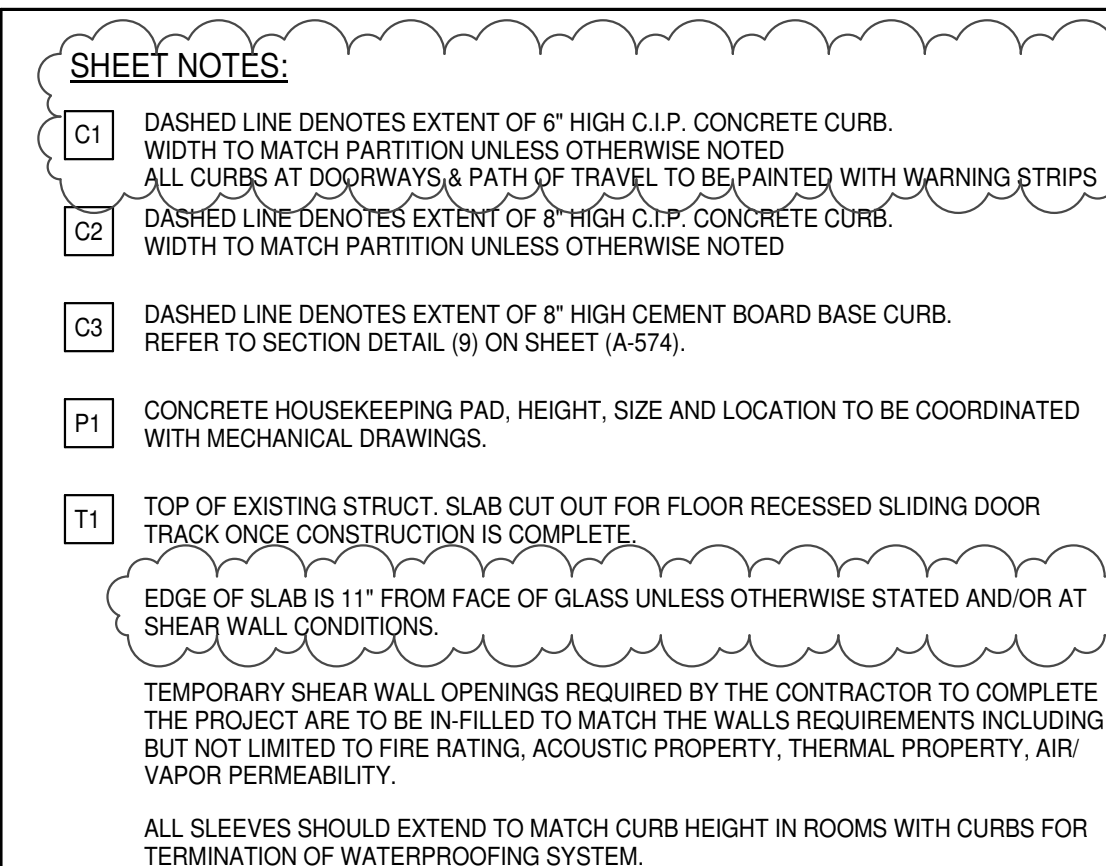
ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT: **AAI ARCHITECTS, P.C.**

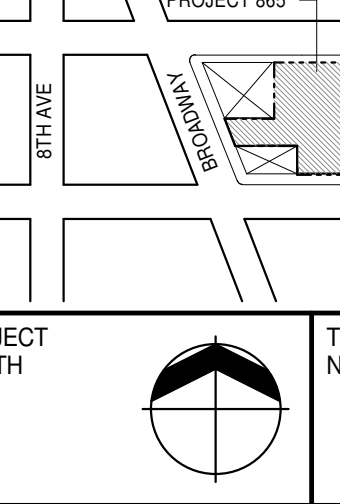


PROJECT: **217 WEST 57TH STREET
NEW YORK, NY**

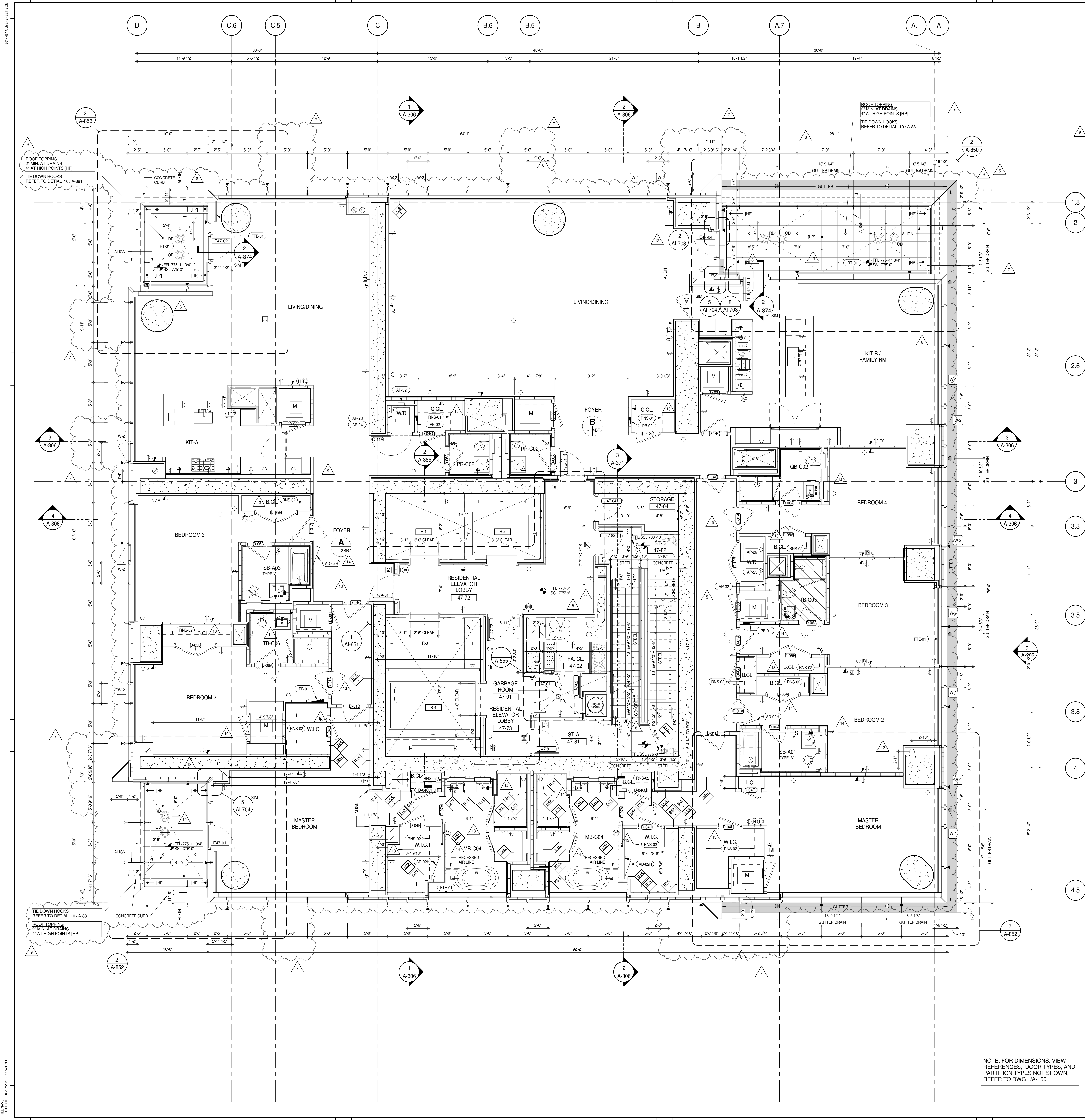
DRAWING TITLE: **45TH FLOOR PLAN (RESIDENTIAL - TIER 2) (MFD-70TH FLOOR)**

SEAL & SIGNATURE: **DAVID L. LAMORE**
REGISTERED ARCHITECT
DATE: 15 OCT 14
PROJECT No: 1216-00
DRAWN: Author
CHECKED: 12
SCALE: 1/4" = 1'-0"
DWG No: A-147.02
DOB PAGE No: 199 of 454
DOB 5-SIGN: 1216-00



00 MAR 1961

KEY PLAN:	
	
PROJECT NORTH	TRUE NORTH
DEVELOPER:	
EXTEL DEVELOPMENT COMPANY 85 THIRD AVENUE, 7TH FLOOR New York, NY 10022 USA TEL: 212 712 6000 FAX: 212 712 6100	
DESIGN ARCHITECT:	
Base Building Shell & Core ADRIAN SMITH + GORDON GILL ARCHITECTURE 111 WEST MONROE STREET SUITE 300 CHICAGO IL 60603 TEL: 312 920 1888 FAX: 312 920 1775	
INTERIOR DESIGNER:	
Residential Rottet Architecture and Design Studio, PLLC 298 Fifth Ave., 7th Floor New York, NY 10001 TEL: 646 598 7000 FAX: _____	
ARCHITECT OF RECORD:	
Base Building P.C. Core, & Residential AAI Architects, P.C. 401 Wellington St. W. 3rd Floor Toronto, ON M5T 1P7 Canada TEL: 416 987 1500 FAX: 416 987 1750	
STRUCTURAL ENGINEERS:	
WSP CANTOR SEINUK 228 East 45th Street New York, NY 10017 USA TEL: 646 687 9888 FAX: 646 487 5501	
MEP ENGINEERS:	
AKF GROUP 165 Broadway, 22nd Floor New York, NY 10005 USA TEL: 212 354 5656 FAX: 212 354 5668	
GEOTECHNICAL ENGINEERS:	
Langan Engineering & Environmental Services 21 Penn Plaza - 560 West 31st Street, 8th Floor New York, NY 10001-2727 TEL: 416 597 5400 FAX: 212 479 5444	
CODE CONSULTANTS:	
Construction Consulting Associates 100 Church Street New York, NY 10007 TEL: 212 385 1918 FAX: 212 385 1911	
CURTAINWALL CONSULTANT:	
ALJP Consulting 401 Worth Street, Suite S26 New York, NY 10013 TEL: 212 757 5659 FAX: 646 219 8608	
LANDMARK PRESERVATION CONSULTANT:	
Jan Had Pskorny Associates, Inc. 100 West 37th Street, 4th Floor New York, NY 10018 TEL: 212 759 6462 FAX: 212 759 6540	
No.	DESCRIPTION
1	CD PROGRESS ISSUE 1
2	CD PROGRESS ISSUE 2
3	D.O.B. SUBMISSION
4	CD PROGRESS ISSUE 3
5	D.O.B. SUBMISSION
6	CD PROGRESS ISSUE 4
7	D.O.B. AMENDMENT 2
8	CD PROGRESS ISSUE 6
9	CD PROGRESS ISSUE 7
10	CD ISSUE 8 - GMP SET
11	CD BULLETIN ISSUE - 1
12	CD BULLETIN ISSUE - 2
13	CD BULLETIN ISSUE - 4
14	CD BULLETIN ISSUE - 5
15	D.O.B. AMENDMENT 3
16	CD PROGRESS ISSUE 5
17	CD PROGRESS ISSUE 1
18	CD PROGRESS ISSUE 2
19	D.O.B. SUBMISSION
20	CD PROGRESS ISSUE 3
21	D.O.B. SUBMISSION
22	CD PROGRESS ISSUE 4
23	D.O.B. AMENDMENT 2
24	CD PROGRESS ISSUE 6
25	CD PROGRESS ISSUE 7
26	CD ISSUE 8 - GMP SET
27	CD BULLETIN ISSUE - 1
28	CD BULLETIN ISSUE - 2
29	CD BULLETIN ISSUE - 4
30	CD BULLETIN ISSUE - 5
31	D.O.B. AMENDMENT 3
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CONSULTANT:	
 AAI ARCHITECTS, P.C.	
PROJECT:	
217 WEST 57TH STREET NEW YORK, NY 3	
DRAWING TITLE:	
46TH FLOOR PLAN (MECHANICAL) (MFD-71ST FLOOR)	
SEAL & SIGNATURE:	DATE: 15 OCT 12
	PROJECT No: 1216
	DRAWN: AUTHOR
	SCALE: 1/4" = 1'-0"
	DWG No: 14
A-148.02	
DOE PAGE No: 121 of 454	
DOE EMPLOYEE STAMP: DOB B-SCAN	



SHEET NOTES:

C1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

C2 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

C3 DASHED LINE DENOTES EXTENT OF 6" HIGH CONCRETE BOARD BASE CURB. REFER TO SECTION DETAIL (B) ON SHEET (A-574).

P1 CONCRETE HOUSEKEEPING PAD. HEIGHT, SIZE AND LOCATION TO BE COORDINATED WITH MECHANICAL DRAWINGS.

T1 TOP OF EXISTING STRUCT. SLAB CUT OUT FOR FLOOR RECESSED SLIDING DOOR TRACK. ONCE CONSTRUCTION IS COMPLETE.

E1 EDGE OF SLAB IS 1" FROM FACE OF GLASS UNLESS OTHERWISE STATED AND/OR AT SHEAR WALL CONDITIONS.

TEMPORARY SHEAR WALL OPENINGS REQUIRED BY THE CONTRACTOR TO COMPLETE THE PROJECT ARE TO BE FILLED TO MATCH THE WALLS REQUIREMENTS INCLUDING BUT NOT LIMITED TO FIRE RATING, ACOUSTIC PROPERTY, THERMAL PROPERTY, AIR VAPOR PERMEABILITY.

ALL SLEEVES SHOULD EXTEND TO MATCH CURB HEIGHT IN ROOMS WITH CURBS FOR TERMINATION OF WATERPROOFING SYSTEM.

KEYNOTE LEGEND:

TAG #	DESCRIPTION
AD-02H	ACCESS DOOR FLUSH NON RATED 28" X 17" - GYP
AP-23	COMPACT ELECTRIC DRYER
AP-24	COMPACT WASHING MACHINE
AP-25	LARGE ELECTRIC DRYER
AP-26	LARGE WASHING MACHINE
AP-32	RECESSED DRYER VENT BOX - UPWARD VENTING
FTE-01	FIN TUBE ENCLOSURE
PB-01	RESIDENTIAL ELECTRICAL PANELBOARD
PB-02	RESIDENTIAL TELECOM PANELBOARD
RNS-02	ROD AND SHELF (REFER TO AI-880)
RNS-02	ROD AND SHELF (N.I.C.)
RT-01	FLUID MEMBRANE WITH CONCRETE PAVERS - TYPE 1

NOTE: FOR DIMENSIONS, VIEW REFERENCES, DOOR TYPES, AND PARTITION TYPES NOT SHOWN, REFER TO DWG 1/A-150

KEY PLAN

PROJECT #10

TRUE NORTH

PROJECT NORTH

DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT:
Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER:
Residential
Rottet Architecture and Design Studio, PLLC
288 Fifth Ave., 7th Floor
New York, NY 10001
TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD:
Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
401 Westchester St., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
VSP CANTOR SEINUK
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 887 2885 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
165 Broadway, 22nd Floor
New York, NY 10005 USA
TEL: 212 354 5655 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 360 West 51st Street, 9th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1918 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 806
New York, NY 10013
TEL: 212 757 6650 FAX: 646 219 8508

LANDMARK PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 57th Street, 12A
New York, NY 10019
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
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15	CD BULLETIN ISSUE - 4	12 AUG 16
16	CD BULLETIN ISSUE - 5	14 SEP 16
17	D.O.B. AMENDMENT 3	03 OCT 16

0' 2'-0" 4'-0" 8'-0"

D.O.B. SUBMISSION

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ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:

AAI
ARCHITECTS, P.C.

PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
47TH FLOOR PLAN (RESIDENTIAL - TIER 3) (MFD-77TH FLOOR)

SEAL & SIGNATURE:
DAVID L. LAMORE

DATE: 15 OCT 14

PROJECT No: 1216-00

DRAWN: Author

CHECKED: Checker

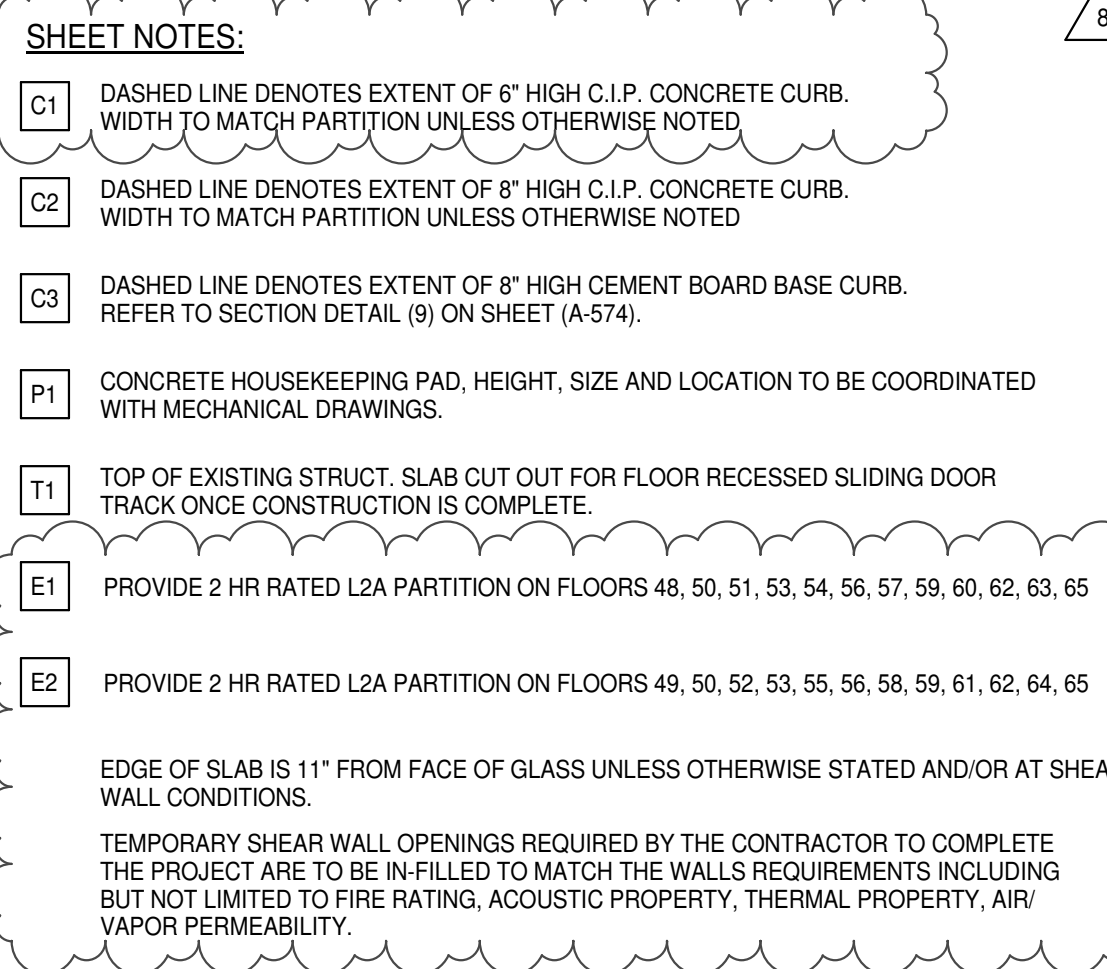
SCALE: 1/4" = 1'-0"

DWG No: **A-149.02**

DOB PAGE No: 123 of 454

DOB EMPLOYEE STAMP:

DOB S-SCAN:



TAG #	DESCRIPTION
AD-23H	ACCESS DOOR FLUSH NON RATED 28" X 17" - GYP
AP-20	COMPACT ELECTRIC DRYER
AP-24	COMPACT WASHING MACHINE
AP-25	LARGE ELECTRIC DRYER
AP-26	LARGE WASHING MACHINE
AP-32	RECESSED DRYER VENT BOX - UPWARD VENTING
FTE-01	FIN TUBE ENCLOSURE
PB-01	RESIDENTIAL ELECTRICAL PANELBOARD
PB-02	RESIDENTIAL TELECOM PANELBOARD
RHS-01	ROO AND SHELF (REFER TO A-800)
RHS-02	ROO AND SHELF (N.I.C)

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

D.O.B. SUBMISSION

AAI

PROJECT:

NEW YORK, NY

48TH-65TH FLOOR PLAN (RESIDENTIAL)

- TIER 3) (MFD-78TH-95TH FLOOR)

SEAL & SIGNATURE:	DATE:	19 DEC 14
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	PROJECT No: 1216-00	
	DESIGN: Author	DATE:

	DRAWN: Auditor	REV:
	CHK: Checker	13

SCALE: 1/4" = 1'-0"

 DWG No: **A 150 02**

No. 028881
STATE OF NEW YORK

DOB PAGE No: 123 of 454	
DOB EMPLOYEE STAMP:	DOB B-SCAN:

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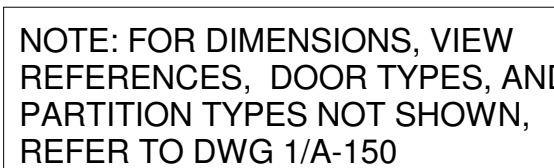
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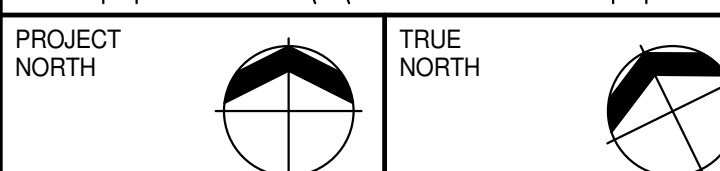
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<div data-bbox="2183 99 2191 107" style="border: 1px solid black; width: 25px; height: 25px; display: flex; align-items: center; justify-content: center;"> <div data-bbox="2183 99 2191 107" style="border: 1px solid black; width: 10px; height: 10px;"></div> </div>	<p>DASHED LINE EXTENTS DEPTH OF 6" HIGH CURB. CONCRETE CURB WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.</p> <p>CONCRETE CURB TO BE PAINTED WITH WARNING STRIPS</p> <p>DASHED LINE EXTENTS DEPTH OF 6" HIGH CURB. CONCRETE CURB WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.</p>
<div data-bbox="2183 125 2191 131" style="border: 1px solid black; width: 25px; height: 25px; display: flex; align-items: center; justify-content: center;"> <div data-bbox="2183 125 2191 131" style="border: 1px solid black; width: 10px; height: 10px;"></div> </div>	<p>DASHED LINE EXTENTS DEPTH OF 8" HIGH CEANBOARD BASE CURB. REFER TO SECTION DETAIL (9) ON SHEET A-574.</p>
<div data-bbox="2183 148 2191 157" style="border: 1px solid black; width: 25px; height: 25px; display: flex; align-items: center; justify-content: center;"> <div data-bbox="2183 148 2191 157" style="border: 1px solid black; width: 10px; height: 10px;"></div> </div>	<p>MECHANICAL HOUSING/PAK, HEIGHT, SIZE AND LOCATION TO BE COORDINATED WITH CONCRETE DRAWINGS.</p>
<div data-bbox="2183 174 2191 181" style="border: 1px solid black; width: 25px; height: 25px; display: flex; align-items: center; justify-content: center;"> <div data-bbox="2183 174 2191 181" style="border: 1px solid black; width: 10px; height: 10px;"></div> </div>	<p>TOP OF EXISTING STRUT. SLAB CUT OFF FOR FLOOR RECESSED SLIDING DOOR THRESHOLD CONSTRUCTION TO COMPLETE.</p> <p>EDGE OF SLAB 31" FROM FACE OF GLASS UNLESS OTHERWISE STATED AND/OR AT SHEAR WALL CONNECTION.</p>
<div data-bbox="2183 198 2191 204" style="border: 1px solid black; width: 25px; height: 25px; display: flex; align-items: center; justify-content: center;"> <div data-bbox="2183 198 2191 204" style="border: 1px solid black; width: 10px; height: 10px;"></div> </div>	<p>TEMPORARY SHEAR WALL OPENINGS REQUIRED BY THE CONTRACTOR TO COMPLY WITH PERMITS TO BE FOLLOEY TO MATCH THE WALL'S REQUIREMENTS INCLUDING BUT NOT LIMITED TO FIRE RATING, ACUSTIC PROPERTY, THERMAL PROPERTY, AIR VAPOR RESISTANCE.</p>
<div data-bbox="2183 222 2191 230" style="border: 1px solid black; width: 25px; height: 25px; display: flex; align-items: center; justify-content: center;"> <div data-bbox="2183 222 2191 230" style="border: 1px solid black; width: 10px; height: 10px;"></div> </div>	<p>ALL SLEEVES SHOULD BE NOTED TO MATCH CURB HEIGHT IN ROOMS WITH CURBS FOR TERMINATION OF WATERPROOFING SYSTEM.</p>

TAG #	DESCRIPTION
AD-203	ACCESS DOOR FLUSH NON RATED 28" X 17" - GYP
AP-23	COMPACT ELECTRIC DRYER
AP-24	COMPACT WASHING MACHINE
AP-25	LARGE ELECTRIC DRYER
AP-26	LARGE WASHING MACHINE
AP-32	RECESSED DRYER VENT BOX - UPWARD VENTING
FTE-01	FIN TUBE ENCLOSURE
PB-01	RESIDENTIAL ELECTRICAL PANELBOARD
PB-02	RESIDENTIAL TELECOM PANELBOARD
RNS-01	ROD AND SHELF (REFER TO AI-800)
RNS-02	ROD AND SHELF (N.I.C)

<u>LEVEL</u>	<u>CORE ROOM ASSIGNMENT</u>
65	FIRE ALARM CLOSET
64	TELECOM ROOM
63	ELECTRICAL CLOSET
62	FIRE ALARM CLOSET
61	TELECOM ROOM
60	ELECTRICAL CLOSET
59	FIRE ALARM CLOSET
58	TELECOM ROOM
57	ELECTRICAL CLOSET
56	FIRE ALARM CLOSET
55	TELECOM ROOM
54	ELECTRICAL CLOSET
53	FIRE ALARM CLOSET
52	TELECOM ROOM
51	ELECTRICAL CLOSET
50	FIRE ALARM CLOSET
49	TELECOM ROOM
48	ELECTRICAL CLOSET



805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312.920.1888 FAX: 312.920.1775

Rottet Architecture and Design Studio, PLLC
298 Fifth Ave., 7th Floor
New York, NY 10001
TEL: 646.998.7000 FAX:

AAI ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

WSP CANTOR SEINUK
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 687 9888 FAX: 646 487 5501

AKF GROUP
165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5656 FAX: 212 354 5668

Langan Engineering & Environmental Services
21 Penn Plaza - 360 West 31st Street, 8th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

AJLP Consulting
40 Worth Street, Suite 826
New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508

Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 2	19 DEC 1
2	D.O.B. SUBMISSION	18 FEB 2
3	CD PROGRESS ISSUE 3	09 MAR 2
4	D.O.B. SUBMISSION	27 APR 1
4	CD PROGRESS ISSUE 4	01 JUN 1
5	CD PROGRESS ISSUE 5	10 AUG 1
	D.O.B. AMENDMENT 2	21 SEP 1
6	CD PROGRESS ISSUE 6	02 NOV 0
7	CD PROGRESS ISSUE 7	29 JAN 1
8	CD ISSUE 8 - GMP SET	31 MAR 1
9	CD BULLETIN ISSUE - 1	22 APR 1
10	CD BULLETIN ISSUE - 2	11 MAY 1
11	CD BULLETIN ISSUE - 5	12 AUG 1
12	CD BULLETIN ISSUE - 7	14 SEP 1
	D.O.B. AMENDMENT 3	03 OCT 1



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A A T

AAAI



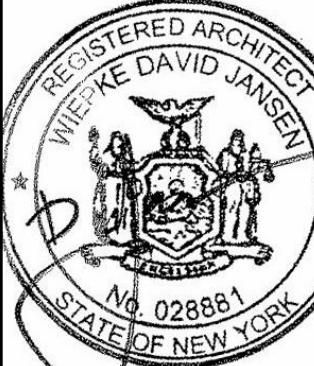
PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

66TH FLOOR PLAN (RESIDENTIAL -
TIER 3) (MFD-96TH FLOOR)

SEAL & SIGNATURE:	DATE:	19 DEC
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DATE:	19 DEC
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PROJECT No:	1216
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DRAWN: Author	REV:
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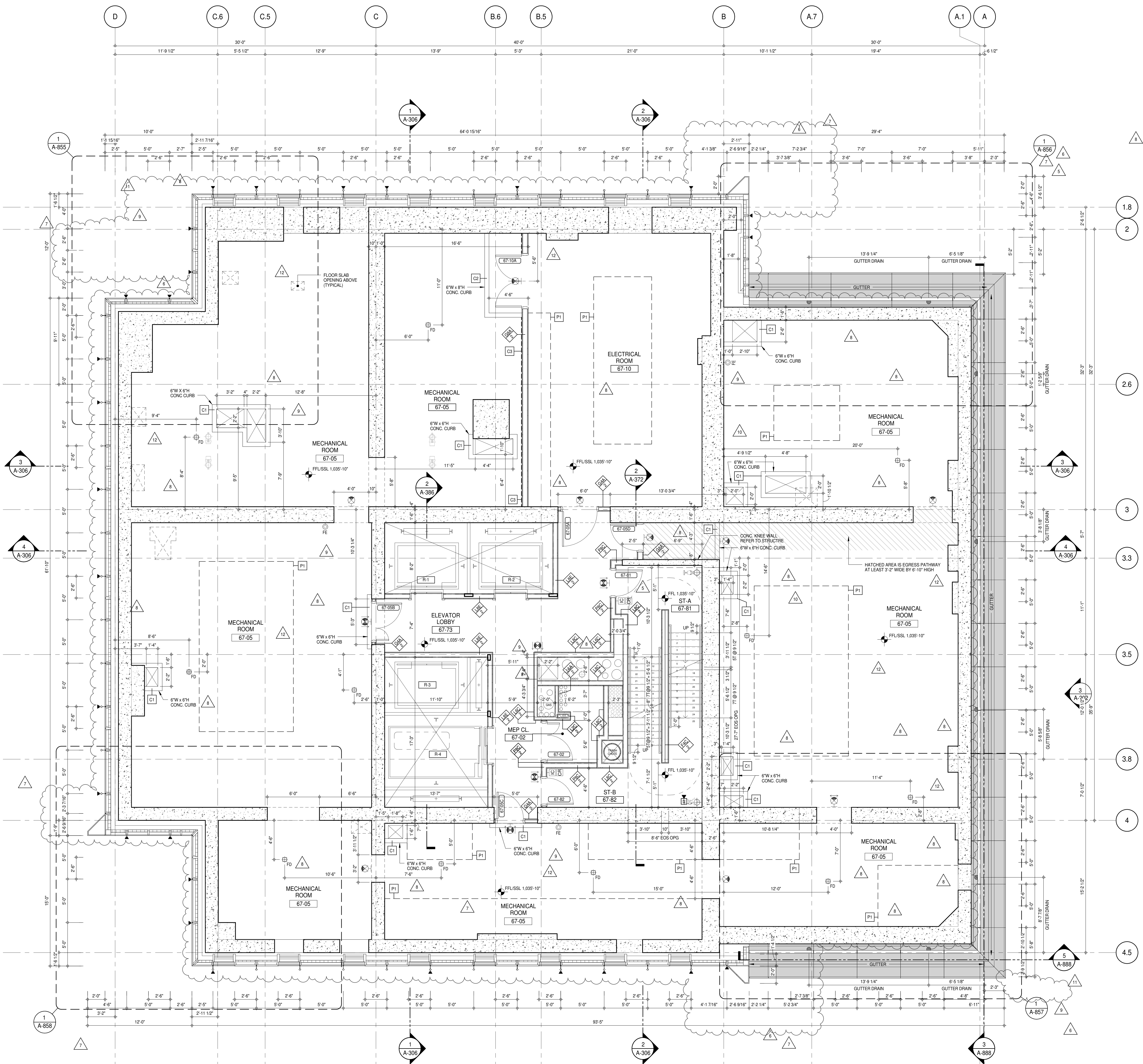
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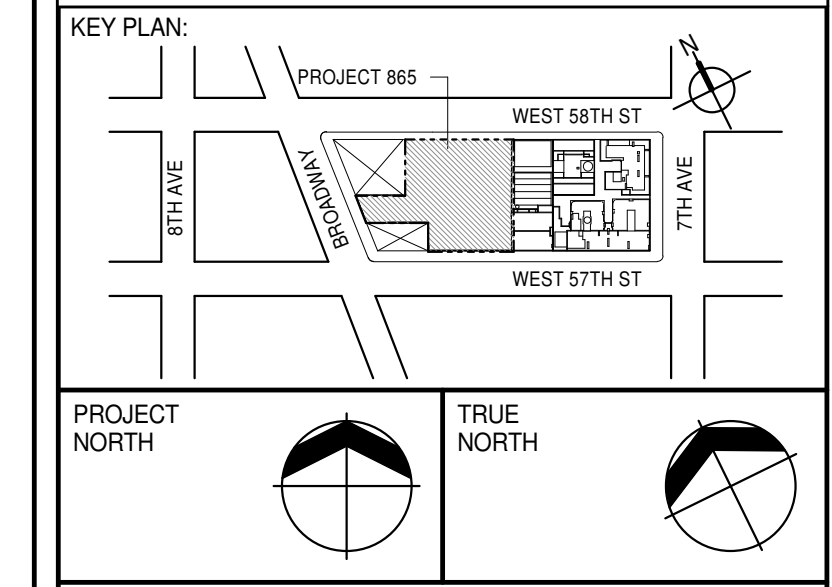
STATE OF NEW YORK
No. 028881
A-151.02

DOB PAGE No: 124 of 454



SHEET NOTES:

- C1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.
- C2 ALL CURBS AT DOORWAYS & PATH OF TRAVEL TO BE PAINTED WITH WARNING STRIPS.
- C3 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.
- P1 CONCRETE HOUSEKEEPING PAD. HEIGHT, SIZE AND LOCATION TO BE COORDINATED WITH MECHANICAL DRAWINGS.
- T1 TOP OF EXISTING STRUCT. SLAB CUT OUT FOR FLOOR RECESSED SLIDING DOOR TRACK. ONCE CONSTRUCTION IS COMPLETE.
- E1 EDGE OF SLAB IS 11" FROM FACE OF GLASS UNLESS OTHERWISE STATED AND/OR AT SHEAR WALL CONDITIONS.
- T2 TEMPORARY SHEAR WALL OPENINGS REQUIRED BY THE CONTRACTOR TO COMPLETE THE PROJECT ARE TO BE FILLED TO MATCH THE WALLS REQUIREMENTS INCLUDING BUT NOT LIMITED TO FIRE RATING, ACOUSTIC PROPERTY, THERMAL PROPERTY, AIR VAPOR PERMEABILITY.
- S1 ALL SLEEVES SHOULD EXTEND TO MATCH CURB HEIGHT IN ROOMS WITH CURBS FOR TERMINATION OF WATERPROOFING SYSTEM.



PROJECT NORTH

DEVELOPER: EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
298 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
VSP CANTOR SEINUK
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 687 2885 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
165 Broadway, 22nd Floor
New York, NY 10005 USA
TEL: 212 354 5655 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 360 West 51st Street, 9th Floor
New York, NY 10001-2722
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 806
New York, NY 10013
TEL: 212 757 5550 FAX: 646 219 8508

LANDMARK-PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 57th Street, 12A
New York, NY 10019
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	CD PROGRESS ISSUE 5	10 AUG 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	D.O.B. AMENDMENT 3	03 OCT 16

ISSUED AS A-106: CD PROGRESS ISSUE 5 - 09 MAR 15

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	CD PROGRESS ISSUE 5	10 AUG 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	D.O.B. AMENDMENT 3	03 OCT 16

0' 2'-0" 4'-0" 8'-0"

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

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CONSULTANT:

AAI
ARCHITECTS, P.C.

PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

67TH FLOOR PLAN (MECHANICAL)
(MFD-9TH FLOOR)

DATE: 15 OCT 14

PROJECT No: 1216-10

DRAWN: Author

CHECKED: Checker

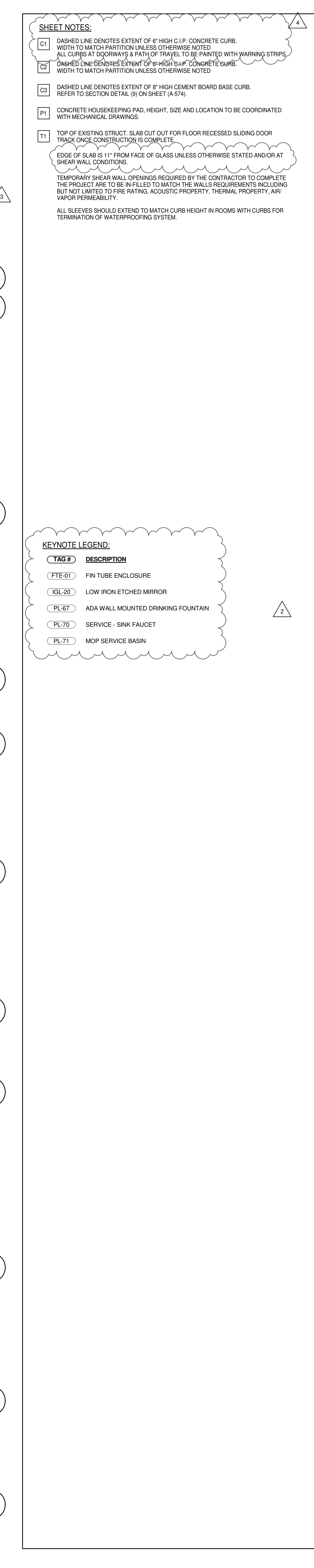
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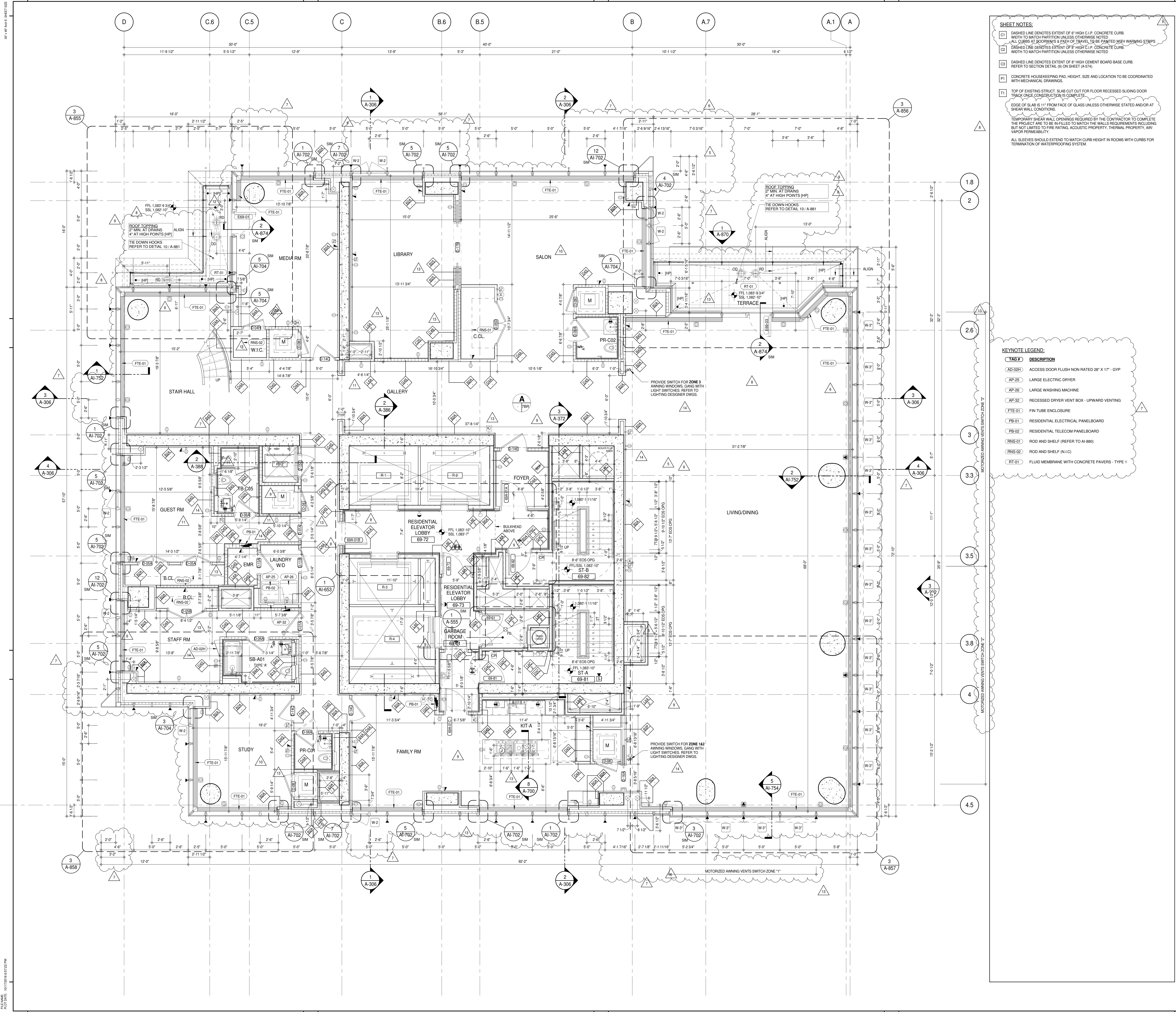
DWG No:

A-152.02

DOB PAGE No: 125 of 454

DOB 5-SCAN:





SHEET NOTES:

01 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

02 ALL CURBS AT ROOMWAYS & PATH OF TRAVEL TO BE PAINTED WITH WARNING STRIPS.

03 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

04 DASHED LINE DENOTES EXTENT OF 6" HIGH CONCRETE BOARD BASE CURB. REFER TO SECTION DETAIL (B) ON SHEET (A-574).

05 CONCRETE HOUSEKEEPING PAD. HEIGHT, SIZE AND LOCATION TO BE COORDINATED WITH MECHANICAL DRAWINGS.

11 TOP OF EXISTING STRUCT. SLAB CUT OUT FOR FLOOR RECESSED SLIDING DOOR TRACK. ONCE CONSTRUCTION IS COMPLETE.

EDGE OF SLAB IS 11" FROM FACE OF GLASS UNLESS OTHERWISE STATED AND/OR AT SHEAR WALL CONDITIONS.

TEMPORARY SHEAR WALL OPENINGS REQUIRED BY THE CONTRACTOR TO COMPLETE THE PROJECT ARE TO BE FILLED TO MATCH THE WALLS REQUIREMENTS INCLUDING BUT NOT LIMITED TO FIRE RATING, ACOUSTIC PROPERTY, THERMAL PROPERTY, AIR VAPOR PERMEABILITY.

ALL SLEEVES SHOULD EXTEND TO MATCH CURB HEIGHT IN ROOMS WITH CURBS FOR TERMINATION OF WATERPROOFING SYSTEM.

KEYNOTE LEGEND:

TAG #	DESCRIPTION
AD-024	ACCESS DOOR FLUSH NON RATED 26" X 17" - GYP
AP-25	LARGE ELECTRIC DRYER
AP-26	LARGE WASHING MACHINE
AP-32	RECESSED DRYER VENT BOX - UPWARD VENTING
FTE-01	FIN TUBE ENCLOSURE
PB-01	RESIDENTIAL ELECTRICAL PANELBOARD
PB-02	RESIDENTIAL TELECOM PANELBOARD
RNS-01	ROD AND SHELF (REFER TO A1-880)
RNS-02	ROD AND SHELF (N.I.C)
RT-01	FLUID MEMBRANE WITH CONCRETE PAVERS - TYPE 1

KEY PLAN:

PROJECT NORTH

TRUE NORTH

DEVELOPER:

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT:

Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER:

Residential
Rottet Architecture and Design Studio, PLLC
228 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD:

Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEER:

VSP CANTOR SEINUK
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 887 8888 FAX: 646 487 5501

MEP ENGINEERS:

AKF GROUP
165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:

Langan Engineering & Environmental Services
21 Penn Plaza - 360 West 51st Street, 9th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:

Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:

AJLP Consulting
40 Worth Street, Suite 806
New York, NY 10013
TEL: 212 757 5555 FAX: 646 219 8508

LANDMARK PRESERVATION CONSULTANT:

Jan Hird Pokorny Associates, Inc.
39 West 57th Street, 12A
New York, NY 10019
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
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2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	CD PROGRESS ISSUE 5	10 AUG 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	CD BULLETIN ISSUE - 1	22 APR 16
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15	CD BULLETIN ISSUE - 4	12 AUG 16
16	CD BULLETIN ISSUE - 5	14 SEP 16
17	D.O.B. AMENDMENT 3	03 OCT 16

0 2'-0" 4'-0" 8'-0"

D.O.B. SUBMISSION

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CONSULTANT:

AAI
ARCHITECTS, P.C.

PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

69TH FLOOR PLAN (RESIDENTIAL - TIER 4) (MFD-107TH FLOOR)

SEAL & SIGNATURE:

DATE: 15 OCT 14

PROJECT No: 1216-00

DRAWN: Author

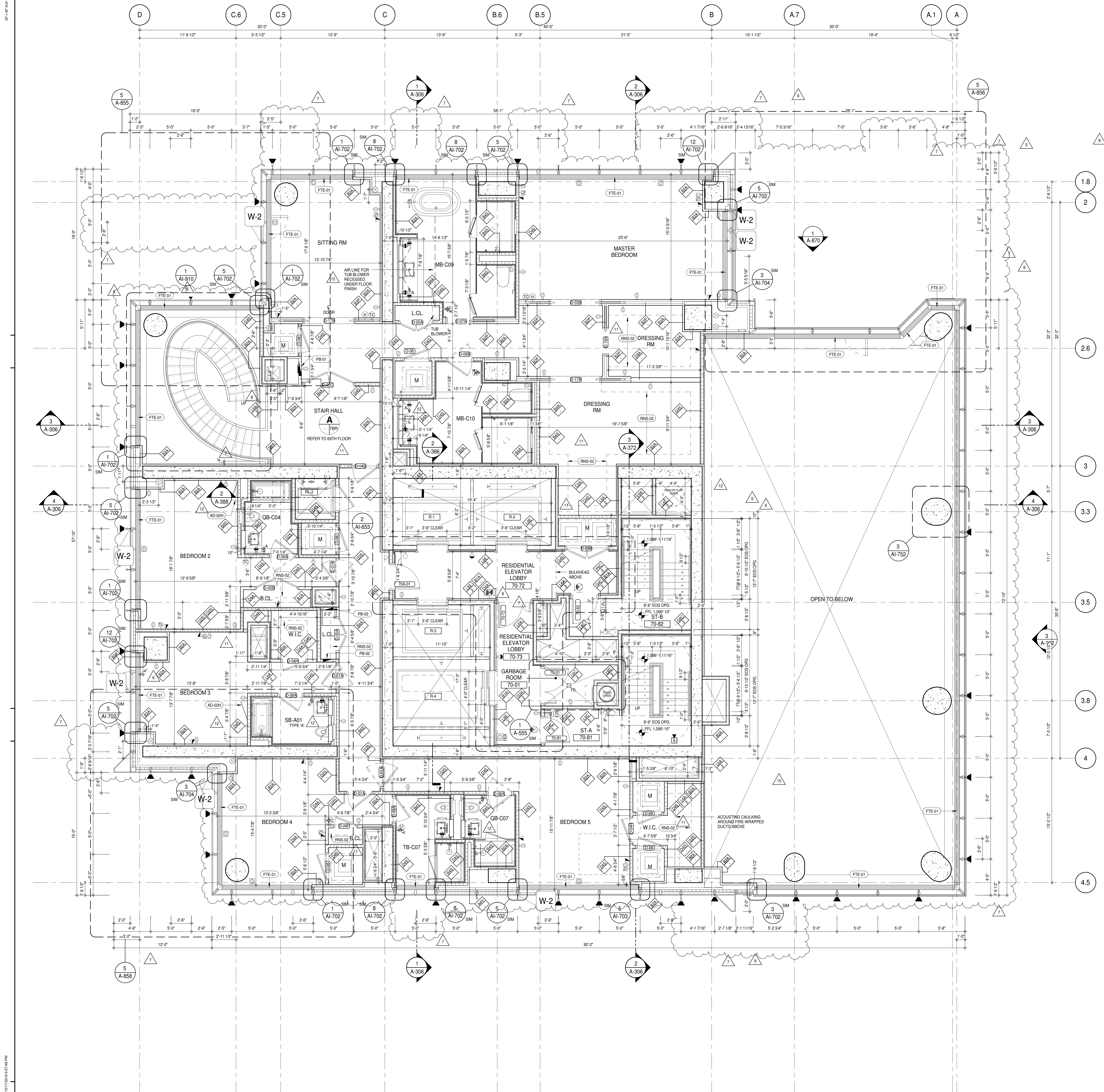
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SCALE: 1/4" = 1'-0"

DWG No: **A-155.02**

DOB PAGE No: 128 of 454

DOB 5-SCAN:



SHEET NOTES:

01 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

02 ALL CURBS AT DOORWAYS & PATIY OF TRAVEL TO BE PAINTED WITH WARNING STRIPS.

03 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

04 DASHED LINE DENOTES EXTENT OF 6" HIGH CEMENT BOARD BASE CURB. REFER TO SECTION DETAIL (B) ON SHEET (A-574).

05 CONCRETE HOUSEKEEPING PAD HEIGHT, SIZE AND LOCATION TO BE COORDINATED WITH MECHANICAL DRAWINGS.

06 TOP OF EXISTING STRUCT. SLAB CUT OUT FOR FLOOR RECESSED SLIDING DOOR TRACK. ONCE CONSTRUCTION IS COMPLETE.

07 EDGE OF SLAB IS 11" FROM FACE OF GLASS UNLESS OTHERWISE STATED AND/OR AT SHEAR WALL CONDITIONS.

08 TEMPORARY SHEAR WALL OPENINGS REQUIRED BY THE CONTRACTOR TO COMPLETE THE PROJECT ARE TO BE INFILLED TO MATCH THE WALLS REQUIREMENTS INCLUDING BUT NOT LIMITED TO FIRE RATING, ACOUSTIC PROPERTY, THERMAL PROPERTY, AIR VAPOR PERMEABILITY.

09 ALL SLEEVES SHOULD EXTEND TO MATCH CURB HEIGHT IN ROOMS WITH CURBS FOR TERMINATION OF WATERPROOFING SYSTEM.

KEYNOTE LEGEND:

(TAG #) DESCRIPTION

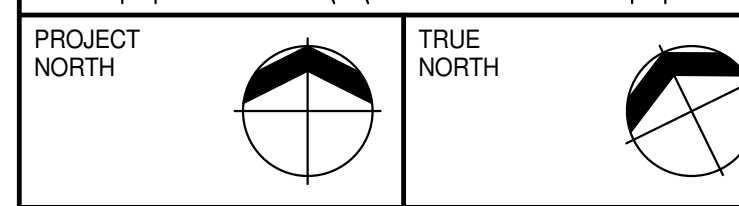
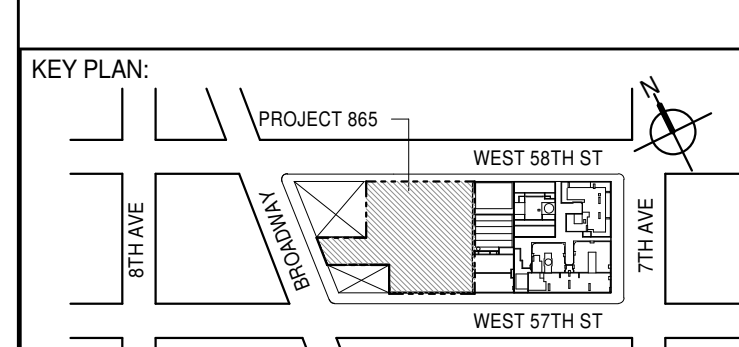
(AD-02N) ACCESS DOOR FLUSH NON RATED 26" X 17" - GYP

(FTE-01) FIN TUBE ENCLOSURE

(PB-01) RESIDENTIAL ELECTRICAL PANELBOARD

(PB-02) RESIDENTIAL TELECOM PANELBOARD

(RNS-02) ROD AND SHELF (N.I.C.)



DEVELOPER: EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
298 FIFTH AVE, 7TH FLOOR
NEW YORK, NY 10001
TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
401 WESTGATE ST. W., 3RD FLOOR
TORONTO, ON M5V 1E7 CANADA
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEER:
VSP CANTOR SEINUK
228 EAST 45TH STREET
NEW YORK, NY 10017 USA
TEL: 212 887 8888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
165 BROADWAY, 22ND FLOOR
NEW YORK, NY 10008 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
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NEW YORK, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

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100 Church Street
NEW YORK, NY 10007
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CURTAINWALL CONSULTANT:
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Jan Hird Pokorny Associates, Inc.
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No.	DESCRIPTION	DATE
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3	D.O.B. SUBMISSION	18 FEB 15
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9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	CD BULLETIN ISSUE - 1	22 APR 16
13	CD BULLETIN ISSUE - 5	12 AUG 16
14	CD BULLETIN ISSUE - 7	14 SEP 16
15	D.O.B. AMENDMENT 3	03 OCT 16

0 2'-0" 4'-0" 8'-0"

D.O.B. SUBMISSION

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CONSULTANT:
AAI
ARCHITECTS, P.C.

PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

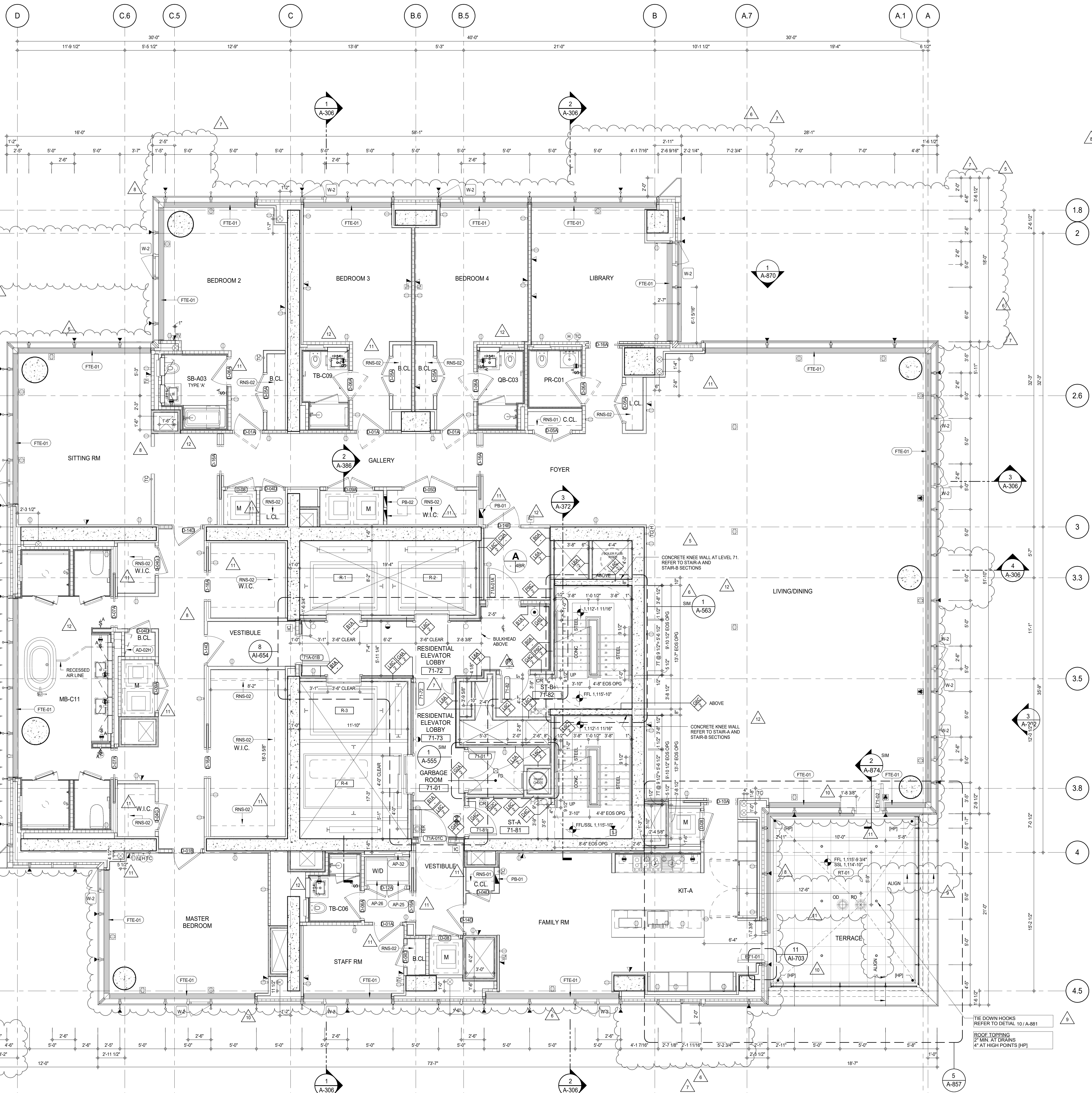
DRAWING TITLE:
70TH FLOOR PLAN (RESIDENTIAL - TIER 4) (MFD-108TH FLOOR)

SEAL & SIGNATURE:
REGISTERED ARCHITECT
DAVID L. LAMBERT
NEW YORK, NY
DOB PAGE No: 129 of 454
DOB 5: SCAN:

DATE: 15 OCT 14
PROJECT No: 1216-00
DRAWN: Author
CHECKED: Checker
SCALE: 1/4" = 1'-0"
DWG No:
A-156.02

DOB PAGE No: 129 of 454
DOB 5: SCAN:

ISSUED AS A-155: CD PROGRESS ISSUE 4 - 01 JUN 15 / ISSUED AS A-188: CD PROGRESS ISSUE 5 - 08 MAR 15



SHEET NOTES:

C1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

C2 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

C3 DASHED LINE DENOTES EXTENT OF 6" HIGH CEMENT BOARD BASE CURB. REFER TO SECTION DETAIL (B) ON SHEET (A-574).

P1 CONCRETE HOUSEKEEPING PAD. HEIGHT, SIZE AND LOCATION TO BE COORDINATED WITH MECHANICAL DRAWINGS.

T1 TOP OF EXISTING STRUCT. SLAB CUT OUT FOR FLOOR RECESSED SLIDING DOOR. TRACK ONCE CONSTRUCTION IS COMPLETE.

EDGE OF SLAB IS 11" FROM FACE OF GLASS UNLESS OTHERWISE STATED AND/OR AT SHEAR WALL CONDITIONS.

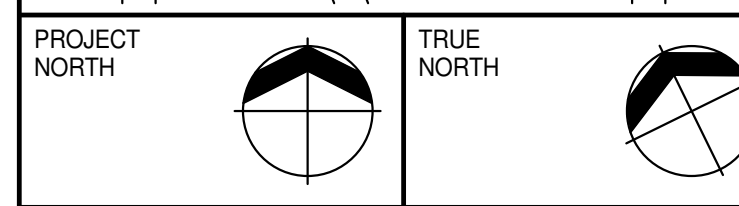
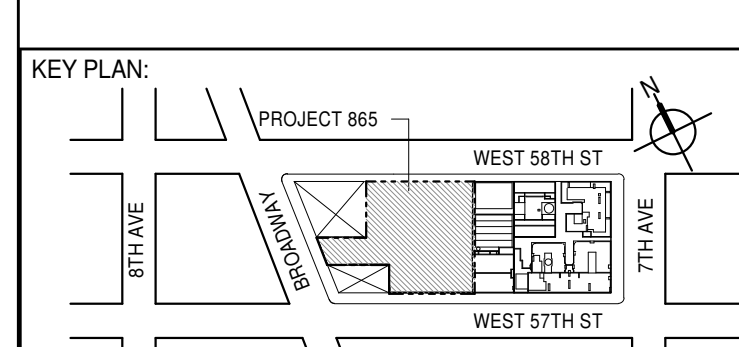
TEMPORARY SHEAR WALL OPENINGS REQUIRED BY THE CONTRACTOR TO COMPLETE THE PROJECT ARE TO BE FILLED TO MATCH THE WALLS REQUIREMENTS INCLUDING BUT NOT LIMITED TO FIRE RATING, ACOUSTIC PROPERTY, THERMAL PROPERTY, AIR VAPOR PERMEABILITY.

ALL SLEEVES SHOULD EXTEND TO MATCH CURB HEIGHT IN ROOMS WITH CURBS FOR TERMINATION OF WATERPROOFING SYSTEM.

KEYNOTE LEGEND:

TAG #	DESCRIPTION
AD-024	ACCESS DOOR FLUSH NON RATED 26" X 17" - GYP
AP-25	LARGE ELECTRIC DRYER
AP-26	LARGE WASHING MACHINE
AP-32	RECESSED DRYER VENT BOX - UPWARD VENTING
FTE-01	FIN TUBE ENCLOSURE
PB-01	RESIDENTIAL ELECTRICAL PANELBOARD
PB-02	RESIDENTIAL TELECOM PANELBOARD
RNS-01	ROD AND SHELF (REFER TO A-880)
RNS-02	ROD AND SHELF (N.I.C)
RT-01	FLUID MEMBRANE WITH CONCRETE PAVERS - TYPE 1

NOTE: FOR DIMENSIONS, VIEW REFERENCES, DOOR TYPES, AND PARTITION TYPES NOT SHOWN, REFER TO DWG 1/A-158



DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: **AAI ARCHITECTS, P.C.**
Base Building Shell & Core
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: **Rottet Architecture and Design Studio, PLLC**
208 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: **AAI ARCHITECTS, P.C.**
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEER: **VSP CANTOR SENUK**
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 887 8888 FAX: 646 487 5501

MEP ENGINEERS: **AKF GROUP**
165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS: **Langan Engineering & Environmental Services**
21 Penn Plaza - 300 West 51st Street, 9th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS: **Construction Consulting Associates**
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New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT: **AJLP Consulting**
40 Worth Street, Suite 806
New York, NY 10013
TEL: 212 757 6650 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT: **Jan Hird Pokorny Associates, Inc.**
39 West 57th Street, 12A
New York, NY 10019
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
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3	D.O.B. SUBMISSION	18 FEB 15
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8	CD PROGRESS ISSUE 7	29 JAN 16
9	CD ISSUE 8 - GMP SET	31 MAR 16
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11	CD BULLETIN ISSUE - 5	12 AUG 16
12	CD BULLETIN ISSUE - 7	14 SEP 16
	D.O.B. AMENDMENT 3	03 OCT 16

0 2'-0" 4'-0" 8'-0"

D.O.B. SUBMISSION

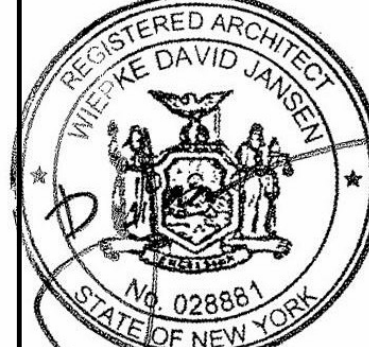
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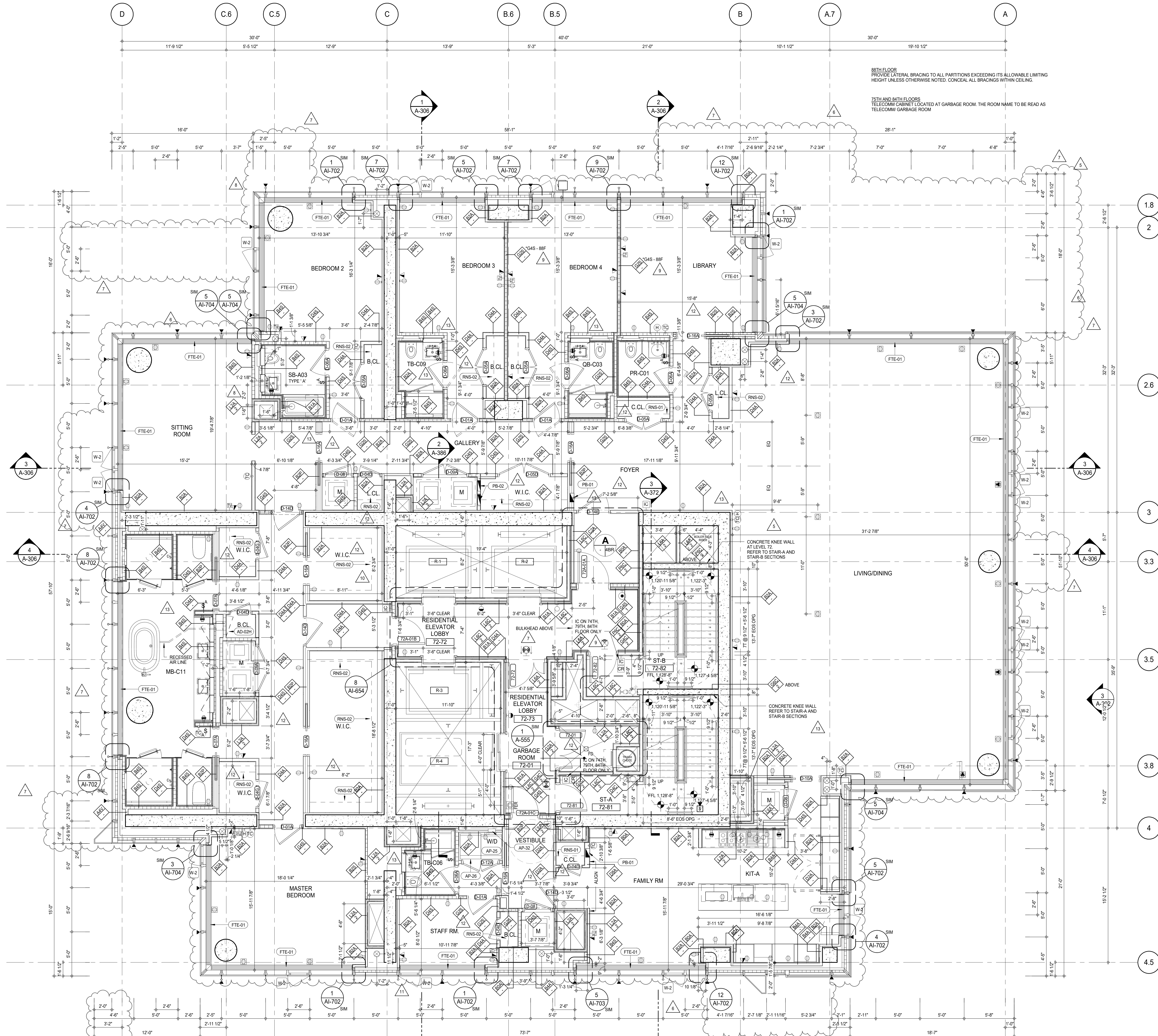
ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT: **AAI ARCHITECTS, P.C.**

PROJECT: **217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE: **71ST FLOOR PLAN (RESIDENTIAL - TIER 4) (MFD-109TH FLOOR)**

SEAL & SIGNATURE: 	DATE: 15 OCT 14
PROJECT No: 1216-00	REV: 12
DRAWN: Author	CHECKED: Checker
DWG No: A-157.02	DOB PAGE No: 139 of 454
DOB EMPLOYEE STAMP:	DOB S-SCAN:



SHEET NOTES:

C1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

C2 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

C3 DASHED LINE DENOTES EXTENT OF 6" HIGH CONCRETE BOARD BASE CURB. REFER TO SECTION DETAIL (B) ON SHEET (A-574).

P1 CONCRETE HOUSEKEEPING PAD. HEIGHT, SIZE AND LOCATION TO BE COORDINATED WITH MECHANICAL DRAWINGS.

T1 TOP OF EXISTING STRUCT. SLAB CUT OUT FOR FLOOR RECESSED SLIDING DOOR. TRACK ONCE CONSTRUCTION IS COMPLETE.

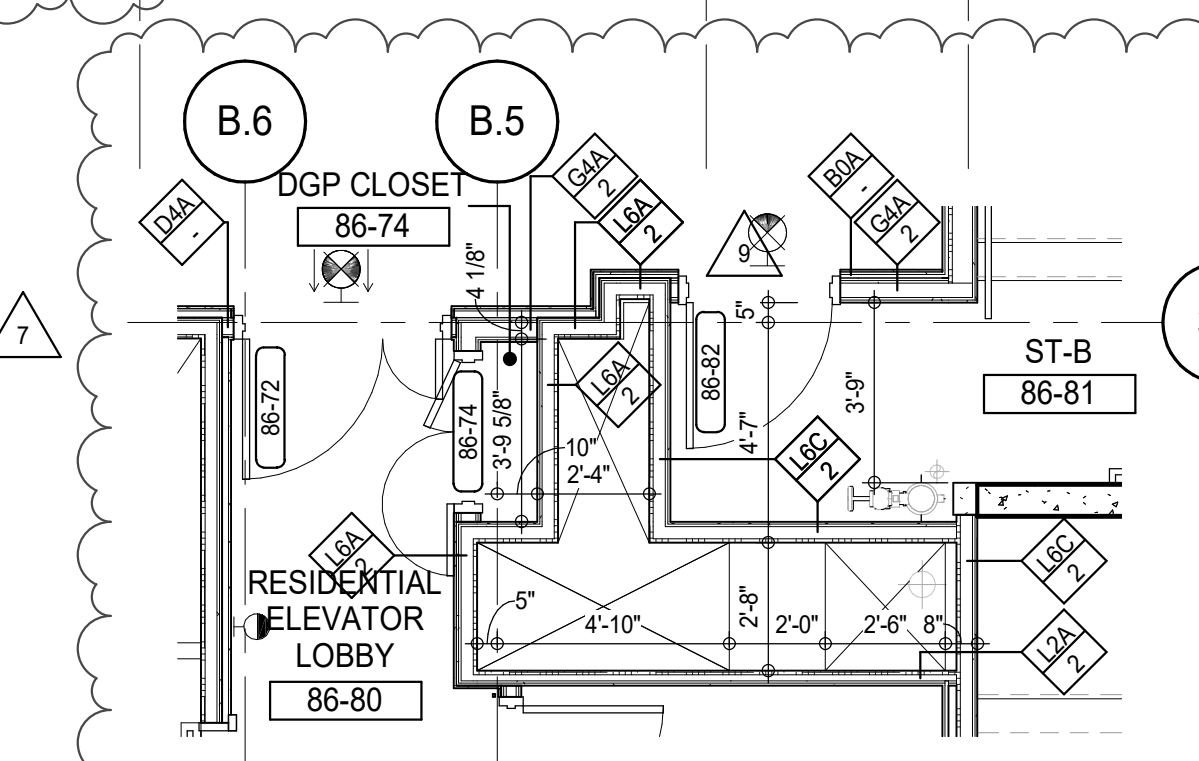
E1 EDGE OF SLAB IS 1" FROM FACE OF GLASS UNLESS OTHERWISE STATED AND/OR AT SHEAR WALL CONDITIONS.

A1 & F1 F1'S SHOULD EXTEND TO MATCH CURB HEIGHT IN ROOMS WITH CURBS FOR 88TH FLOOR. IF WATERPROOFING SYSTEM PROVIDE LATERAL BRACING TO ALL PARTITIONS EXCEEDING ITS ALLOWABLE LIMITING HEIGHT UNLESS OTHERWISE NOTED. CONCEAL ALL BRACINGS WITHIN CEILING.

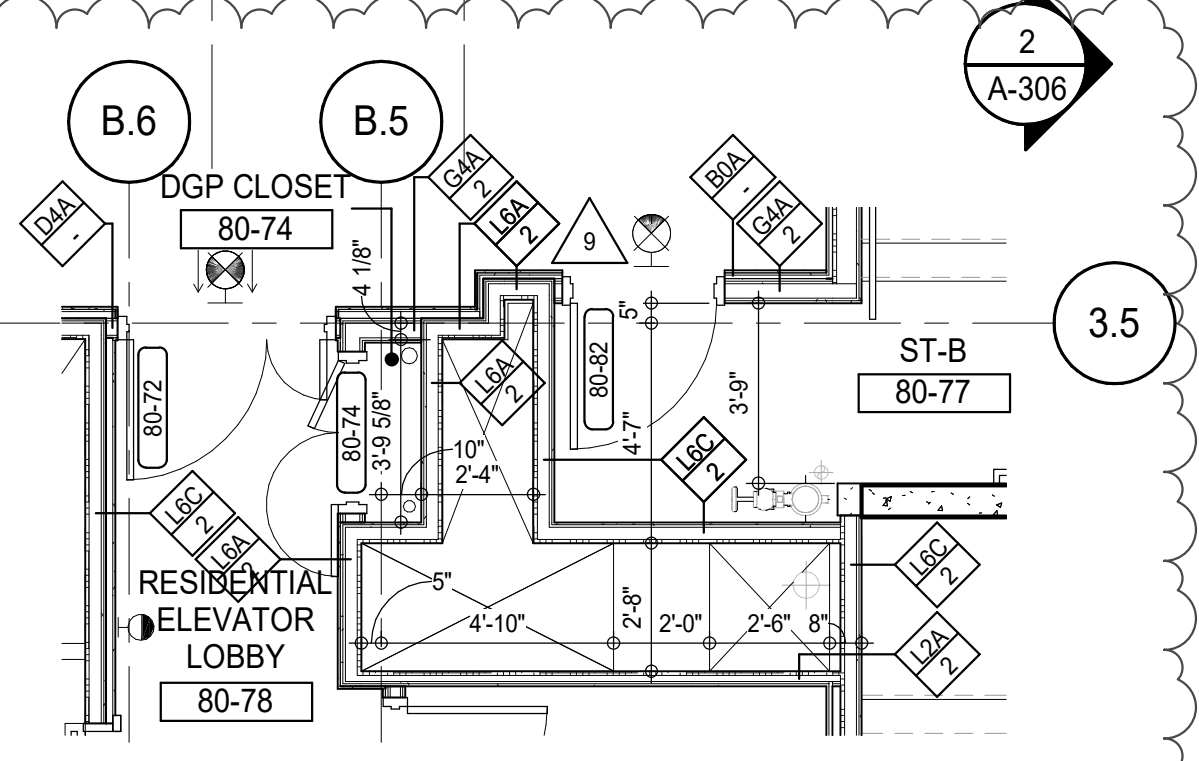
75TH AND 86TH FLOORS TELECOMM CABINET LOCATED AT GARBAGE ROOM. THE ROOM NAME TO BE READ AS TELECOMM GARBAGE ROOM.

KEYNOTE LEGEND:

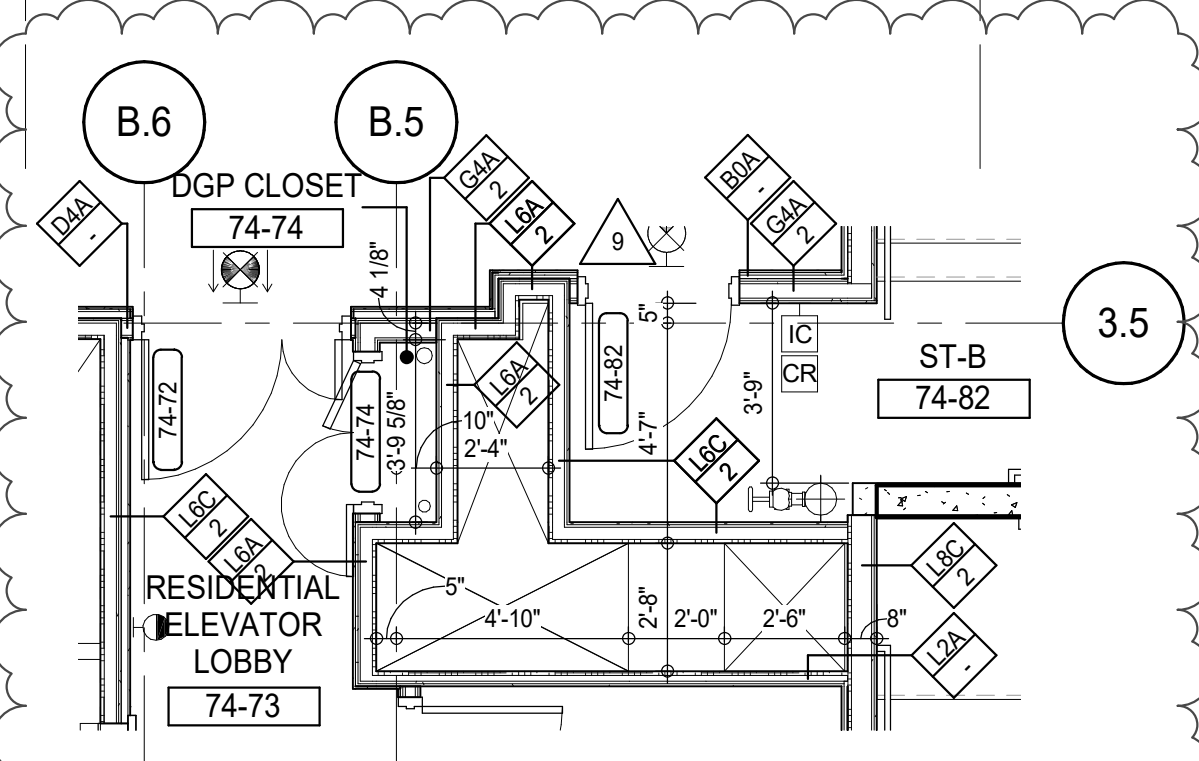
TAG #	DESCRIPTION
AD-02H	ACCESS DOOR FLUSH NON RATED 26" X 17" - GYP
AP-25	LARGE ELECTRIC DRYER
AP-26	LARGE WASHING MACHINE
AP-32	RECESSED DRYER VENT BOX - UPWARD VENTING
FTE-01	FIN TUBE ENCLOSURE
PB-01	RESIDENTIAL ELECTRICAL PANELBOARD
PB-02	RESIDENTIAL TELECOM PANELBOARD
RNS-01	ROD AND SHELF (REFER TO A1-880)
RNS-02	ROD AND SHELF (N.I.C)



86TH FLOOR PARTIAL PLAN
A-214
1/4" = 1'-0"



80TH FLOOR PARTIAL PLAN
A-202
1/4" = 1'-0"



74TH FLOOR PARTIAL PLAN
A-214
1/4" = 1'-0"

KEY PLAN:

PROJECT: NORTH

DEVELOPER: EXTRELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
298 Fifth Ave., 7th Floor
New York, NY 10001
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
401 Westchester St., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEER:
VSP CANTOR SENIUK
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 887 2885 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
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21 Penn Plaza - 360 West 51st Street, 9th Floor
New York, NY 10001-2727
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CODE CONSULTANTS:
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100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
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New York, NY 10013
TEL: 212 757 6550 FAX: 646 219 8508

LANDMARK PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 57th Street, 12A
New York, NY 10019
TEL: 212 759 6452 FAX: 212 759 6540

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	D.O.B. AMENDMENT 3	03 OCT 16

0 2'-0" 4'-0" 8'-0"

D.O.B. SUBMISSION

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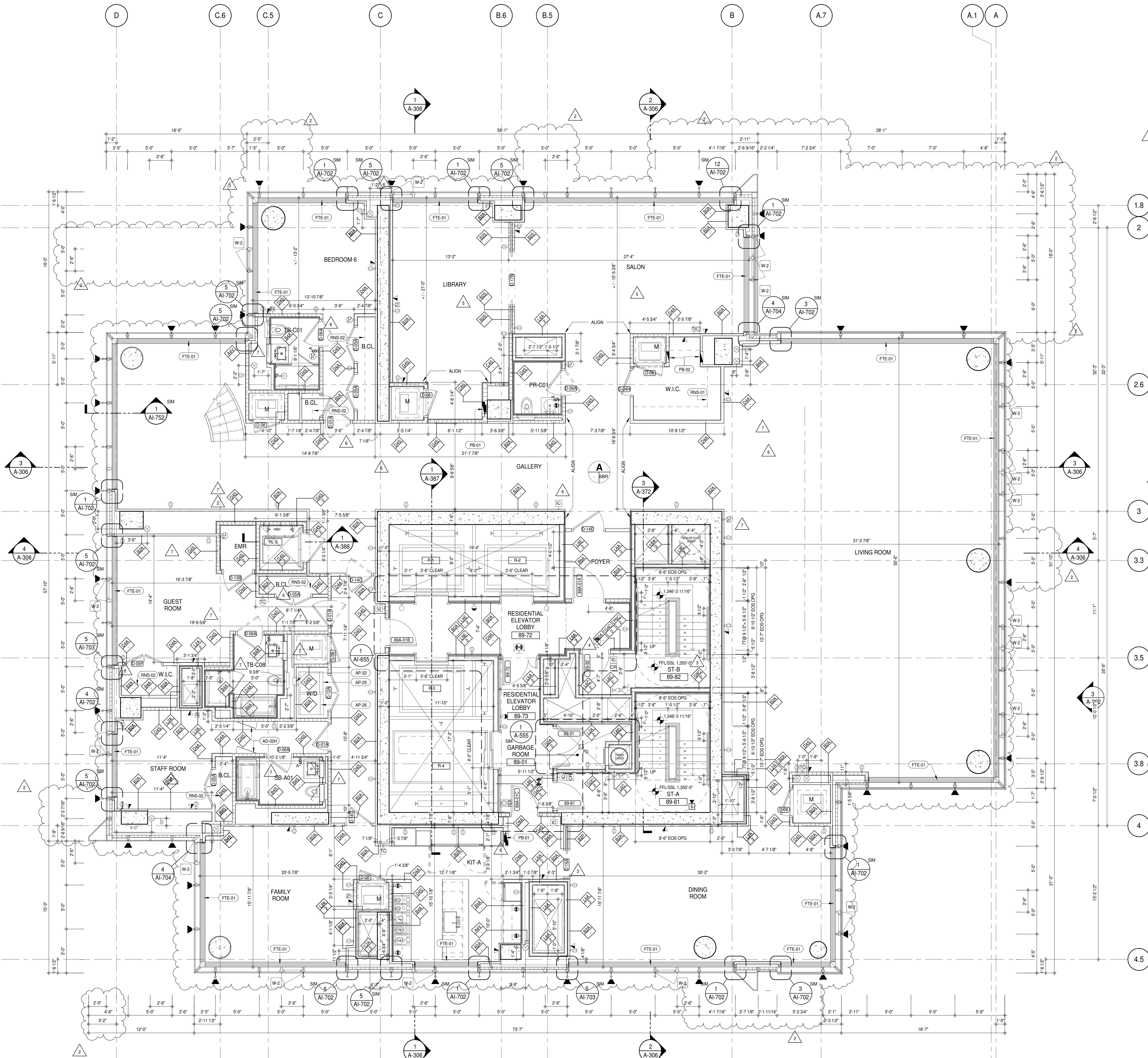
CONSULTANT:

AAI
ARCHITECTS, P.C.

PROJECT: 217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE: 72ND-88TH FLOOR PLAN (RESIDENTIAL - TIER 4) (MFD-110TH-126TH FLOOR)

SEAL & SIGNATURE: PROJECT No: 1216-00
DATE: 15 OCT 14
DRAWN: Author
CHECKED: Checker
SCALE: 1/4" = 1'-0"
DWG No: **A-158.02**
DOB PAGE No: 131 of 454
DOB EMPLOYEE STAMP: DOB 5-SCAN:



SHEET NOTES:

01 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

02 ALL CURBS AT DOORWAYS & PATH OF TRAVEL TO BE PAINTED WITH WARNING STRIPS.

03 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

04 DASHED LINE DENOTES EXTENT OF 6" HIGH CONCRETE BOARD BASE CURB. REFER TO SECTION DETAIL (B) ON SHEET (A-574).

05 CONCRETE HOUSEKEEPING PAD HEIGHT, SIZE AND LOCATION TO BE COORDINATED WITH MECHANICAL DRAWINGS.

11 TOP OF EXISTING STRUCT. SLAB CUT OUT FOR FLOOR RECESSED SLIDING DOOR TRACK ONCE CONSTRUCTION IS COMPLETE.

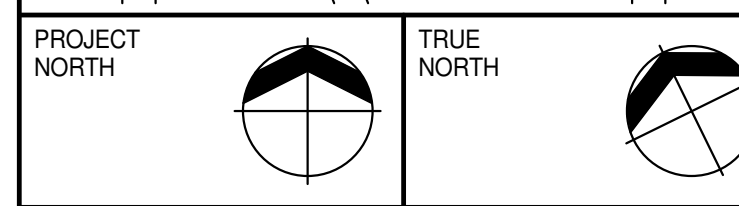
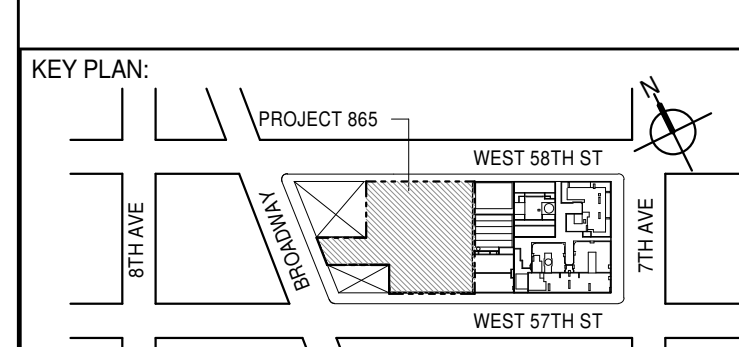
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KEYNOTE LEGEND:

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AP-26	LARGE WASHING MACHINE
AP-32	RECESSED DRYER VENT BOX - UPWARD VENTING
FTE-01	FIN TUBE ENCLOSURE
PB-01	RESIDENTIAL ELECTRICAL PANELBOARD
PB-02	RESIDENTIAL TELECOM PANELBOARD
RNS-01	ROD AND SHELF (REFER TO AI-880)
RNS-02	ROD AND SHELF (N.I.C)



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 WEST 9TH ST., 3RD FLOOR
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
298 FIFTH AVE., 7TH FLOOR
NEW YORK, NY 10001
TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
401 WEST 9TH ST., 3RD FLOOR
TORONTO, ON M5V 1E7 CANADA
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEER:
VSP CANTOR SEINUK
228 EAST 45TH STREET
NEW YORK, NY 10017 USA
TEL: 212 887 8888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
165 BROADWAY, 22ND FLOOR
NEW YORK, NY 10008 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 300 West 57th Street, 9th Floor
NEW YORK, NY 10019-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
NEW YORK, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 806
NEW YORK, NY 10013
TEL: 212 757 6650 FAX: 646 219 8508

LANDMARK PRESERVATION CONSULTANT:
Jan Hind Pokorny Associates, Inc.
39 West 37th Street, 12A
NEW YORK, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 5	10 AUG 15
	D.O.B. AMENDMENT 2	21 SEP 15
2	CD PROGRESS ISSUE 6	02 NOV 15
3	CD PROGRESS ISSUE 7	29 JAN 16
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	D.O.B. AMENDMENT 3	03 OCT 16

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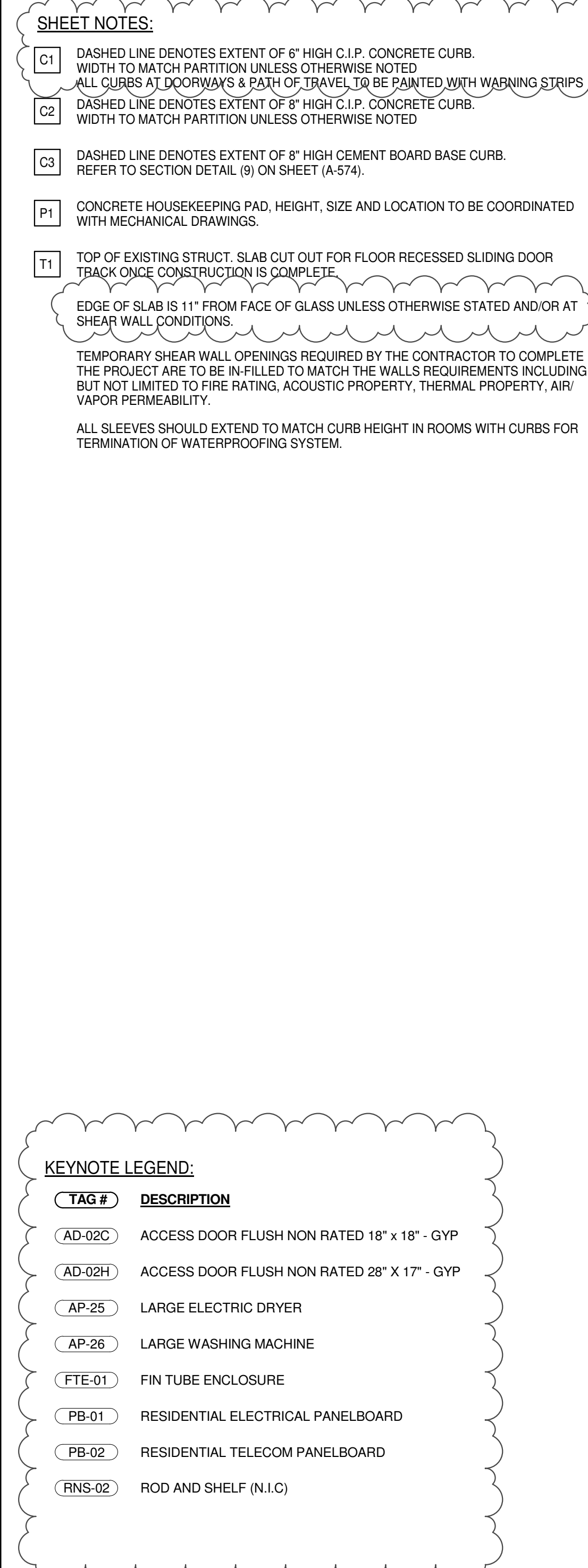
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CONSULTANT:
AAI
ARCHITECTS, P.C.

PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
89TH FLOOR PLAN (RESIDENTIAL - TIER 4) (MFD-127TH FLOOR)

SEAL & SIGNATURE: 	DATE: 10 AUG 15
PROJECT No: 1216-00	REVISION: 7
DRAWN: Author	CHECKED: 7
SCALE: 1/4" = 1'-0"	
DWG No: A-159.01	
DOB PAGE No: 133 of 454	DOB 5-SCAN:



PROJECT NORTH		TRUE NORTH	
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DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
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New York, NY 10001
TEL: 646 898 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
WSP CANTOR SEINUK
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 687 9888 FAX: 646 487 5501

MEP ENGINEERS:

AKF GROUP
165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 360 West 31st Street, 8th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1811

CURTAINWALL CONSULTANT:
AJLP Consulting
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New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
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39 West 37th Street, 12A
New York, NY 10018
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8	CD BULLETIN ISSUE - 7 D.O.B. AMENDMENT 3	14 SEP 16 03 OCT 16

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CONSULTANT.

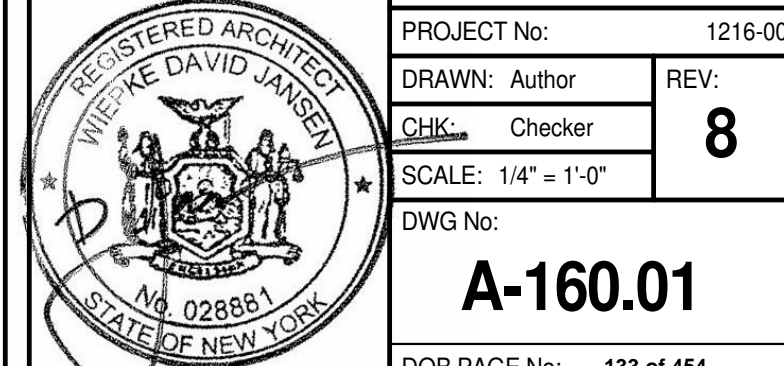
 **AAI**
ARCHITECTS, P.C.

PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

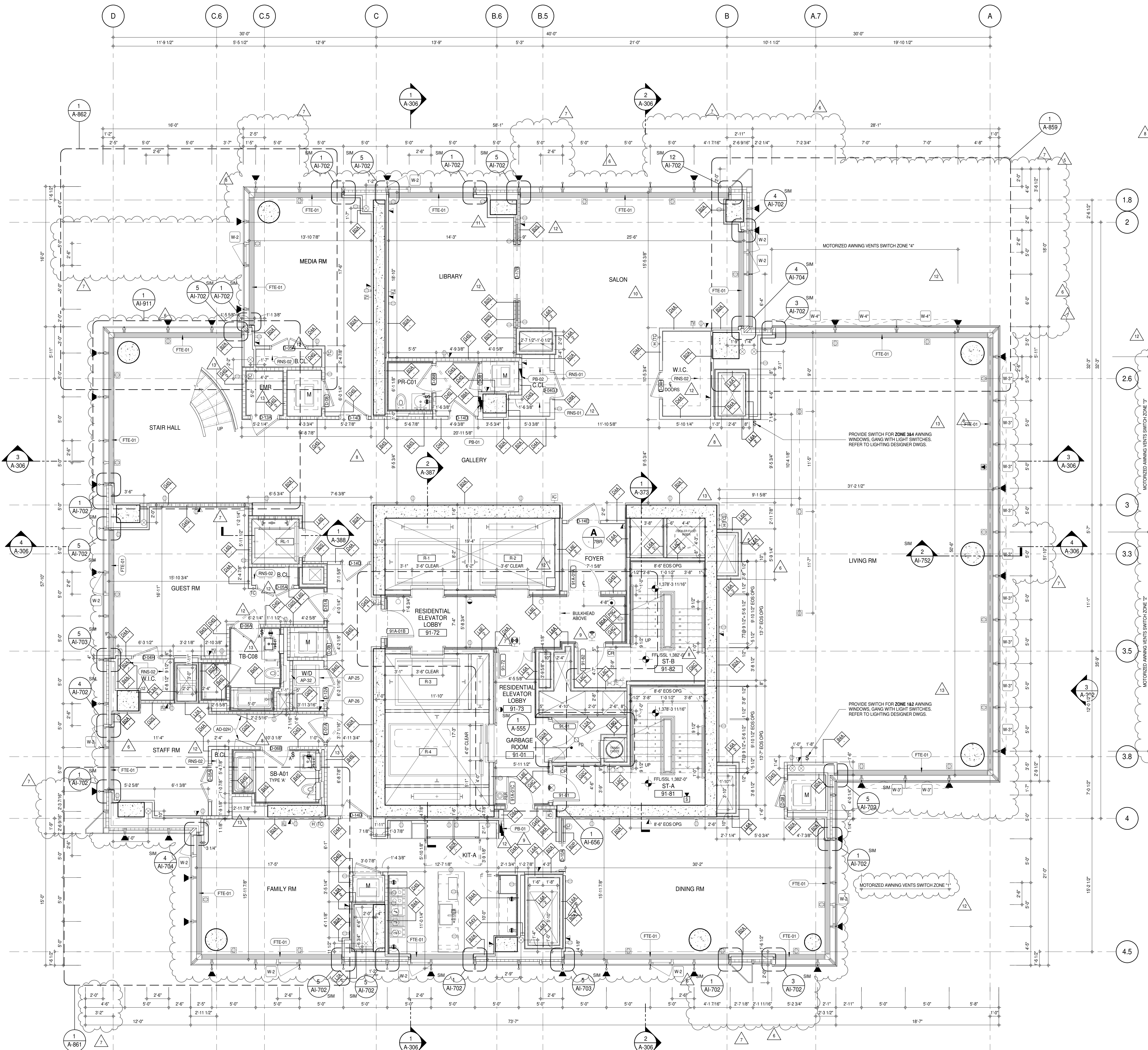
DRAWING TITLE:

90TH FLOOR PLAN (RESIDENTIAL -
TIER 4) (MFD-128TH FLOOR)

SEAL & SIGNATURE:	DATE: 10 AUG 15
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DOB EMPLOYEE STAMP:		DOB B-SCAN:
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SHEET NOTES:

01 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

02 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

03 DASHED LINE DENOTES EXTENT OF 6" HIGH CEMENT BOARD BASE CURB. REFER TO SECTION DETAIL (B) ON SHEET (A-574).

P1 CONCRETE HOUSEKEEPING PAD. HEIGHT, SIZE AND LOCATION TO BE COORDINATED WITH MECHANICAL DRAWINGS.

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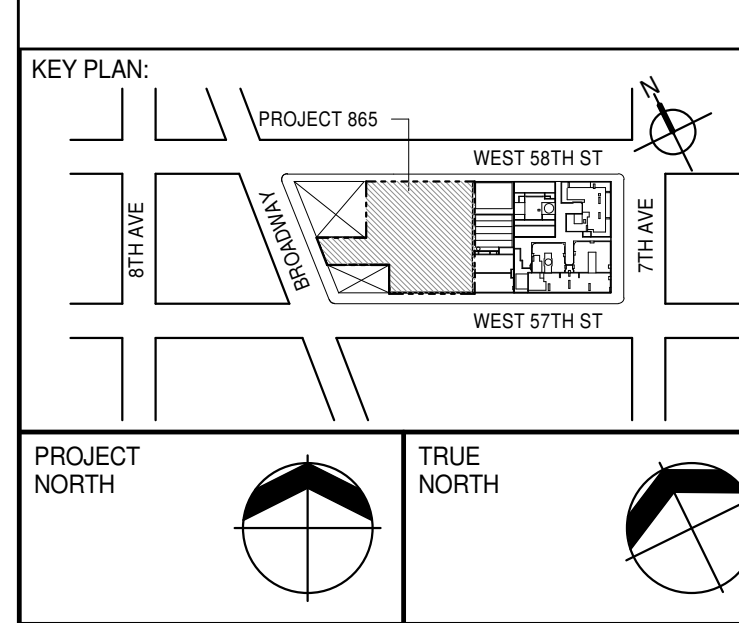
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PB-02	RESIDENTIAL TELECOM PANELBOARD
RNS-01	ROD AND SHELF (REFER TO A1-880)
RNS-02	ROD AND SHELF (N.I.C)



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
 805 THIRD AVENUE, 7TH FLOOR
 NEW YORK, NY 10022 USA
 TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
 111 WEST MONROE STREET SUITE 2300
 CHICAGO, IL 60603
 TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
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 298 Fifth Ave., 7th Floor
 New York, NY 10001
 TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
 401 West Street, 3rd Floor
 Toronto, ON M5V 1E7 Canada
 TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEER:
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 New York, NY 10017 USA
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 New York, NY 10019-2727
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11	D.O.B. AMENDMENT 1	22 APR 16
12	CD BULLETIN ISSUE - 1	25 MAY 16
13	CD BULLETIN ISSUE - 2	12 AUG 16
14	CD BULLETIN ISSUE - 3	14 SEP 16
15	D.O.B. AMENDMENT 3	03 OCT 16

0 2'-0" 4'-0" 8'-0"

D.O.B. SUBMISSION

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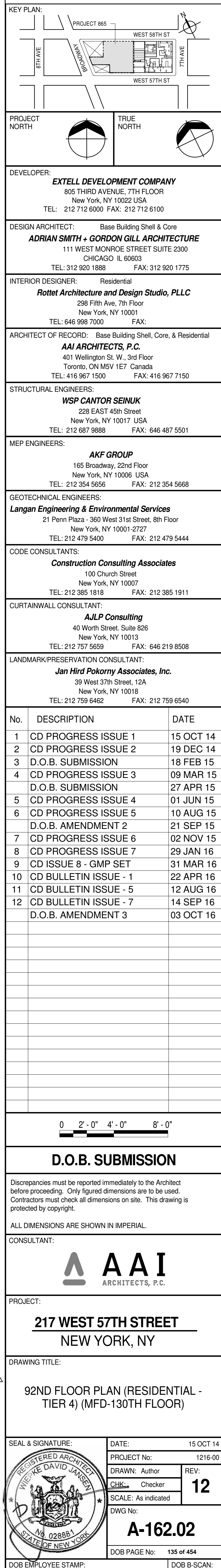
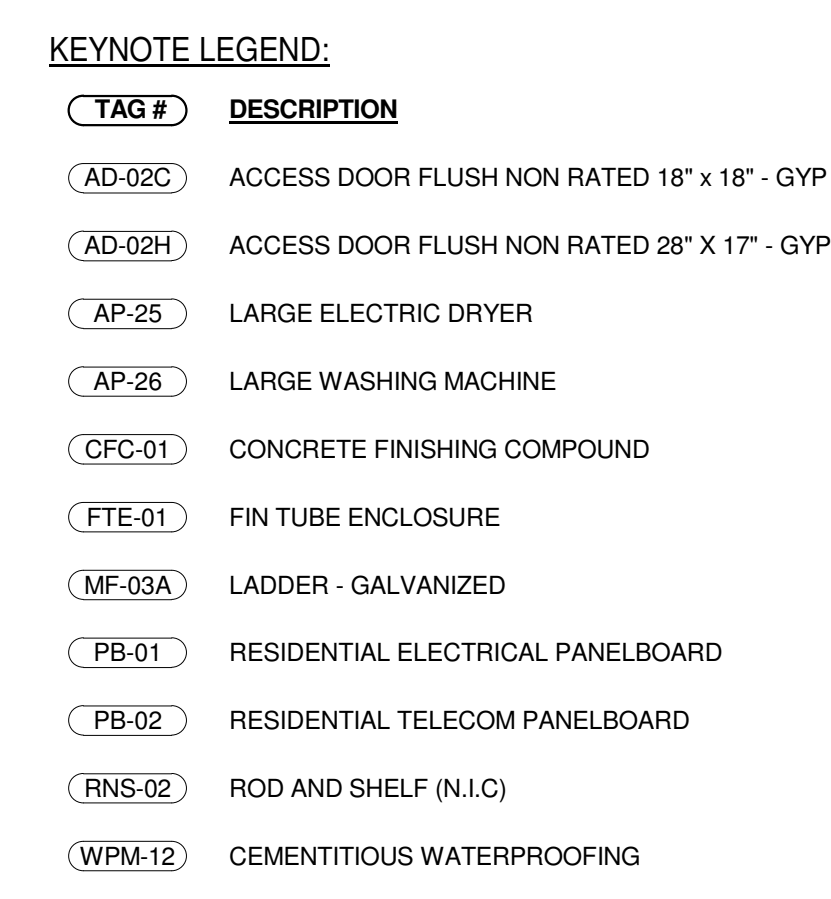
CONSULTANT:
AAI
 ARCHITECTS, P.C.

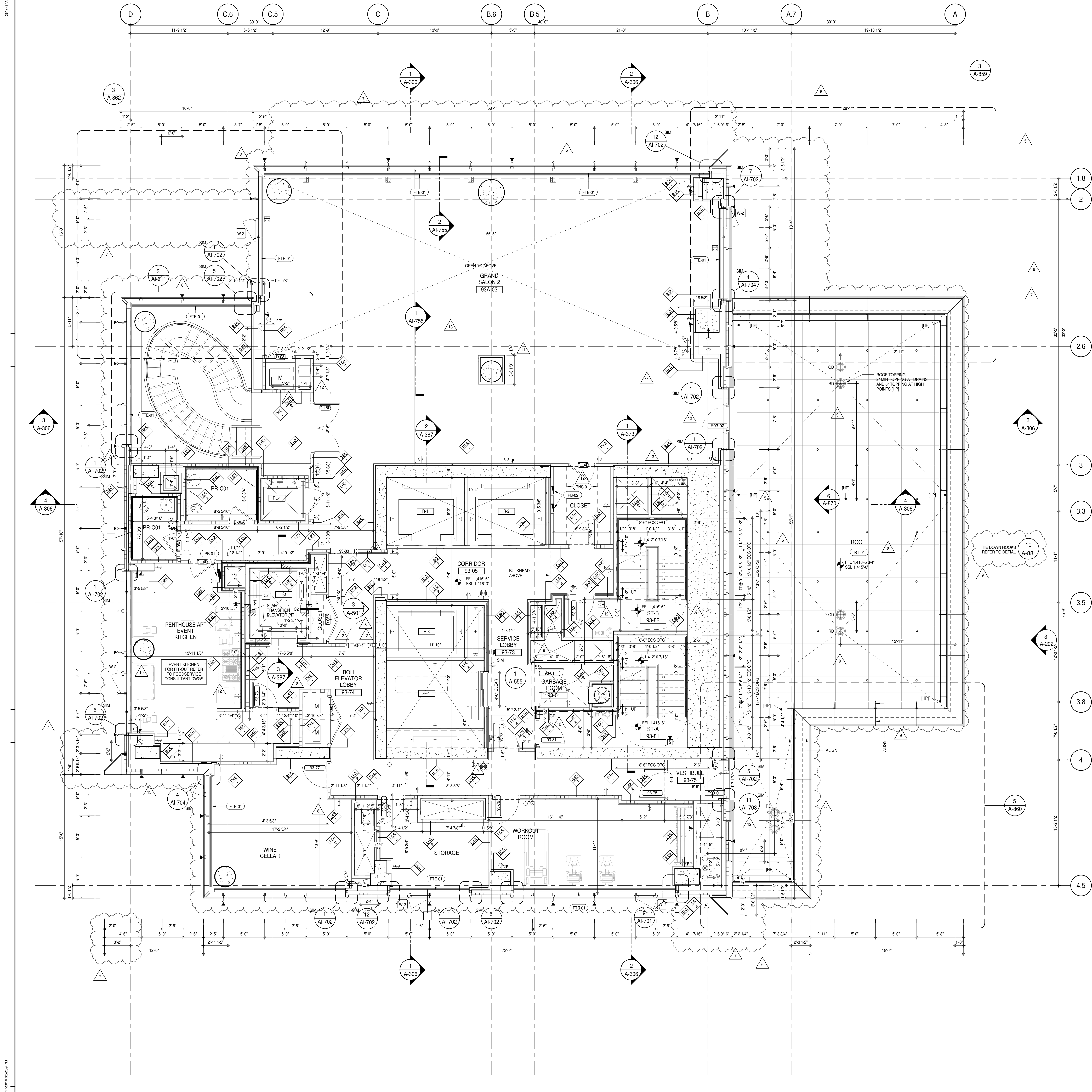
PROJECT:
217 WEST 57TH STREET
 NEW YORK, NY

DRAWING TITLE:
91ST FLOOR PLAN (RESIDENTIAL - TIER 4) (MFD-129TH FLOOR)

SEAL & SIGNATURE:
 PROJECT No: 1216-00
 DRAWN: Author
 CHECKED: Checker
 SCALE: 1/4" = 1'-0"
 DWG No: **A-161.02**
 DOB PAGE No: 134 of 454
 DOB 5-SCN:

DATE: 15 OCT 14
REV: 13
DOB PAGE No: 134 of 454
DOB 5-SCN:





SHEET NOTES:

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KEYNOTE LEGEND:

TAG #	DESCRIPTION
FTE-01	FIN TUBE ENCLOSURE
PB-01	RESIDENTIAL ELECTRICAL PANELBOARD
PB-02	RESIDENTIAL TELECOM PANELBOARD
RNS-01	ROD AND SHELF (REFER TO AI-880)
RT-01	FLUID MEMBRANE WITH CONCRETE PAVERS - TYPE 1

KEY PLAN:

PROJECT #89

WEST 9TH ST

WEST 7TH ST

TRUE NORTH

DEVELOPER: EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
AAI ARCHITECTS, P.C.
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
298 Fifth Ave., 7th Floor
New York, NY 10001
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS: VSP-CANTOR SENIUK
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 887 8888 FAX: 646 487 5501

MEP ENGINEERS: AKF GROUP
165 Broadway, 22nd Floor
New York, NY 10003 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS: Langan Engineering & Environmental Services
21 Penn Plaza - 360 West 51st Street, 8th Floor
New York, NY 10011-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS: Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT: A.J.P. Consulting
40 Worth Street, Suite 806
New York, NY 10013
TEL: 212 757 6650 FAX: 646 219 8508

LANDMARK PRESERVATION CONSULTANT: Jan Hird Pokorny Associates, Inc.
39 West 57th Street, 12A
New York, NY 10019
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
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0 2'-0" 4'-0" 8'-0"

D.O.B. SUBMISSION

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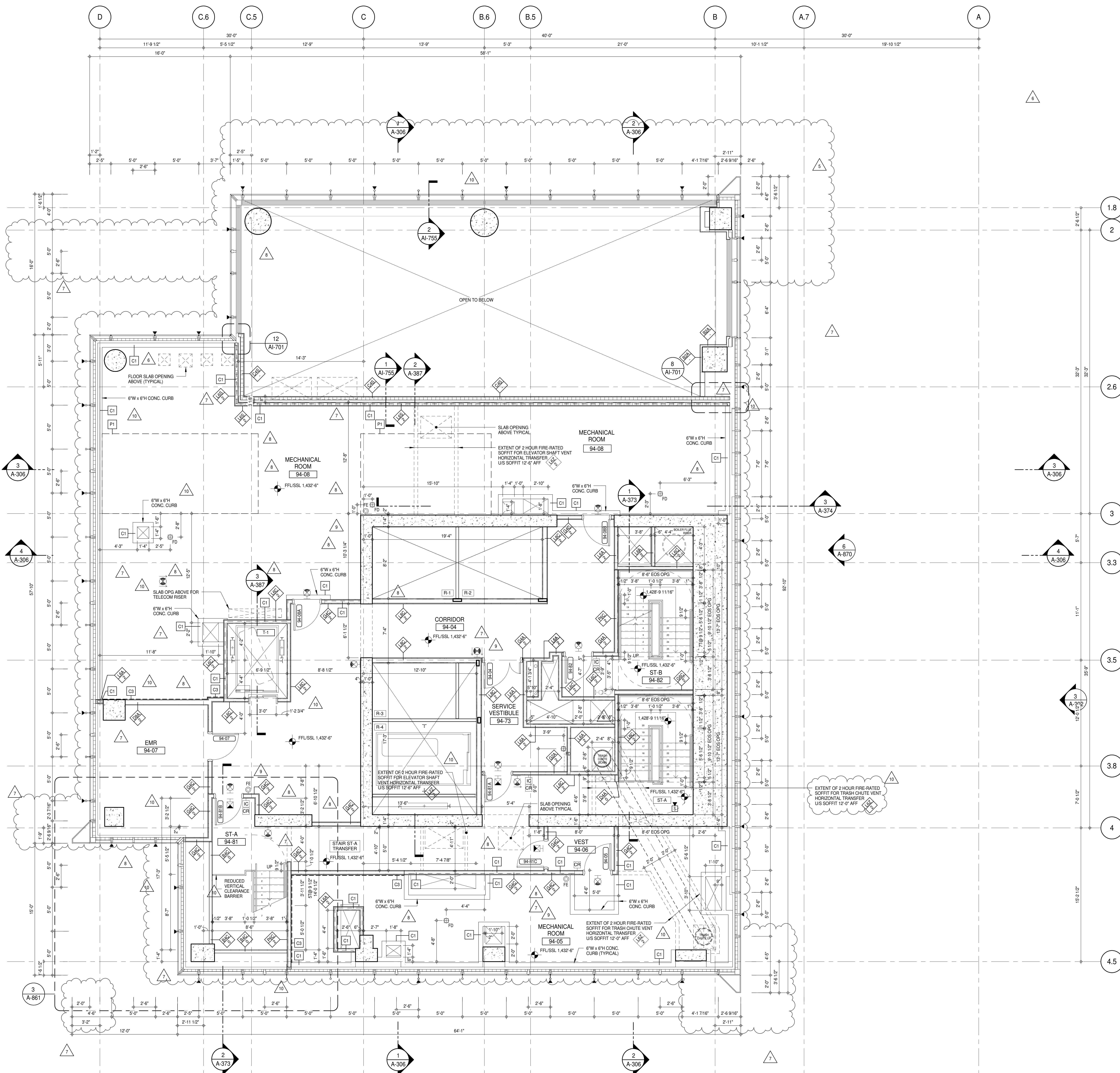
ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT: AAI ARCHITECTS, P.C.

PROJECT: 217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE: 93RD FLOOR PLAN (RESIDENTIAL - TIER 4) (MFD-131ST FLOOR)

SEAL & SIGNATURE: PROJECT No: 1216-00
DATE: 15 OCT 14
DRAWN: Author
CHECKED: Checker
SCALE: 1/4" = 1'-0"
DWG No: A-163.02
DOB PAGE No: 136 of 454
DOB 5-SCAN:



SHEET NOTES:

C1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

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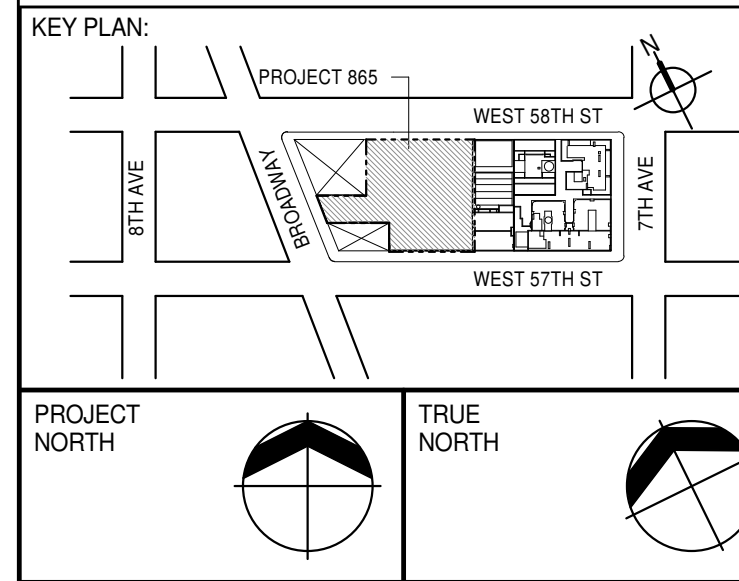
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DEVELOPER:
EXTELL DEVELOPMENT COMPANY
 805 THIRD AVENUE, 7TH FLOOR
 NEW YORK, NY 10022 USA
 TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
 111 WEST MONROE STREET SUITE 2300
 CHICAGO IL 60603
 TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
 298 Fifth Ave, 7th Floor
 New York, NY 10001
 TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
 401 Wellington St. W., 3rd Floor
 Toronto, ON M5V 1E7 Canada
 TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
VSP CANTOR SENUK
 228 EAST 45th Street
 New York, NY 10017 USA
 TEL: 212 887 8888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
 165 Broadway, 22nd Floor
 New York, NY 10008 USA
 TEL: 212 354 5655 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
 21 Penn Plaza - 300 West 51st Street, 8th Floor
 New York, NY 10001-2727
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 New York, NY 10013
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LANDMARK/PRESERVATION CONSULTANT:
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 39 West 37th Street, 12A
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0' 2'-0" 4'-0" 8'-0"

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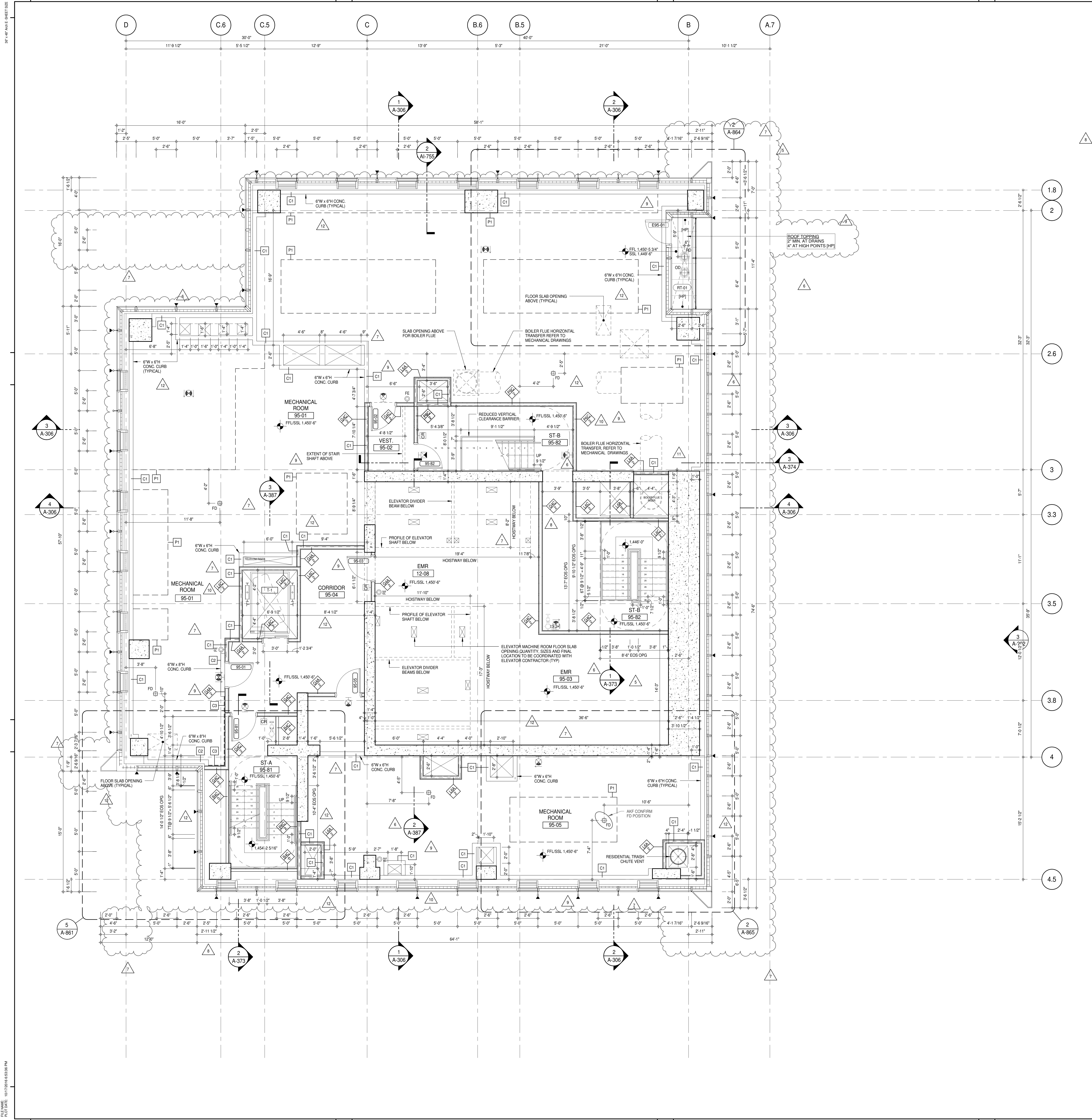
CONSULTANT:
AAI
 ARCHITECTS, P.C.

PROJECT:
217 WEST 57TH STREET
 NEW YORK, NY

DRAWING TITLE:
94TH FLOOR (MECHANICAL) PLAN
(MFD-132ND FLOOR)

SEAL & SIGNATURE 	DATE: 15 OCT 14 PROJECT No: 1216-00 DRAWN: Author CHECKED: Checker SCALE: 1/4" = 1'-0" DWG No: DOB PAGE No: 137 of 454 DOB EMPLOYEE STAMP: DOB 5-SCAN:
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A-164.02



SHEET NOTES:

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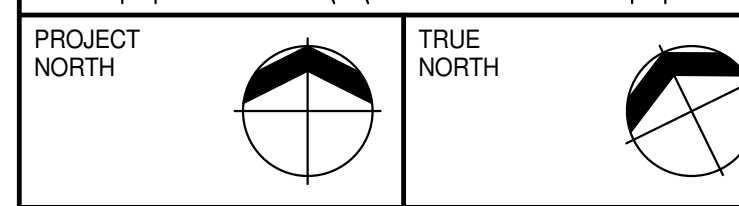
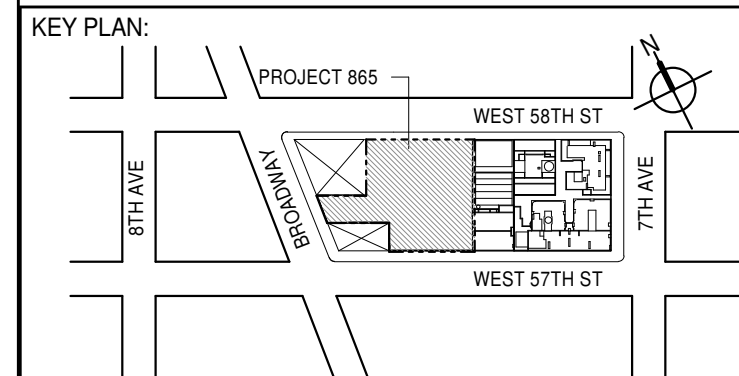
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DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: **AAI ARCHITECTS, P.C.**
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: **Rotter Architecture and Design Studio, PLLC**
298 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: **AAI ARCHITECTS, P.C.**
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS: **VSP CANTOR SEINUK**
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 887 2885 FAX: 646 487 5501

MEP ENGINEERS: **AKF GROUP**
165 Broadway, 22nd Floor
New York, NY 10008 USA
TEL: 212 354 5655 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS: **Langan Engineering & Environmental Services**
21 Penn Plaza - 300 West 57th Street, 9th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS: **Construction Consulting Associates**
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT: **AJLP Consulting**
40 Worth Street, Suite 806
New York, NY 10013
TEL: 212 757 5559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT: **Jan Hird Pokorny Associates, Inc.**
39 West 57th Street, 12A
New York, NY 10019
TEL: 212 759 6452 FAX: 212 759 6540

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6	CD PROGRESS ISSUE 4	01 JUN 15
7	D.O.B. AMENDMENT 2	21 SEP 15
8	CD PROGRESS ISSUE 5	02 NOV 15
9	CD PROGRESS ISSUE 6	29 JAN 16
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0 2'-0" 4'-0" 8'-0"

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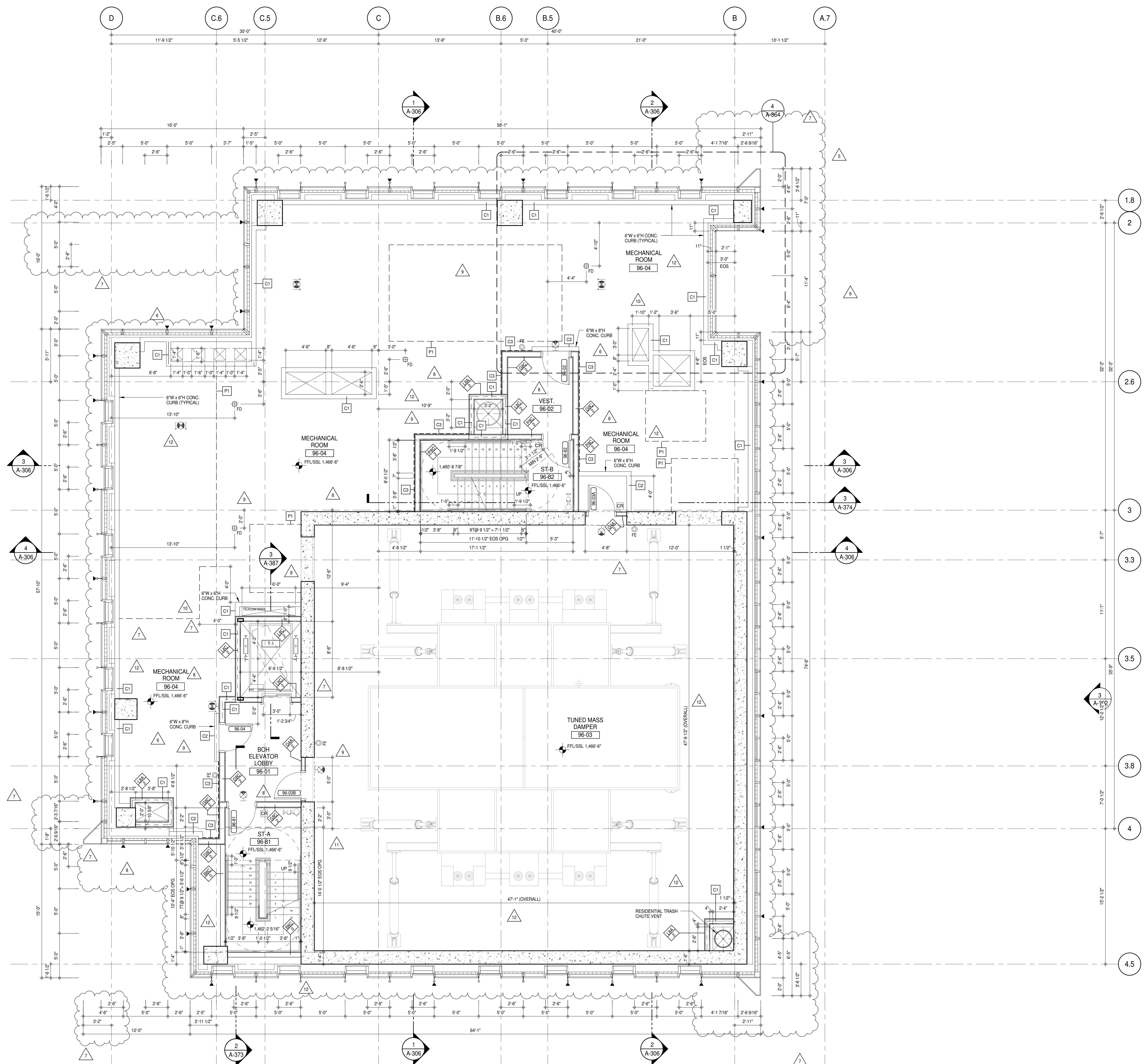
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CONSULTANT: **AAI ARCHITECTS, P.C.**

PROJECT: **217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE: **95TH FLOOR PLAN (EMR) (MFD-133RD FLOOR)**

SEAL & SIGNATURE 	DATE: 15 OCT 14 PROJECT No: 1216-00 DRAWN: Author CHKD: Checker SCALE: 1/4" = 1'-0" DWG No: A-165.02
DOB EMPLOYEE STAMP:	DOB PAGE No: 138 of 454 DOB 5-SCAN:



SHEET NOTES:

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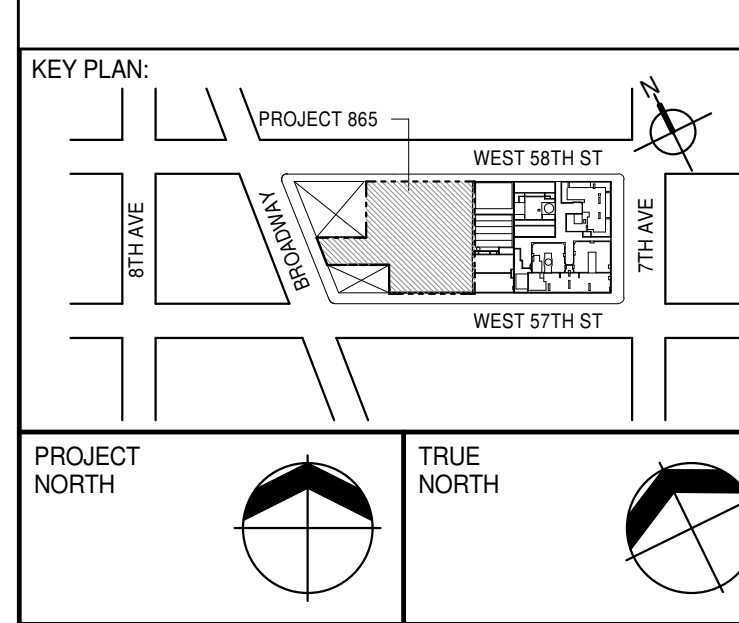
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DEVELOPER:
EXTELL DEVELOPMENT COMPANY
 805 THIRD AVENUE, 7TH FLOOR
 NEW YORK, NY 10022 USA
 TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
 111 WEST MONROE STREET SUITE 2300
 CHICAGO IL 60603
 TEL: 312 920 1888 FAX: 312 920 1775

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 TEL: 646 998 7000 FAX:

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0 2' 0" 4' 0" 8' 0"

D.O.B. SUBMISSION

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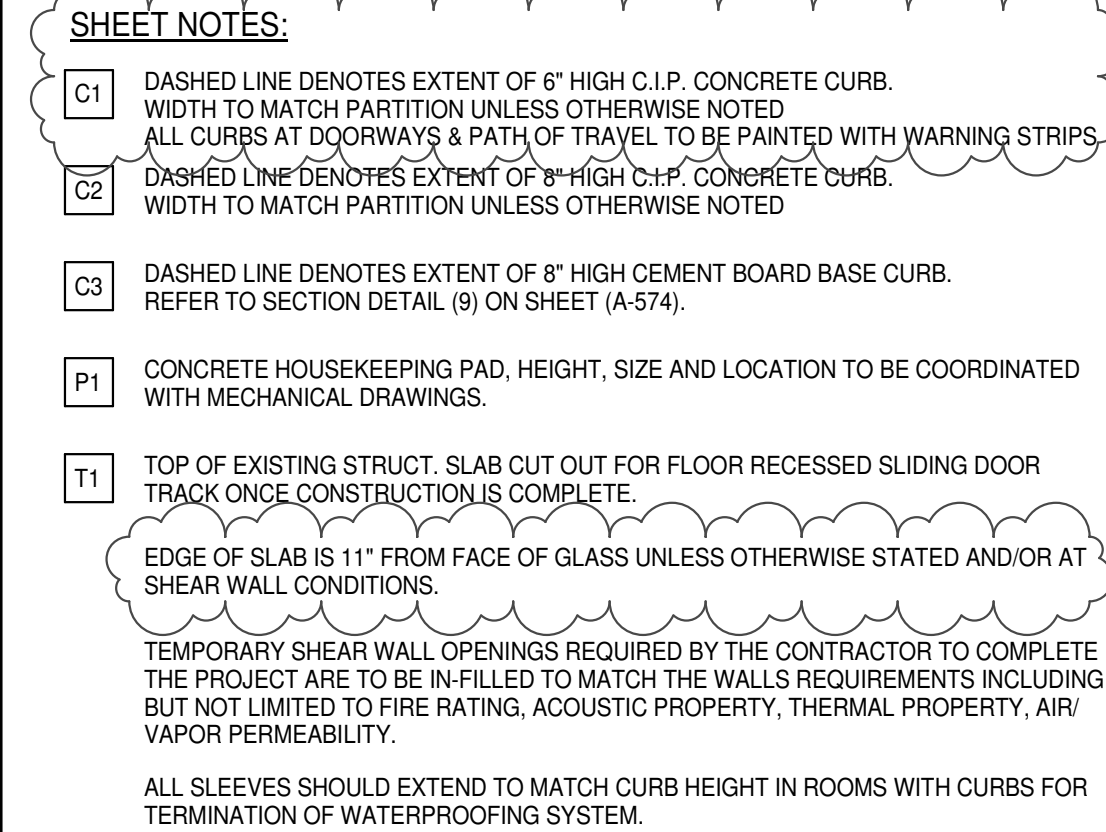
CONSULTANT:
AAI
 ARCHITECTS, P.C.

PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
96TH FLOOR PLAN (DAMPER)
(MFD-134TH FLOOR)

SEAL & SIGNATURE:
 PROJECT No: 1216-00
 DRAWN: Author
 CHECKED: Checker
 SCALE: 1/4" = 1'-0"
 DWG No: **A-166.02**

DOB PAGE No: 139 of 454
DOB 5-SCAN:



TEL: 212 759 6462		FAX: 212 759 6450	
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CONSULTANT:



PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

97TH FLOOR PLAN (MECHANICAL)
(MFD-135TH FLOOR)

SEAL & SIGNATURE:	DATE:	15 OCT 14
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	PROJECT No: 1216-00	
	DATE: 12/16/00	

	DRAWN: Author		REV:
	DATE: 10/10/2010		BY:

WIESEN
CHK: Checker 11

SCALE: 1/4" = 1'-0"

 DWG No: **A 107 00**

STAT No. 028881 **A-167.02**

DOB PAGE No: 140 of 454

DOB EMPLOYEE STAMP:	DOB B-SCAN:
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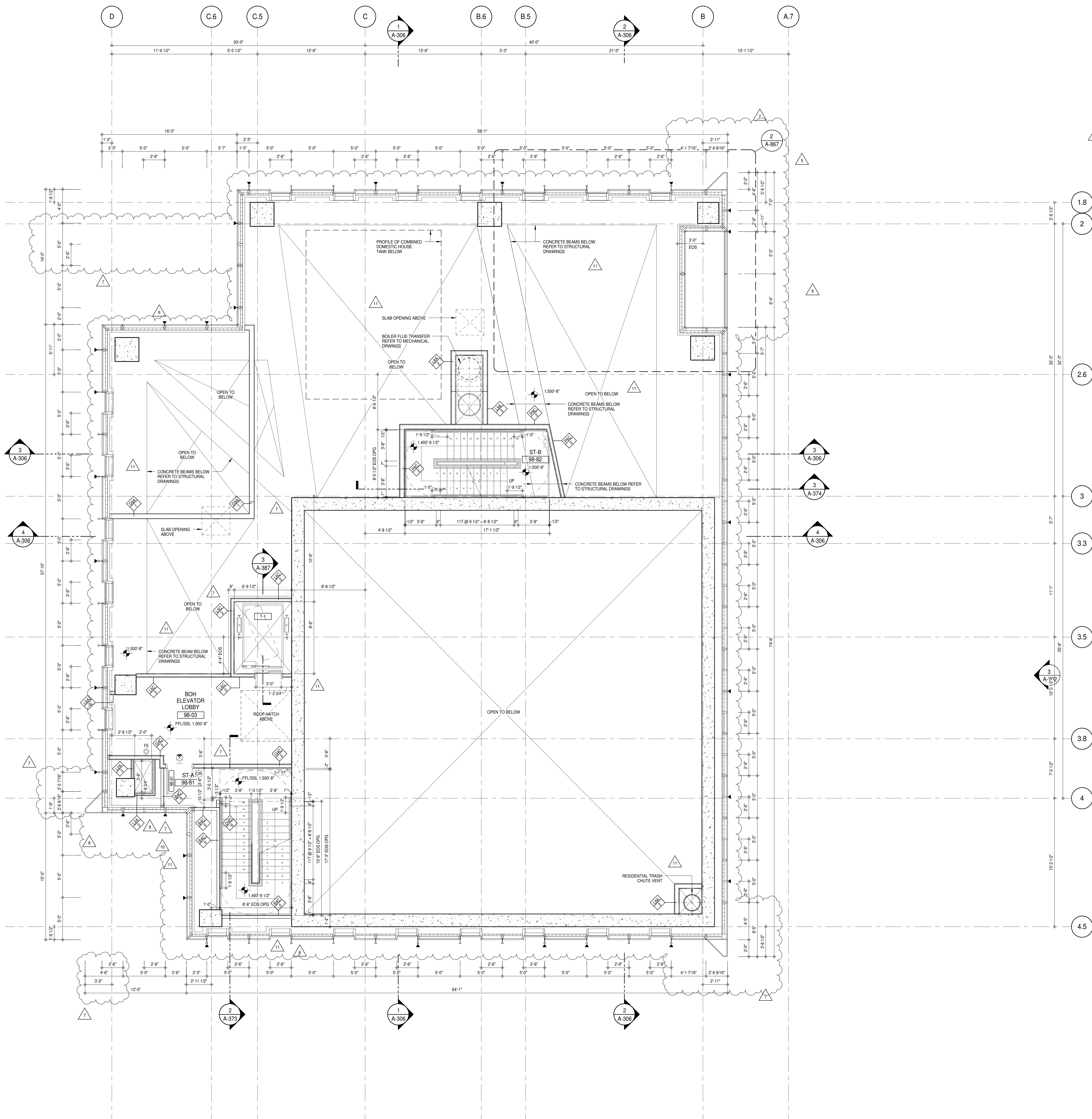
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SHEET NOTES:

01 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

02 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

03 DASHED LINE DENOTES EXTENT OF 6" HIGH CEMENT BOARD BASE CURB. REFER TO SECTION DETAIL (B) ON SHEET (A-574).

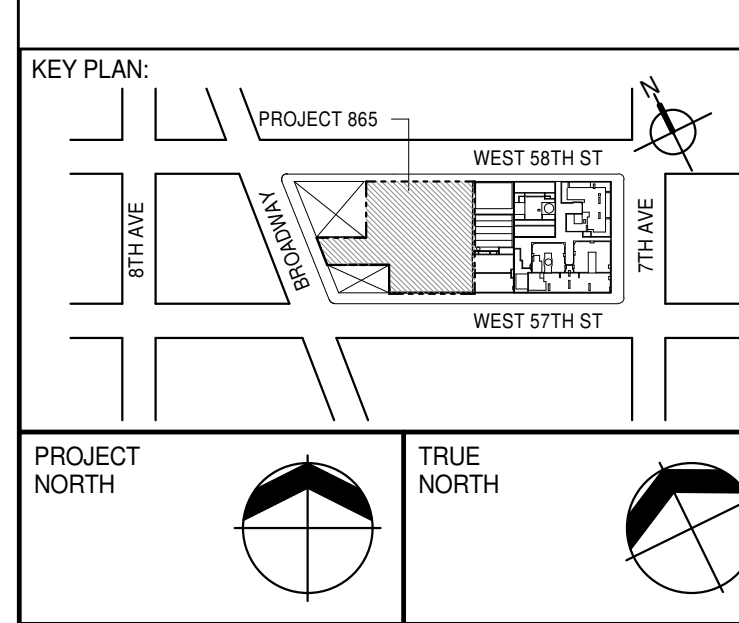
P1 CONCRETE HOUSEKEEPING PAD. HEIGHT, SIZE AND LOCATION TO BE COORDINATED WITH MECHANICAL DRAWINGS.

11 TOP OF EXISTING STRUCT. SLAB CUT OUT FOR FLOOR RECESSED SLIDING DOOR TRACK. ONCE CONSTRUCTION IS COMPLETE.

EDGE OF SLAB IS 11" FROM FACE OF GLASS UNLESS OTHERWISE STATED AND/OR AT SHEAR WALL CONDITIONS.

TEMPORARY SHEAR WALL OPENINGS REQUIRED BY THE CONTRACTOR TO COMPLETE THE PROJECT ARE TO BE FILLED TO MATCH THE WALLS REQUIREMENTS INCLUDING BUT NOT LIMITED TO FIRE RATING, ACOUSTIC PROPERTY, THERMAL PROPERTY, AIR VAPOR PERMEABILITY.

ALL SLEEVES SHOULD EXTEND TO MATCH CURB HEIGHT IN ROOMS WITH CURBS FOR TERMINATION OF WATERPROOFING SYSTEM.



PROJECT NORTH

DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: **AAI ARCHITECTS, P.C.**
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: **Rottet Architecture and Design Studio, PLLC**
288 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: **AAI ARCHITECTS, P.C.**
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS: **VSP CANTOR SEINUK**
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 887 8888 FAX: 646 487 5501

MEP ENGINEERS: **AKF GROUP**
165 Broadway, 22nd Floor
New York, NY 10008 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS: **Langan Engineering & Environmental Services**
21 Penn Plaza - 300 West 51st Street, 8th Floor
New York, NY 10001-2722
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS: **Construction Consulting Associates**
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT: **AJLP Consulting**
40 Worth Street, Suite 806
New York, NY 10013
TEL: 212 757 6550 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT: **Jan Hird Pokorny Associates, Inc.**
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6452 FAX: 212 759 6540

ISSUED AS A-165 - CD PROGRESS ISSUE 4 - 01 JUN 15 / ISSUED AS A-198 - CD PROGRESS ISSUE 5 - 08 MAR 15

15 OCT 14

19 DEC 14

18 FEB 15

09 MAR 15

27 APR 15

01 JUN 15

10 AUG 15

21 SEP 15

02 NOV 15

29 JAN 16

31 MAR 16

22 APR 16

14 SEP 16

03 OCT 16

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CONSULTANT:



PROJECT:

**217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE:

**98TH FLOOR PLAN (MECHANICAL)
(MFD-136TH FLOOR)**

SEAL & SIGNATURE:

DATE: 15 OCT 14

PROJECT No: 1216-00

DRAWN: Author

CHECKED: Checker

SCALE: 1/4" = 1'-0"

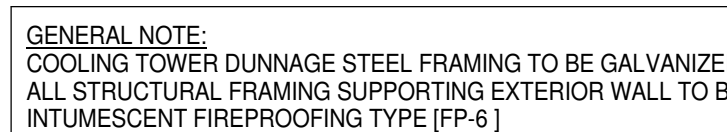
DWG No:

A-168.01

DOB PAGE No: 141 of 454

DOB EMPLOYEE STAMP:

DOB 5-SCAN:



1	DASHED LINE DEVOTES EXTENT OF 9" HIGH CIP CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.
2	GLASS AT CORNERS & PAI OF TRAY TO BE PAINTED WITH WARNING STRIPS.
3	DASHED LINE DEVOTES EXTENT OF HIGH CIP CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.
4	DASHED LINE DEVOTES EXTENT OF 8" HIGH CEMENT BOARD BASE CURB. REFER TO SECTION DETAIL (9) ON SHEET A-574.
5	CONCRETE-HOEWERING PAD, HEIGHT, SIZE AND LOCATION TO BE COORDINATED WITH MECHANICAL DRAWWING.
6	TOP OF EXISTING STRUCT. SLAB OUT CUT FOR FLOOR RECESSED SLIDING DOOR TRACK ONCE CONSTRUCTION IS COMPLETE.
7	EDGE OF SLAB IS 1" FROM FACE OF GLASS UNLESS OTHERWISE STATED AND/OR AT SHEAR WALL CONDITIONS.
8	TEMPORARY SHEET WALL OPENINGS REQUIRED BY THE CONTRACTOR TO COMPLETE THE TRAY SHALL BE IN THE WALLS OF THE WALLS REQUIRED TO BE REMOVED, BUT NOT LIMITED TO FIRE RATING, ACUSTIC PROPERTY, THERMAL PROPERTY, AIR VAPOR PERMEABILITY.
9	ALL GLEVES SHOULD EXTEND TO MATCH CURB HEIGHT IN ROOMS WITH CURBS FOR CURB TO MATCH WATERBENCH.

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

MEP ENGINEERS:

AKF GROUP
165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5666 FAX: 212 354 5668

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007

TEL: 212 757 5659 FAX: 646 219 8508
LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018

2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
	D.O.B. SUBMISSION	27 APR 15
5	CD PROGRESS ISSUE 4	01 JUN 15

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D.O.B. SUBMISSION

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CONSULTANT



AAI
ARCHITECTS, P.C.


PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

99TH FLOOR PLAN (ROOF
FLOOR ROOF

SEAL & SIGNATURE:	DATE:	15 OCT 1
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	DATE:	10/03/11
	PROJECT No:	1216-0

	DRAWN: Author	REV:



CHK: _____	Checker
SCALE: 1/4" = 1/2" 1/8" = 1/8"	

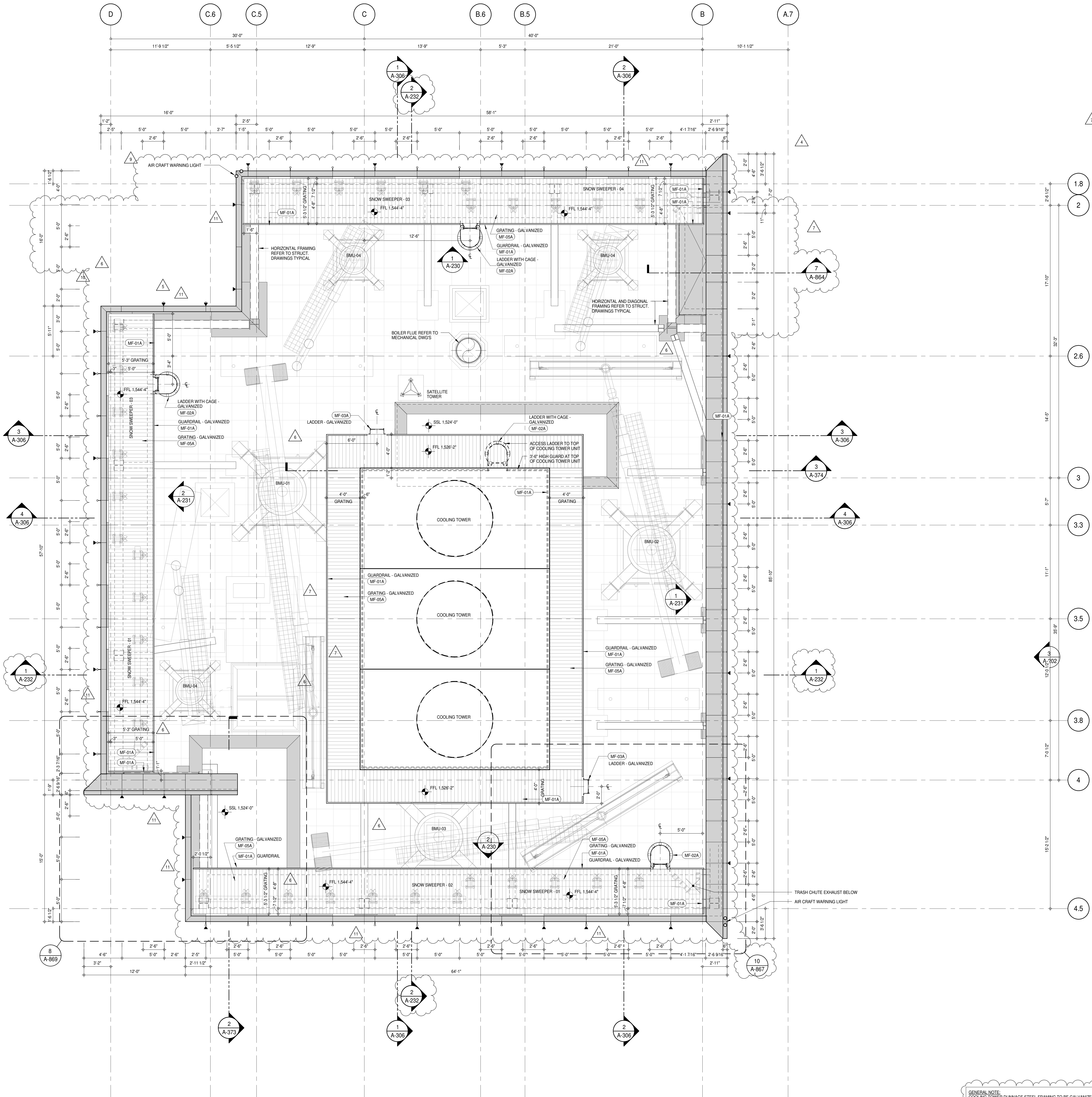
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A-169 01

STATE OF NEW YORK

DOB PAGE No: 142 of 454	
DOB EMPLOYEE STAMP:	DOB B-SCAN:



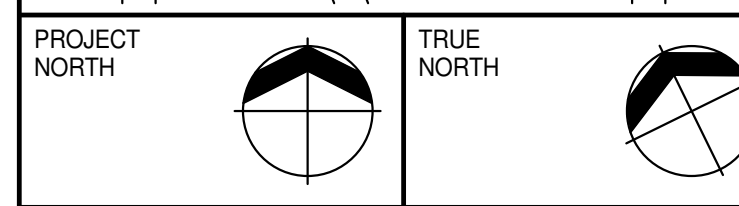
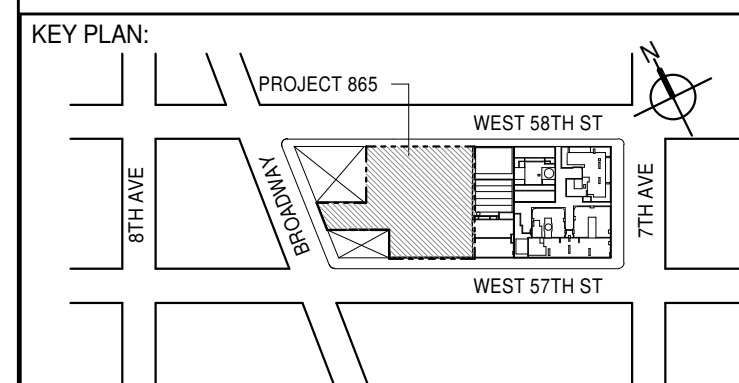
SHEET NOTES:

01 DASHED LINE DENOTES EXTENT OF 6\"/>

KEYNOTE LEGEND:

TAB #	DESCRIPTION
MF-01A	GUARDRAIL - GALVANIZED
MF-02A	LADDER WITH CAGE - GALVANIZED
MF-03A	LADDER - GALVANIZED
MF-05A	GRATING - GALVANIZED

GENERAL NOTE:
COOLING TOWER DRAINAGE STEEL FRAMING TO BE GALVANIZED
ALL STRUCTURAL FRAMING SUPPORTING EXTERIOR WALL TO BE
INTUMESCENT FIREPROOFING TYPE (F-1)



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rotter Architecture and Design Studio, PLLC
298 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
401 West 57th St, 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
VSP CANTOR SEINUK
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 887 8888 FAX: 646 487 5501

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AKF GROUP
165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 300 West 57th Street, 9th Floor
New York, NY 10001-2722
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

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AJLP Consulting
40 Worth Street, Suite 806
New York, NY 10013
TEL: 212 757 6559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 57th Street, 12A
New York, NY 10019
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 2	19 DEC 14
2	D.O.B. SUBMISSION	18 FEB 15
3	CD PROGRESS ISSUE 3	09 MAR 15
4	D.O.B. SUBMISSION	27 APR 15
5	CD PROGRESS ISSUE 4	01 JUN 15
6	D.O.B. AMENDMENT 2	21 SEP 15
7	CD PROGRESS ISSUE 5	02 NOV 15
8	CD PROGRESS ISSUE 6	29 JAN 16
9	CD PROGRESS ISSUE 7	18 MAR 16
10	CD PROGRESS ISSUE 8 MEP - GMP SET	31 MAR 16
11	CD BULLETIN ISSUE - 2	11 MAY 16
12	D.O.B. AMENDMENT 3	03 OCT 16

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D.O.B. SUBMISSION

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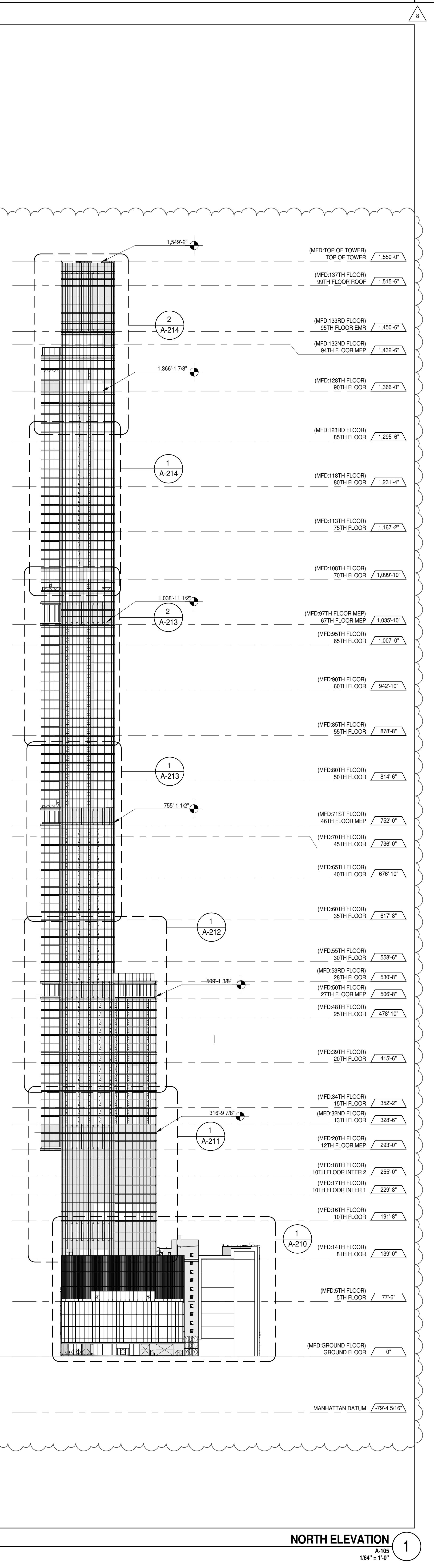
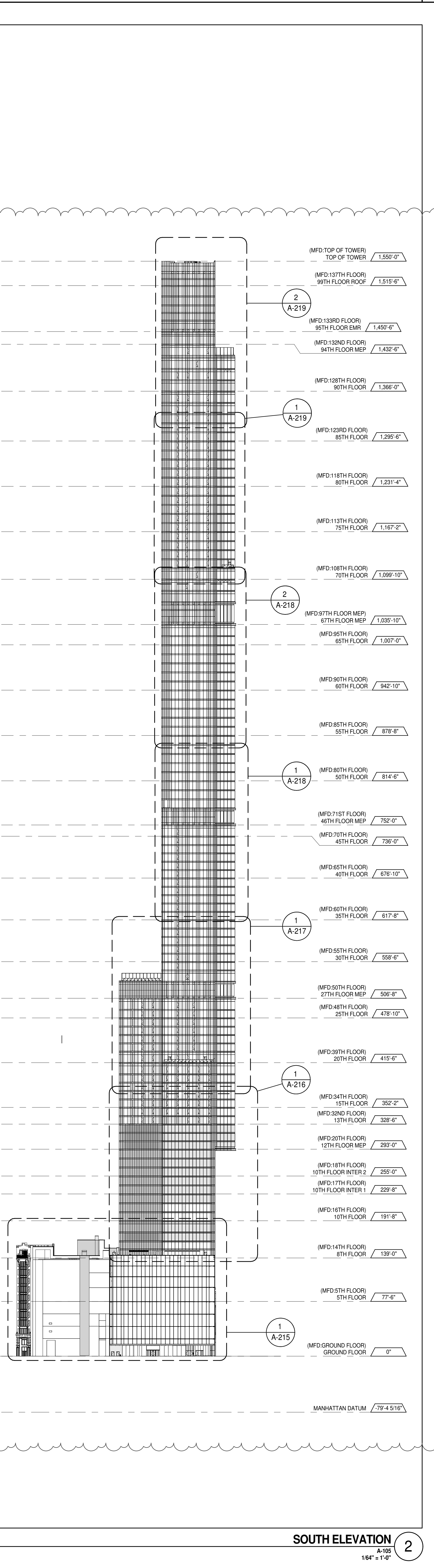
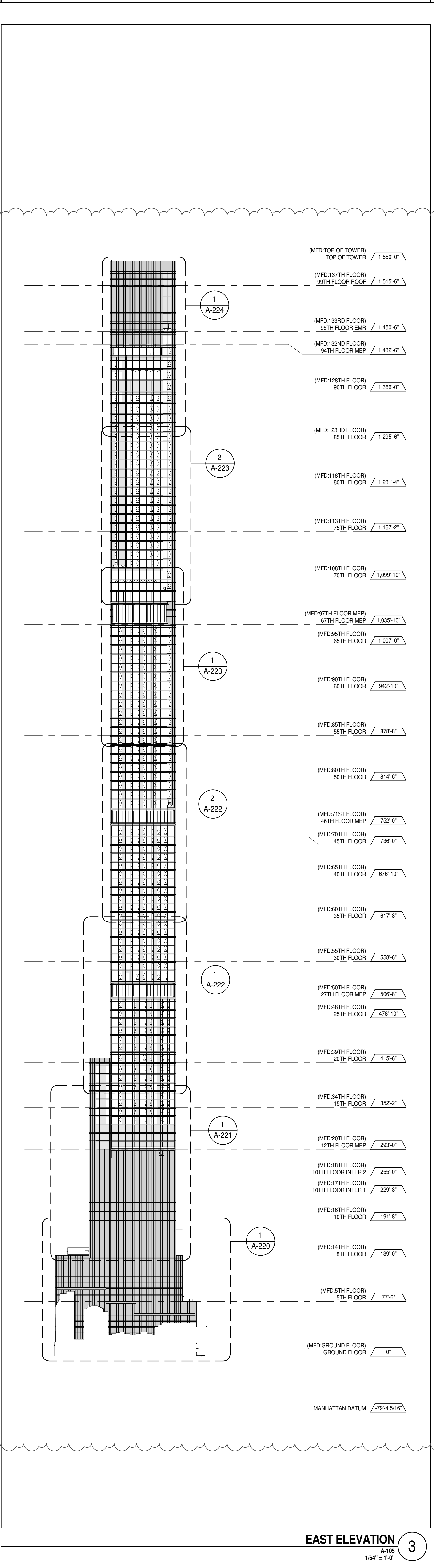
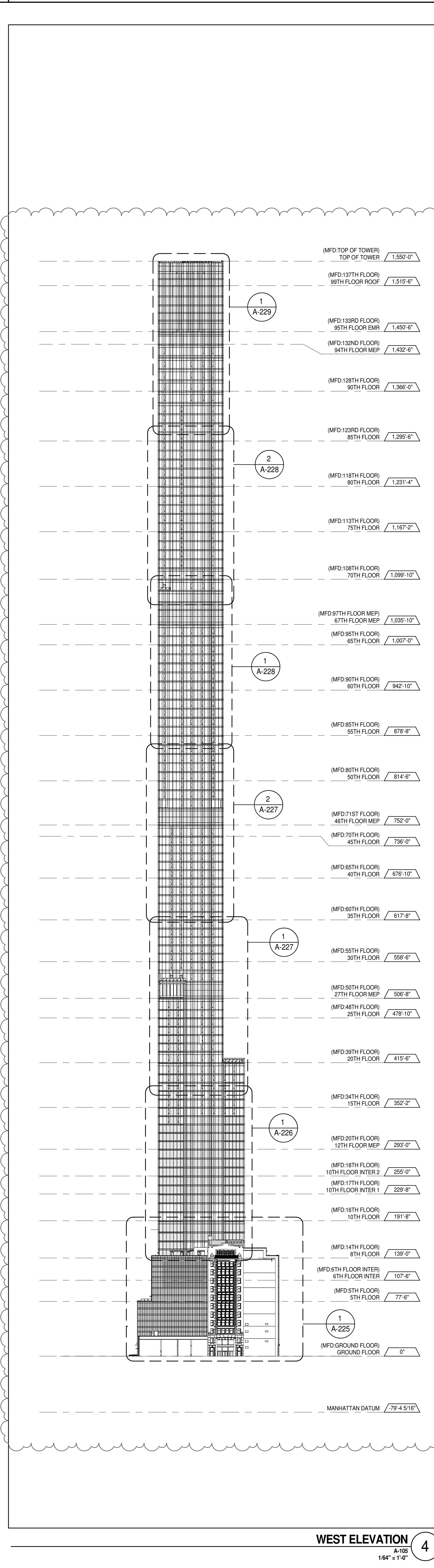
ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:
AAI
ARCHITECTS, P.C.

PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
BMU PLATFORM FLOOR PLAN (MFD-BMU PLATFORM)

SEAL & SIGNATURE 	DATE: 19 DEC 14 PROJECT No: 1216-00 DRAWN: Author CHECKED: Checker SCALE: 1/4" = 1'-0" DWG No: A-170.01
DOB PAGE No: 143 of 154	DOB 5-SCAN:



KEY PLAN

PROJECT NORTH

DEVELOPER: EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
238 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
401 Westchester St., 2nd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1530 FAX: 416 967 7150

STRUCTURAL ENGINEER:
VSP CANTOR SEINUK
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 887 2885 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5655 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 350 West 51st Street, 9th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 North Street, Suite 806
New York, NY 10013
TEL: 212 757 5559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 57th Street, 12A
New York, NY 10019
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	D.O.B. SUBMISSION	05 DEC 14
3	CD PROGRESS ISSUE 2	19 DEC 14
4	D.O.B. SUBMISSION	18 FEB 15
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8	CD PROGRESS ISSUE 6	02 NOV 15
9	CD PROGRESS ISSUE 7	29 JAN 16
10	CD ISSUE 8 - GMP SET	31 MAR 16
	D.O.B. AMENDMENT 3	03 OCT 16

0 32'-0" 64'-0" 128'-0"

D.O.B. SUBMISSION

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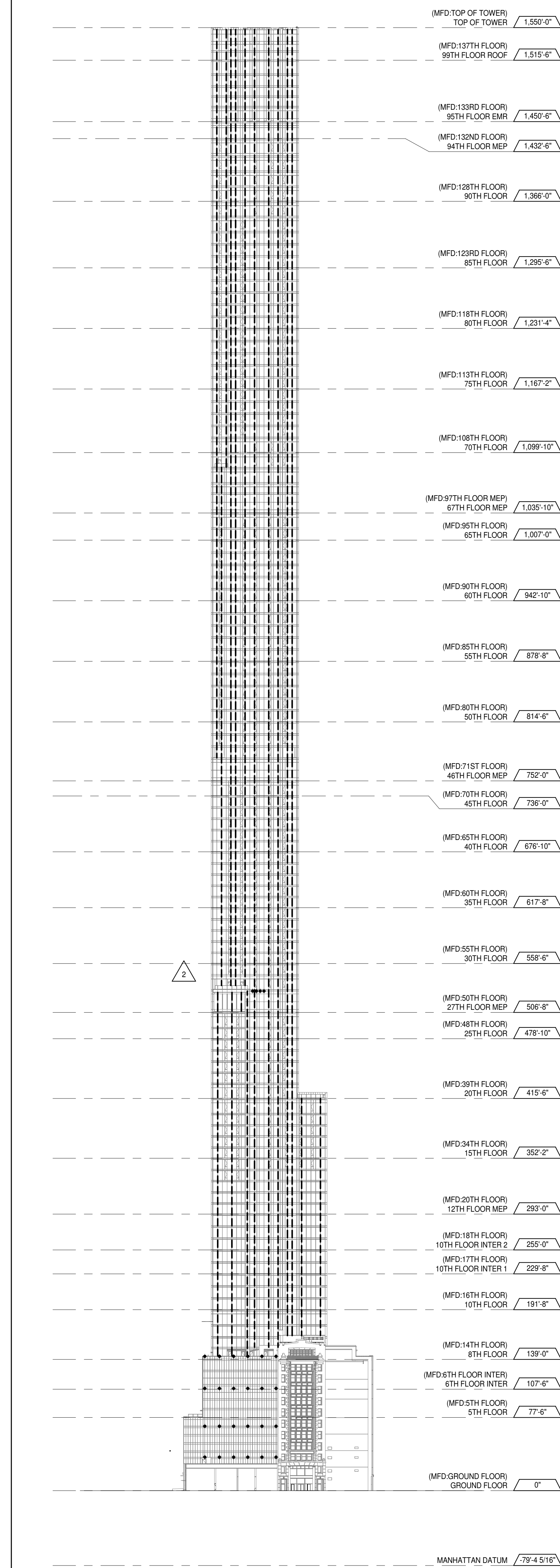
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CONSULTANT: **AAI ARCHITECTS, P.C.**

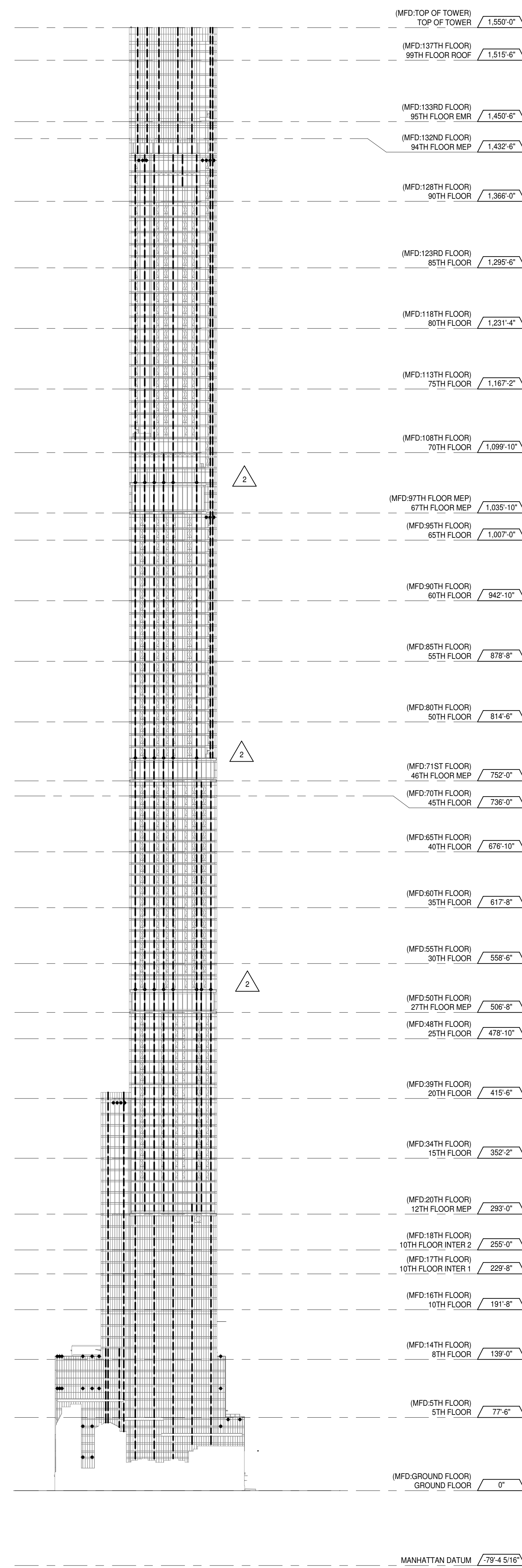
PROJECT: 217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE: OVERALL BUILDING ELEVATIONS

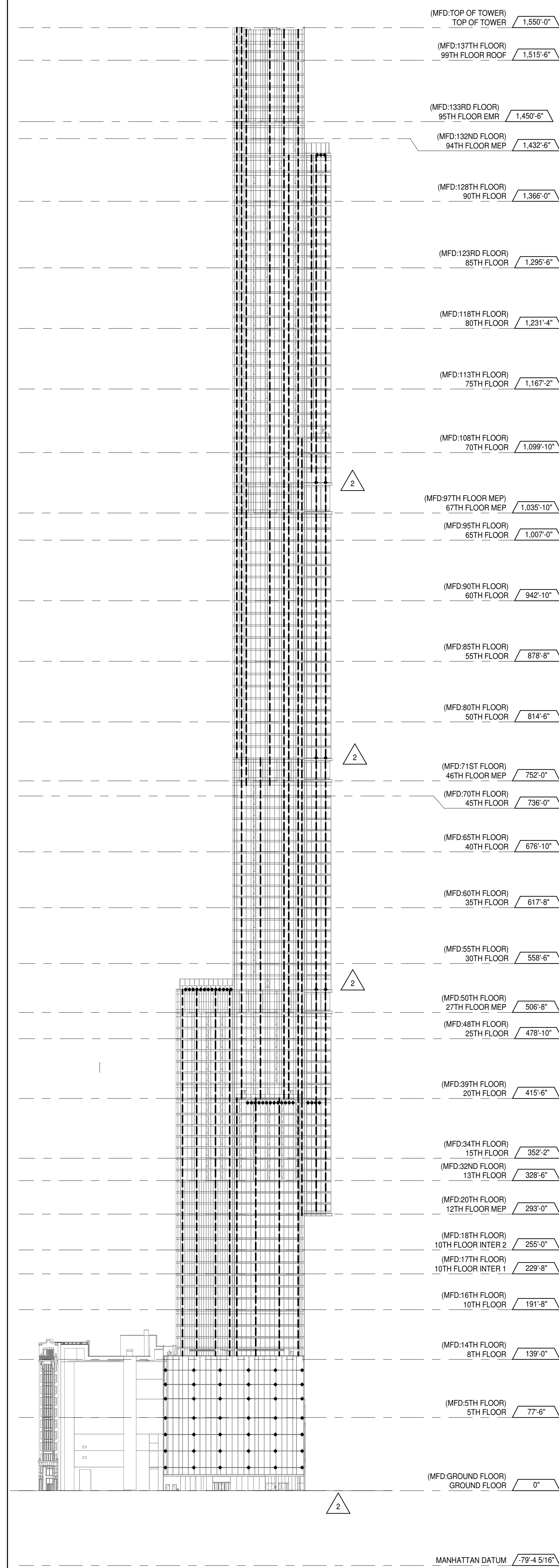
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PROJECT No: 1216-00
DRAWN: Author
CHECKED: Checker
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DWG No: **A-202.02**
DOB PAGE No: 144 of 454
DOB 5-SCAN:



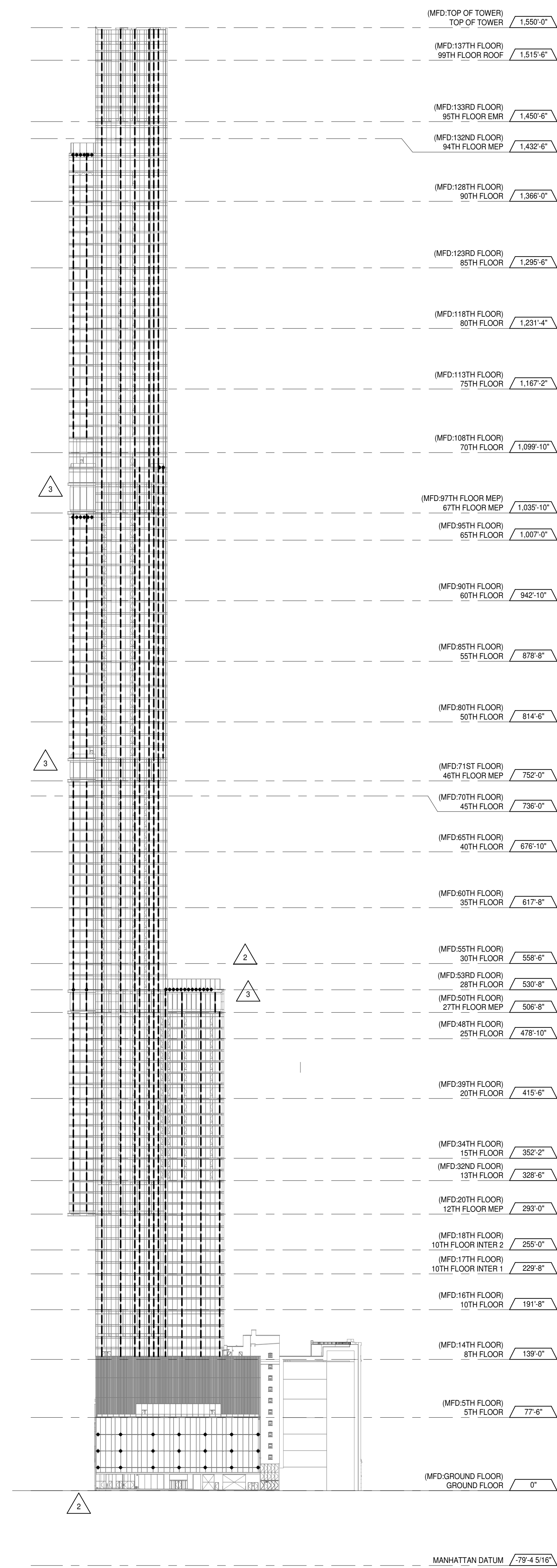
WEST ELEVATION 4



EAST ELEVATION 3

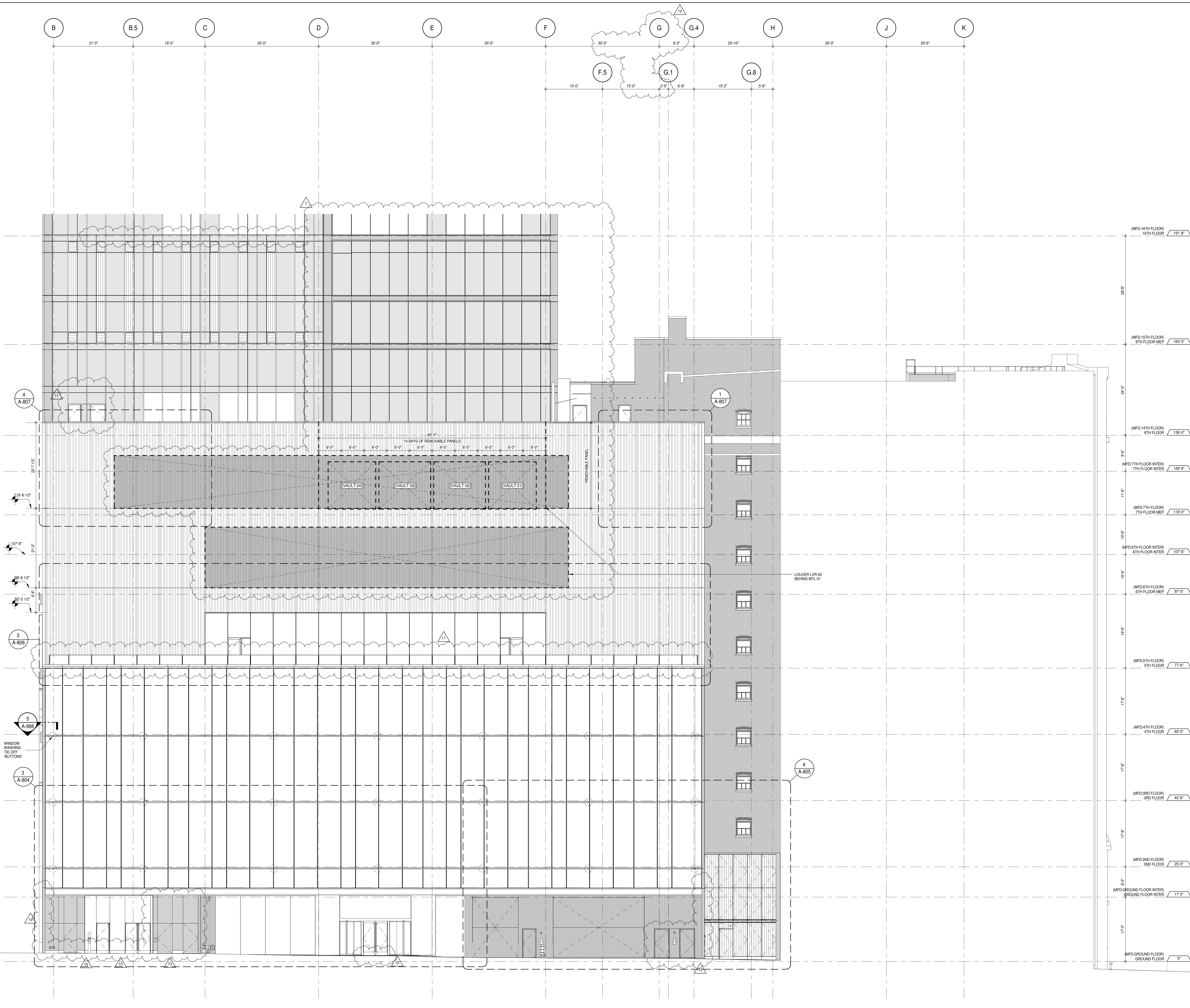


SOUTH ELEVATION 2
1/8" = 1'-0"

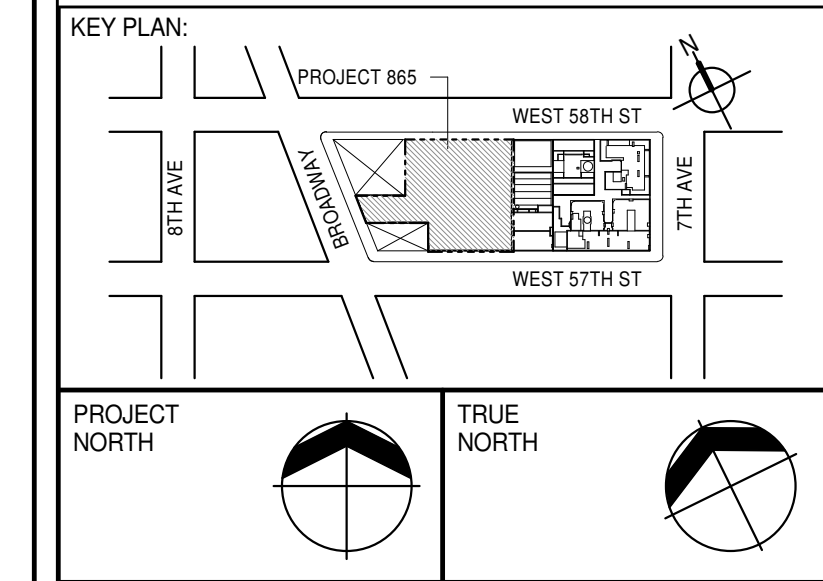


NORTH ELEVATION 1
1/64" = 1'-0"

[illegible]



PARTIAL ELEVATION - NORTH
 1
 1/8" = 1'-0"



DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
 805 THIRD AVENUE, 7TH FLOOR
 NEW YORK, NY 10022 USA
 TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: **Base Building Shell & Core**
ADRIAN SMITH + GORDON GILL ARCHITECTURE
 111 WEST MONROE STREET SUITE 2300
 CHICAGO, IL 60603
 TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: **Residential**
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 288 Fifth Ave, 7th Floor
 New York, NY 10001
 TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: **Base Building Shell, Core, & Residential**
AJL ARCHITECTS, P.C.
 401 Wellington St. W., 3rd Floor
 Toronto, ON M5V 1E7 Canada
 TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS: **WSP CANTOR SEINUK**
 228 EAST 45th Street
 New York, NY 10017 USA
 TEL: 212 887 8888 FAX: 646 487 5501

MEP ENGINEERS: **AKF GROUP**
 165 Broadway, 22nd Floor
 New York, NY 10006 USA
 TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS: **Langan Engineering & Environmental Services**
 21 Penn Plaza - 300 West 57th Street, 9th Floor
 New York, NY 10001-2722
 TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS: **Construction Consulting Associates**
 100 Church Street
 New York, NY 10007
 TEL: 212 385 1918 FAX: 212 385 1911

CURTAINWALL CONSULTANT: **AJLP Consulting**
 40 Worth Street, Suite 826
 New York, NY 10013
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LANDMARK/PRESERVATION CONSULTANT: **Jan Hird Pokorny Associates, Inc.**
 39 West 57th Street, 12A
 New York, NY 10019
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8	CD PROGRESS ISSUE 5	10 AUG 15
9	D.O.B. AMENDMENT 2	21 SEP 15
10	CD PROGRESS ISSUE 6	02 NOV 15
11	CD PROGRESS ISSUE 7	29 JAN 16
12	CD ISSUE 8 - GMP SET	31 MAR 16
13	CD BULLETIN ISSUE - 1	22 APR 16
14	CD BULLETIN ISSUE - 2	11 MAY 16
15	ASI ISSUE - 1	18 MAY 16
16	CD BULLETIN ISSUE - 4	15 JUL 16
17	D.O.B. AMENDMENT 3	03 OCT 16

0 4' - 0" 8' - 0" 16' - 0"

D.O.B. SUBMISSION

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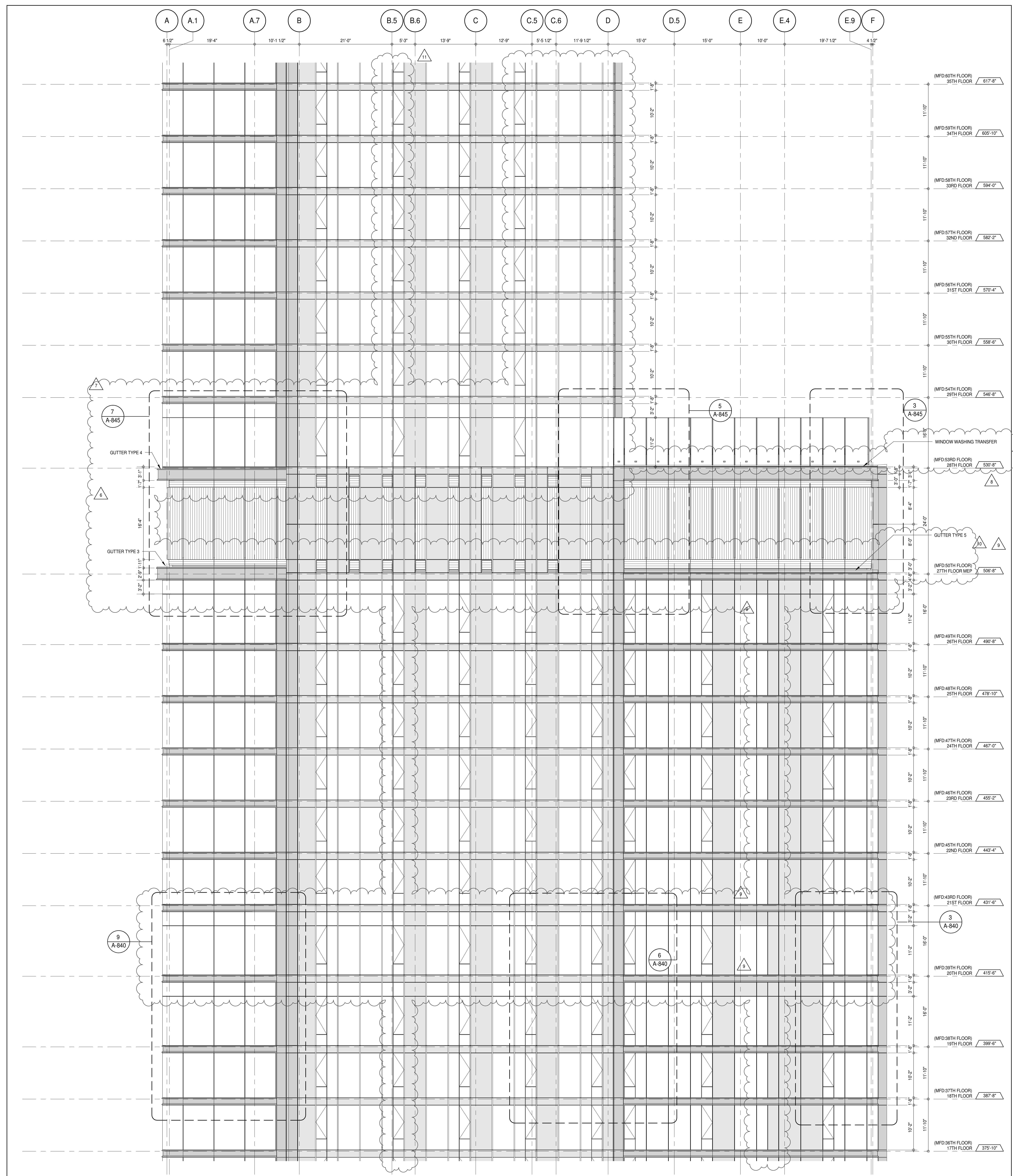


PROJECT: **217 WEST 57TH STREET**
 NEW YORK, NY

DRAWING TITLE:

PARTIAL ELEVATION - NORTH

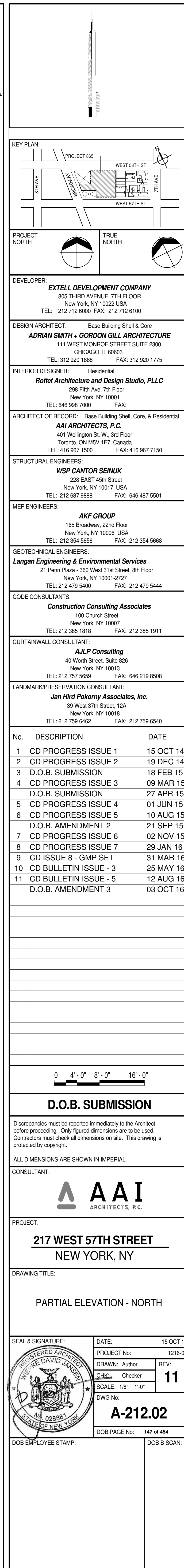
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	A-210.03
DOB PAGE No:	166 of 454
DOB EMPLOYEE STAMP:	DOB S-SCAN:

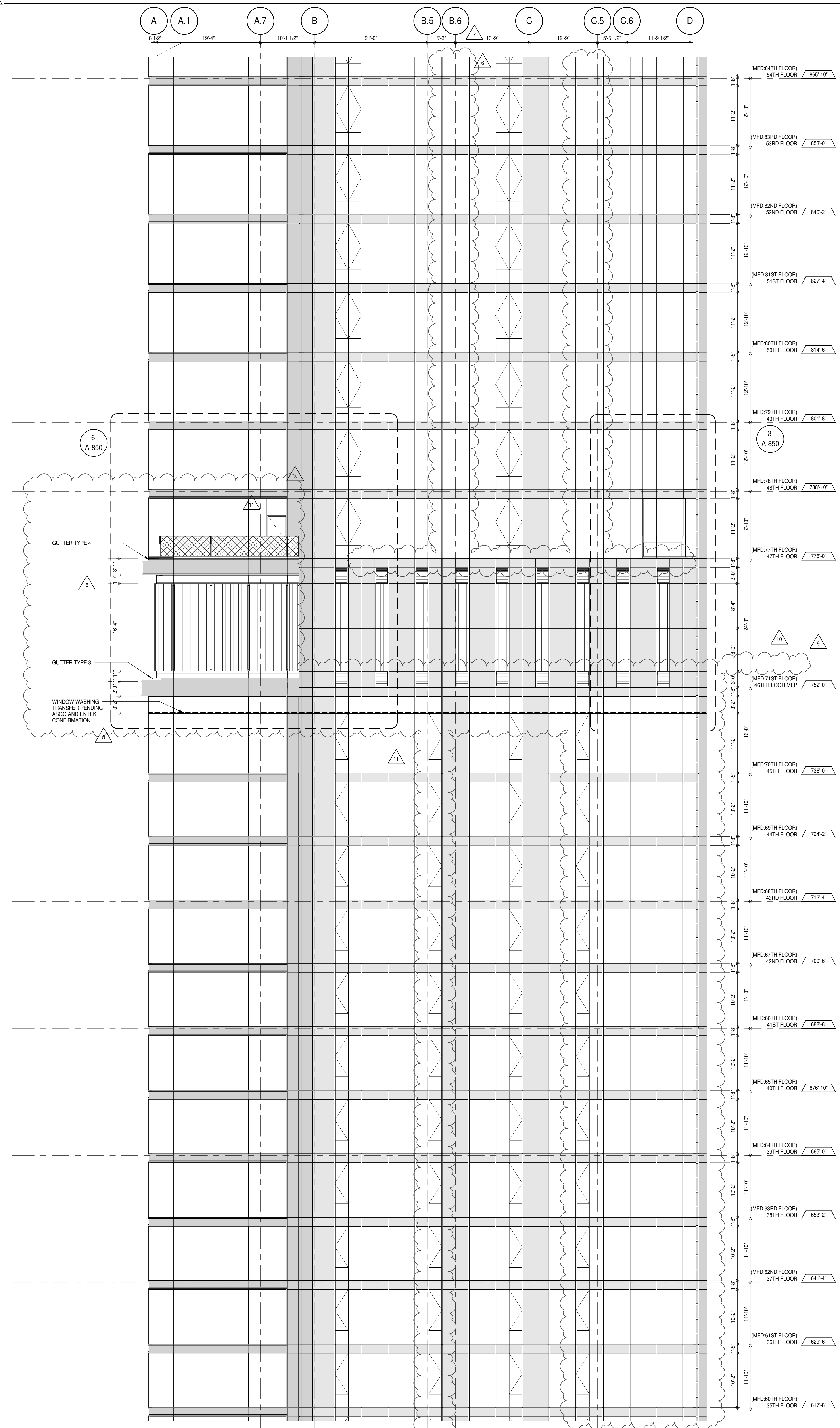
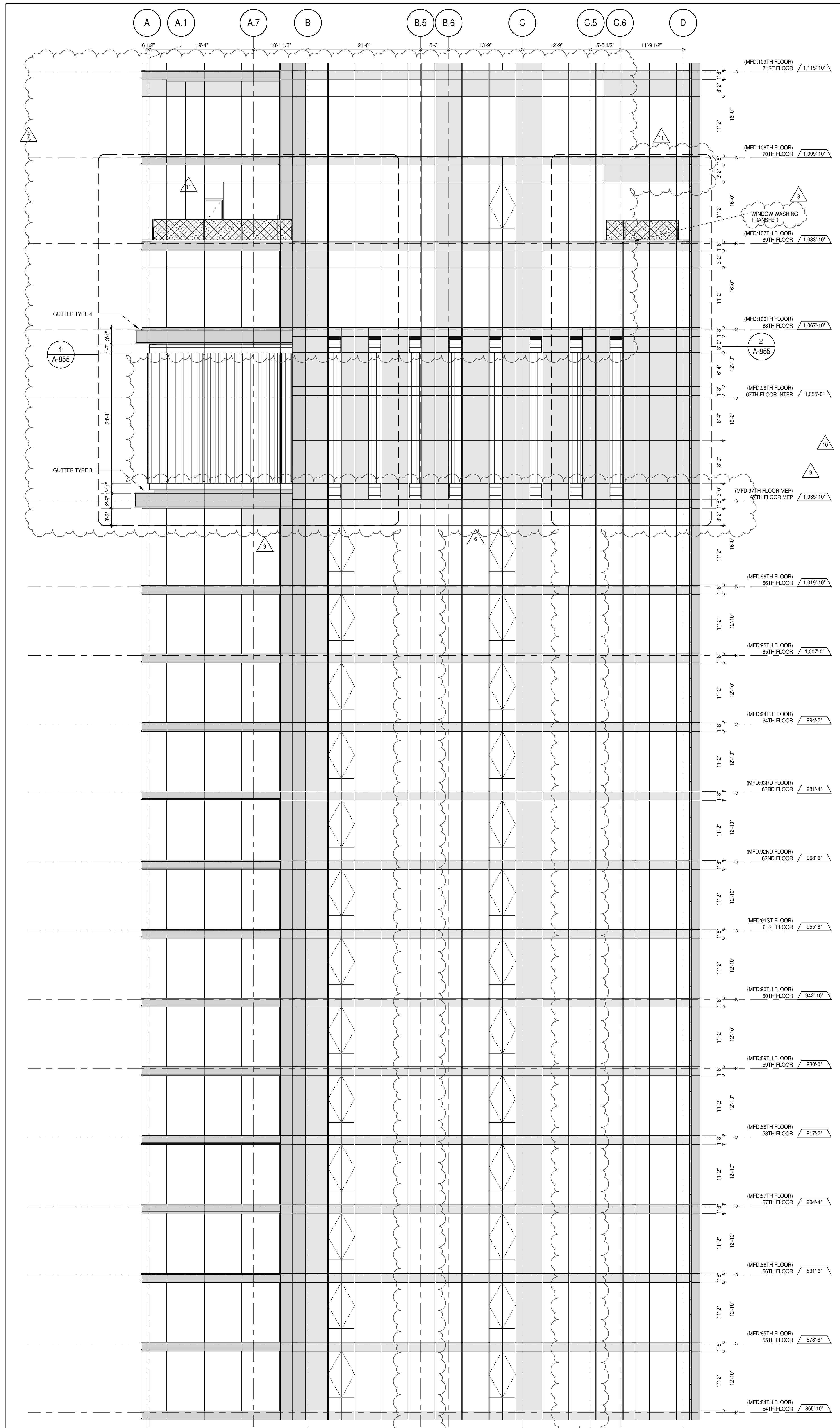


PARTIAL ELEVATION - NORTH

A-202
1/8" = 1'-0"

1





DEPT OF BUILDINGS 21532025 Job Number 2307632500 2307632500

KEY PLAN:
 PROJECT #65
 WEST 90TH ST
 WEST 87TH ST
 WEST 84TH ST
 WEST 81ST ST
 WEST 78TH ST
 WEST 75TH ST
 WEST 72TH ST
 WEST 69TH ST
 WEST 66TH ST
 WEST 63TH ST
 WEST 60TH ST
 WEST 57TH ST
 WEST 54TH ST
 WEST 51ST ST
 WEST 48TH ST
 WEST 45TH ST
 WEST 42TH ST
 WEST 39TH ST
 WEST 36TH ST
 WEST 33TH ST
 WEST 30TH ST
 WEST 27TH ST
 WEST 24TH ST
 WEST 21ST ST
 WEST 18TH ST
 WEST 15TH ST
 WEST 12TH ST
 WEST 9TH ST
 WEST 6TH ST
 WEST 3TH ST
 WEST 0TH ST
 TRUE NORTH

PROJECT NORTH

DEVELOPER:
EXTELL DEVELOPMENT COMPANY
 805 THIRD AVENUE, 7TH FLOOR
 NEW YORK, NY 10022 USA
 TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT:
ADRIAN SMITH + GORDON GILL ARCHITECTURE
 111 WEST MONROE STREET SUITE 2300
 CHICAGO, IL 60603
 TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER:
Rotter Architecture and Design Studio, PLLC
 228 Fifth Ave, 7th Floor
 New York, NY 10001
 TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD:
AAI ARCHITECTS, P.C.
 401 Westchester St., 2nd Floor
 Toronto, ON M5V 1E7 Canada
 TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
VSP CANTOR SEINUK
 228 EAST 45th Street
 New York, NY 10017 USA
 TEL: 212 887 8885 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
 165 Broadway, 22nd Floor
 New York, NY 10006 USA
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 TEL: 212 757 5559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
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 39 West 37th Street, 12A
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8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	CD BULLETIN ISSUE - 3	25 MAY 16
13	CD BULLETIN ISSUE - 5	12 AUG 16
14	D.O.B. AMENDMENT 3	03 OCT 16

0 4'-0" 8'-0" 16'-0"

D.O.B. SUBMISSION

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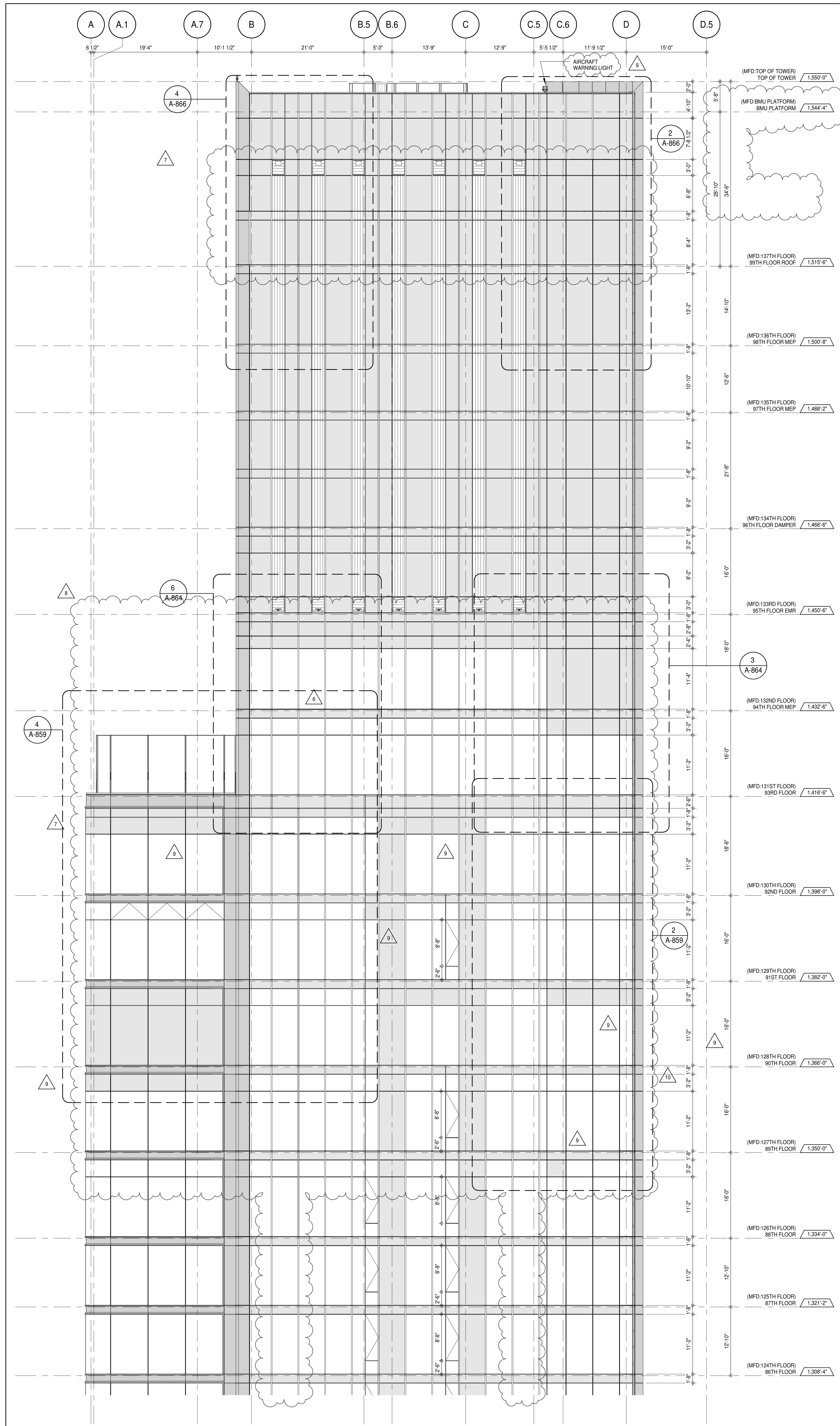
ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:
AAI
 ARCHITECTS, P.C.

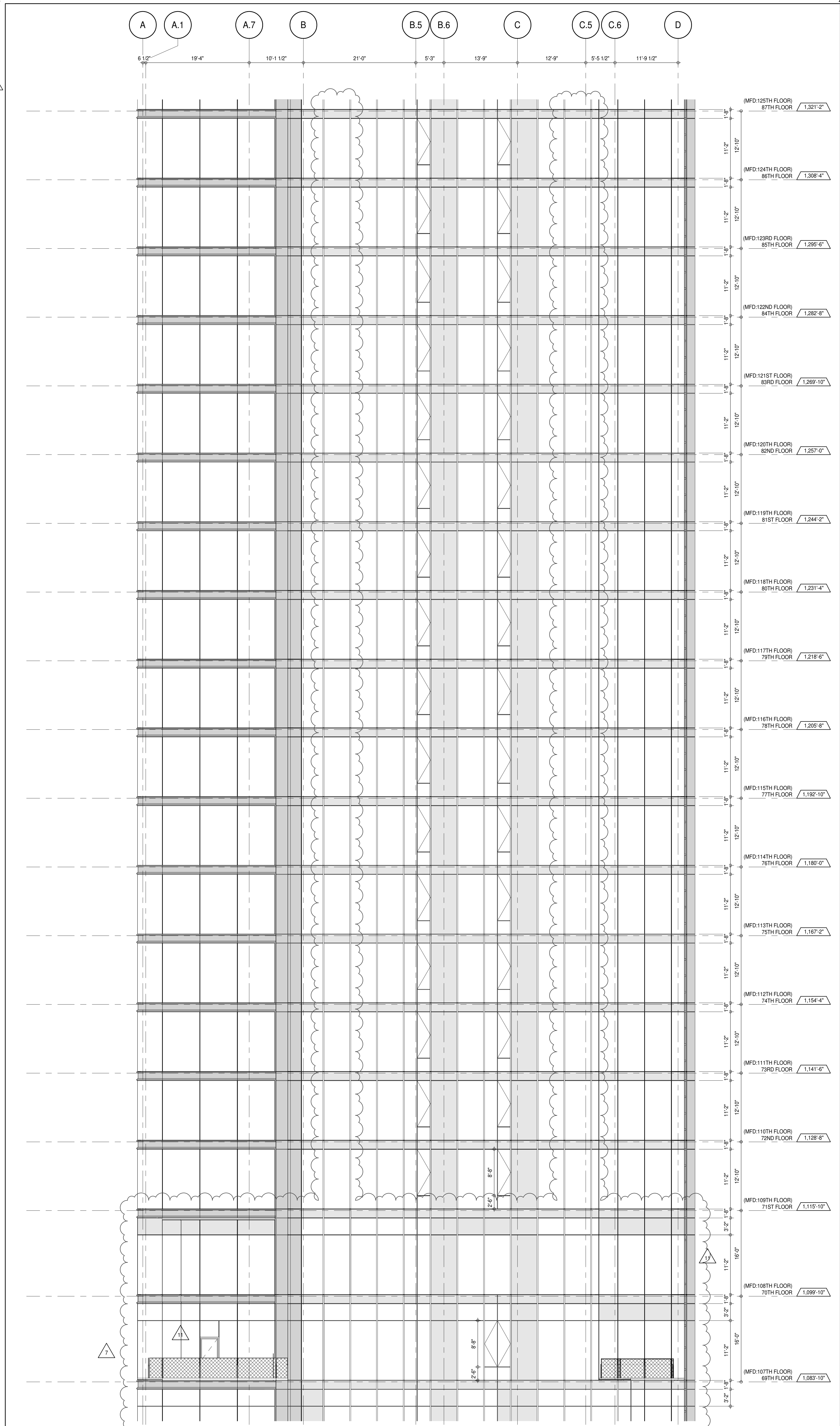
PROJECT:
217 WEST 57TH STREET
 NEW YORK, NY

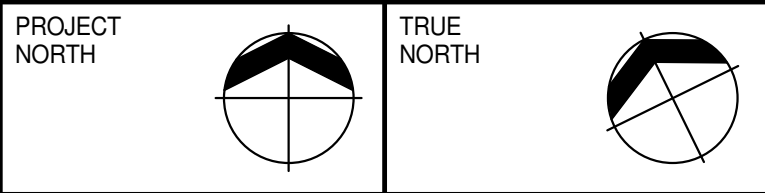
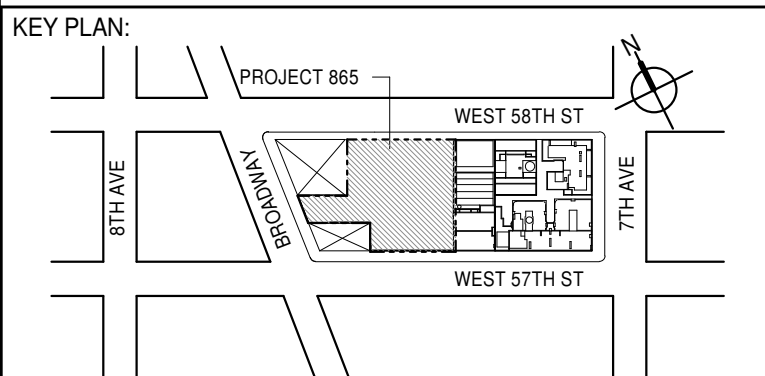
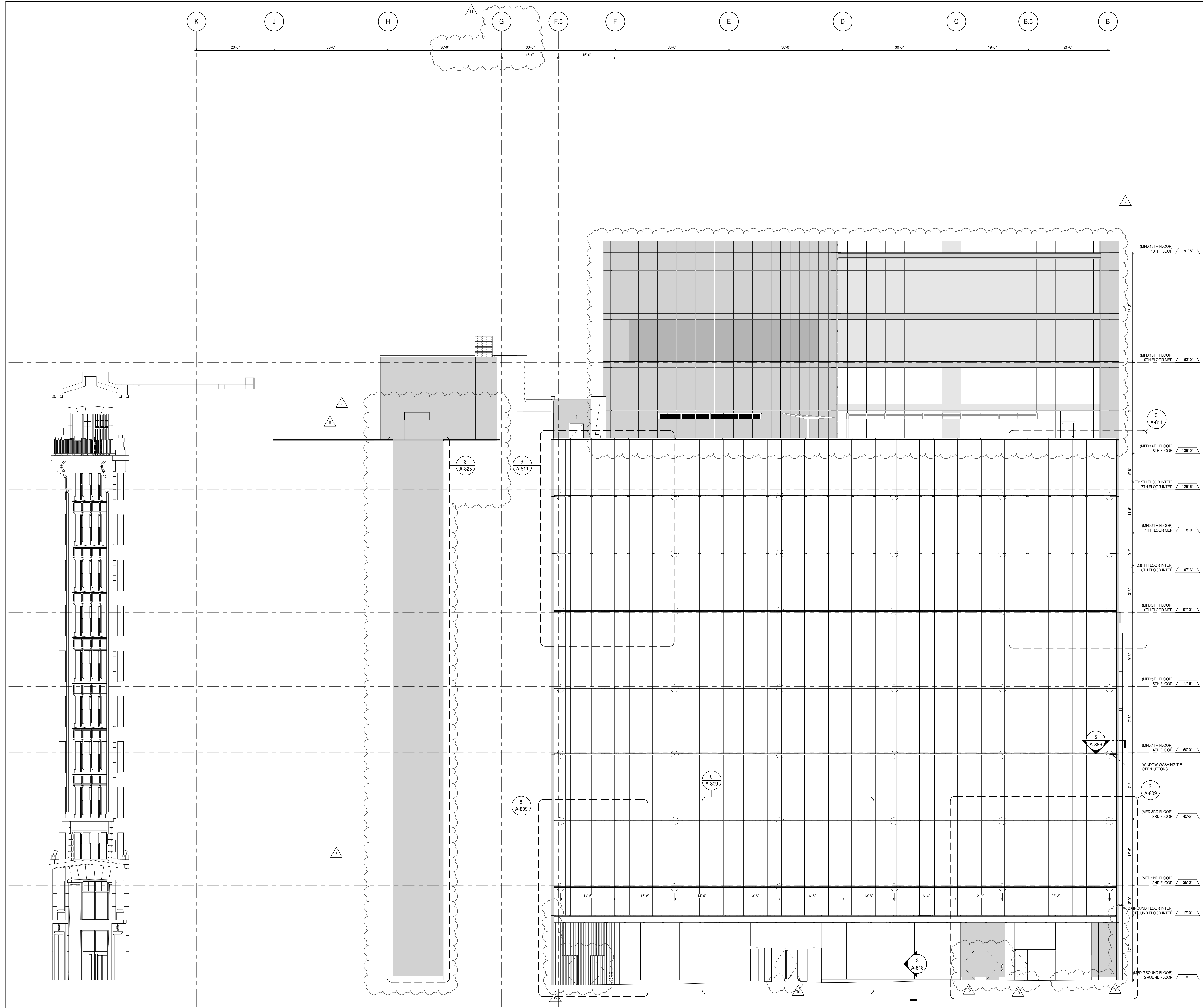
DRAWING TITLE:
PARTIAL ELEVATIONS - NORTH

SEAL & SIGNATURE:
 PROJECT No: 1216-00
 DATE: 15 OCT 14
 DRAWN: Author
 CHECKED: Checker
 SCALE: 1/8" = 1'-0"
 DWG No: **A-213.02**
 DOB PAGE No: 148 of 454
 DOB 5-SCAN:



PARTIAL ELEVATION - NORTH (2) 1/8" = 1'-0"





DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: **AAI ARCHITECTS, P.C.**
Base Building Shell & Core
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: **Rottet Architecture and Design Studio, PLLC**
228 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: **AAI ARCHITECTS, P.C.**
Base Building Shell, Core, & Residential
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS: **VSP CANTOR SEINUK**
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 887 8888 FAX: 646 487 5501

MEP ENGINEERS: **AKF GROUP**
165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS: **Langan Engineering & Environmental Services**
21 Penn Plaza - 360 West 37th Street, 9th Floor
New York, NY 10001-2722
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS: **Construction Consulting Associates**
100 Church Street
New York, NY 10007
TEL: 212 385 1912 FAX: 212 385 1911

CURTAINWALL CONSULTANT: **AJLP Consulting**
40 Worth Street, Suite 808
New York, NY 10013
TEL: 212 757 6559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT: **Jan Hird Pokorny Associates, Inc.**
39 West 37th Street, 12A
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7	D.O.B. AMENDMENT 1	24 JUL 15
8	CD PROGRESS ISSUE 5	10 AUG 15
9	D.O.B. AMENDMENT 2	21 SEP 15
10	CD PROGRESS ISSUE 6	02 NOV 15
11	D.O.B. AMENDMENT 3	03 OCT 16

0 4' - 0" 8' - 0" 16' - 0"

D.O.B. SUBMISSION

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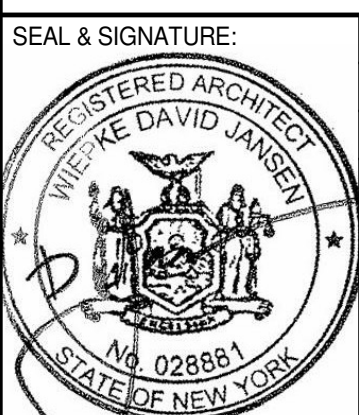
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PROJECT: **217 WEST 57TH STREET**
NEW YORK, NY

DRAWING TITLE:

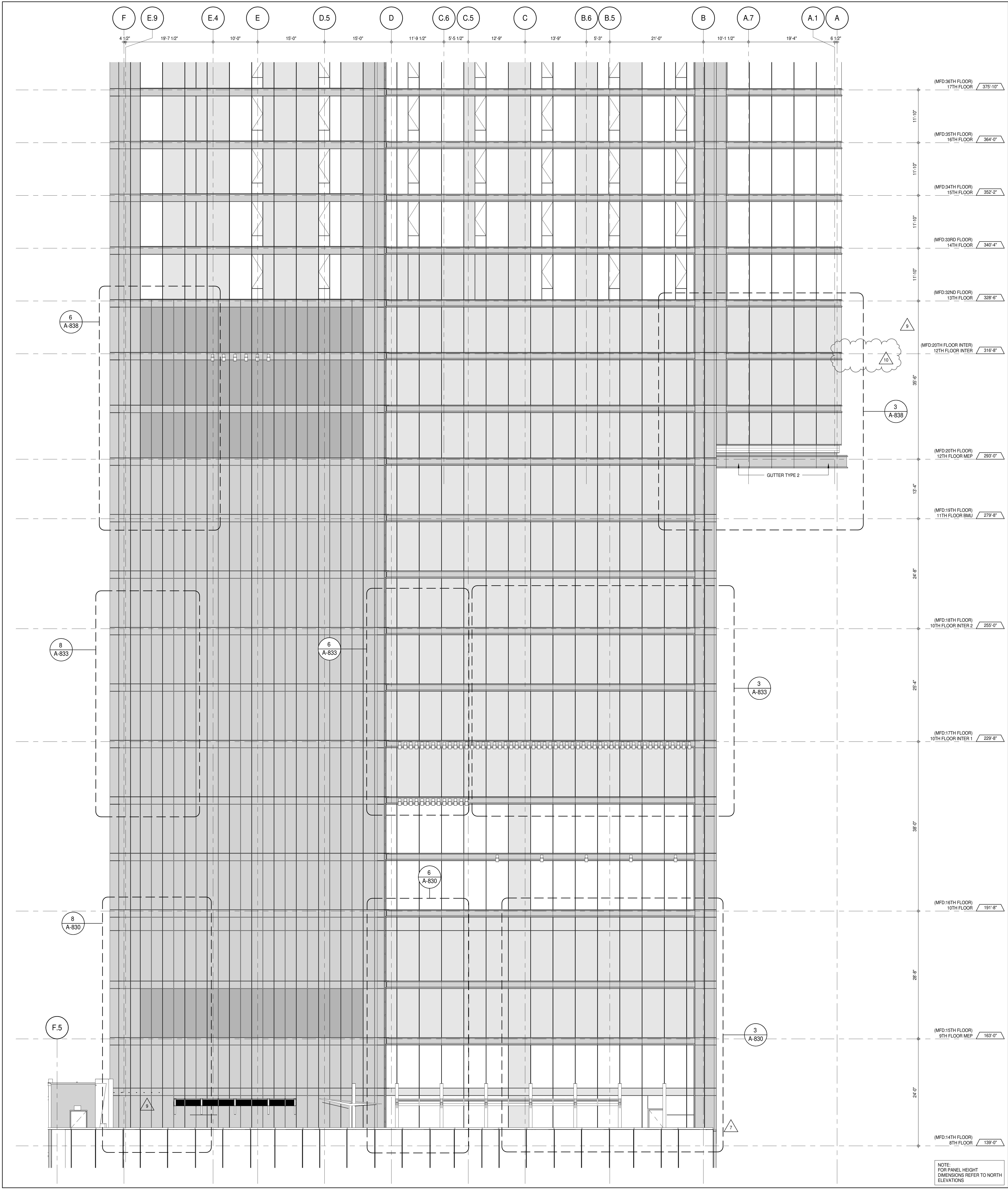
PARTIAL ELEVATION - SOUTH

SEAL & SIGNATURE:  DATE: 15 OCT 14
PROJECT No: 1216-00
DRAWN: Author
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SCALE: 1/8" = 1'-0"
DWG No: **A-215.03**

DOB PAGE No: 159 of 454
DOB 5-SCAN:

PARTIAL ELEVATION - SOUTH
1/8" = 1'-0"

1



PARTIAL ELEVATION - SOUTH 1

KEY PLAN

PROJECT NORTH

DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: **Base Building Shell & Core**
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

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ARCHITECT OF RECORD: **Base Building Shell, Core, & Residential**
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401 Wellington St. W., 3rd Floor
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New York, NY 10017 USA
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New York, NY 10006 USA
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14	D.O.B. AMENDMENT 3	03 OCT 16

0 4' - 0" 8' - 0" 16' - 0"

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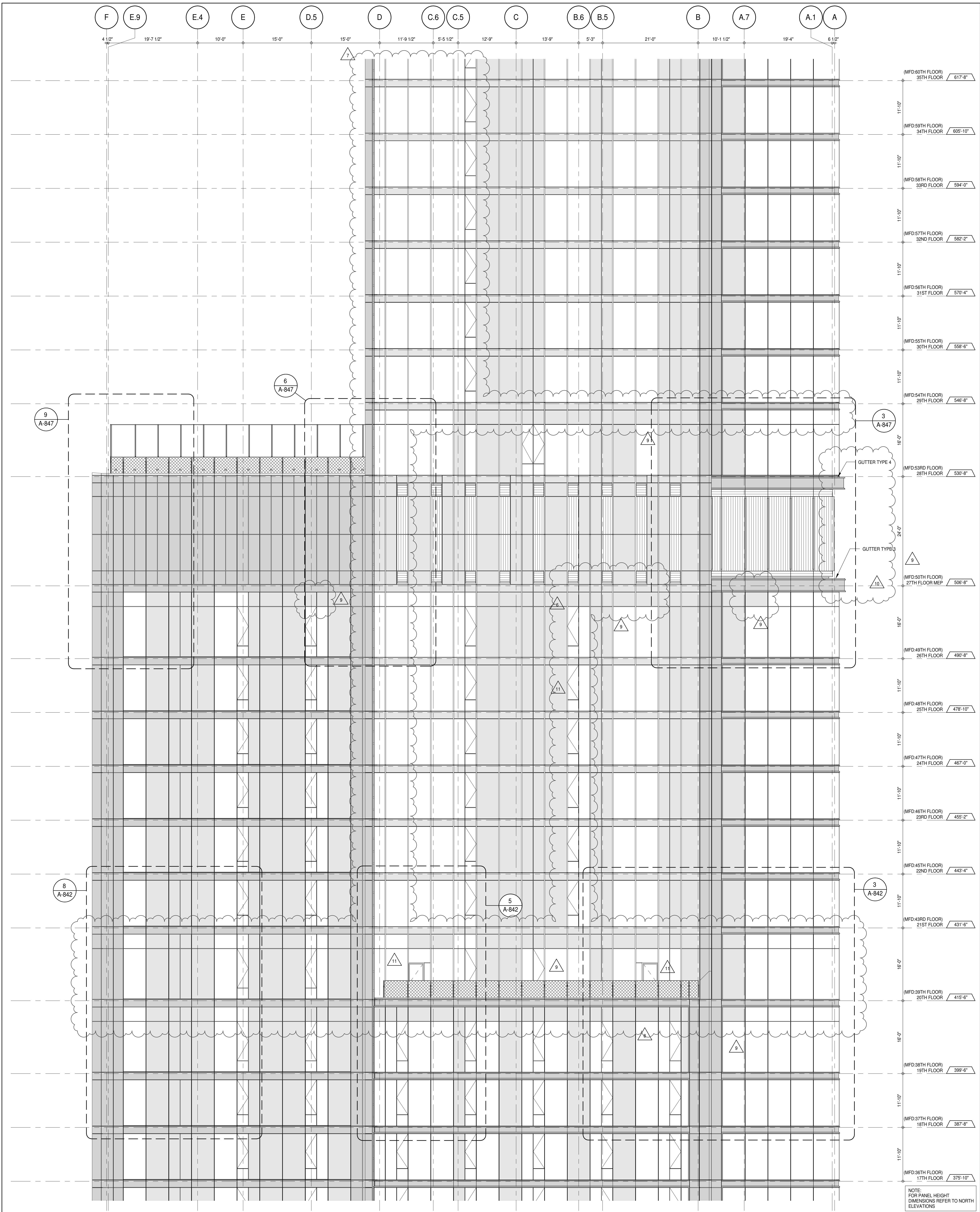
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CONSULTANT: **AAI ARCHITECTS, P.C.**

PROJECT: **217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE: **PARTIAL ELEVATION - SOUTH**

SEAL & SIGNATURE: DATE: 15 OCT 14
PROJECT No: 1216-00
DRAWN: Author
CHECKED: Checker
SCALE: 1/8" = 1'-0"
DWG No: **A-216.02**
DOB PAGE No: 191 of 454
DOB 5-SCAN:



PARTIAL ELEVATION - SOUTH
1
1/8" = 1'-0"

KEY PLAN

PROJECT NORTH

DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
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0 4' - 0" 8' - 0" 16' - 0"

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CONSULTANT:

AAI
ARCHITECTS, P.C.

PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

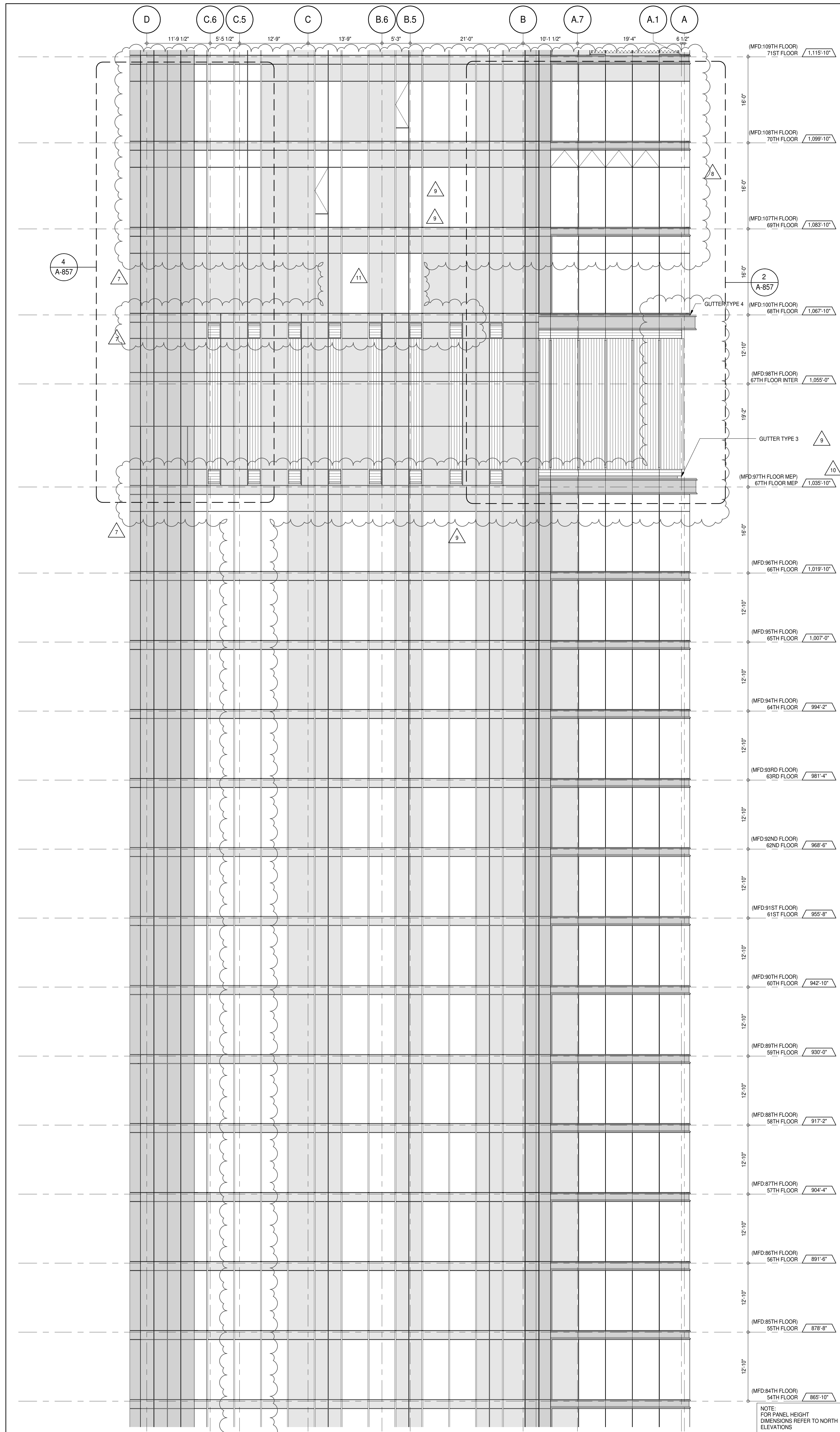
DRAWING TITLE:

PARTIAL ELEVATION - SOUTH

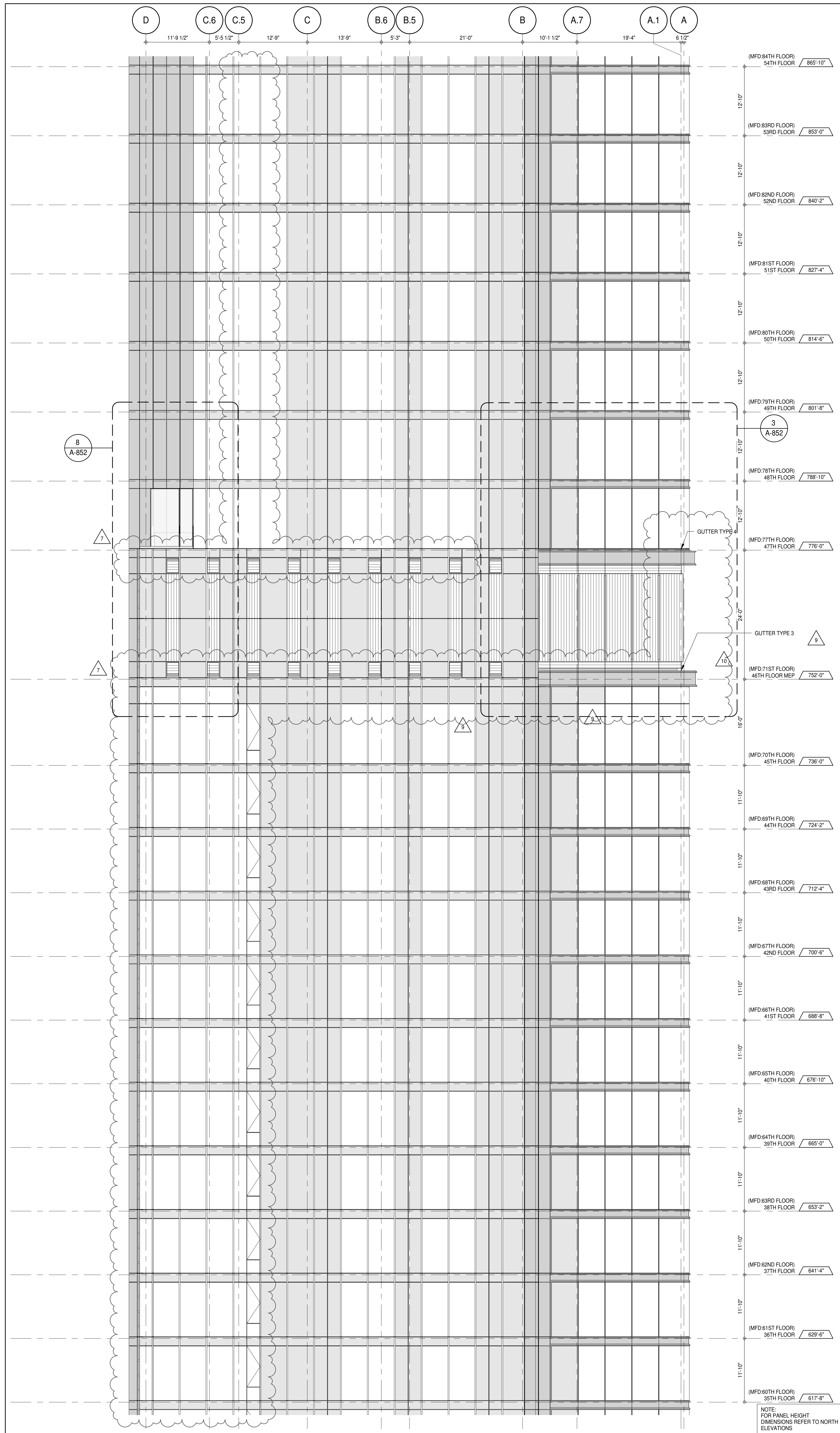
SEAL & SIGNATURE

DATE: 15 OCT 14
PROJECT No: 1216-00
DRAWN: Author
CHECKED: Checker
SCALE: 1/8" = 1'-0"
DWG No: **A-217.02**

DOB PAGE No: 193 of 454
DOB 5-SCAN:



PARTIAL ELEVATION - SOUTH
 A-202
 1/8" = 1'-0"



PARTIAL ELEVATION - SOUTH
 A-203
 1/8" = 1'-0"

DEPT OF BLDGS & 21533205 Job Number E307002701 Scale 0.00

KEY PLAN:
 PROJECT #65
 WEST 9TH ST
 WEST 7TH ST
 7TH AVE

PROJECT NORTH
 TRUE NORTH

DEVELOPER:
EXTELL DEVELOPMENT COMPANY
 805 THIRD AVENUE, 7TH FLOOR
 NEW YORK, NY 10022 USA
 TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT:
 Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
 111 WEST MONROE STREET SUITE 2300
 CHICAGO IL 60603
 TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER:
 Residential
Rotter Architecture and Design Studio, PLLC
 298 Fifth Ave, 7th Floor
 New York, NY 10001
 TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
 401 Wellington St. W., 3rd Floor
 Toronto, ON M5V 1E7 Canada
 TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
VSP CANTOR SEINUK
 228 East 45th Street
 New York, NY 10017 USA
 TEL: 212 857 9885 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
 165 Broadway, 22nd Floor
 New York, NY 10006 USA
 TEL: 212 354 5655 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
 21 Penn Plaza - 300 West 51st Street, 9th Floor
 New York, NY 10001-2727
 TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
 100 Church Street
 New York, NY 10007
 TEL: 212 385 1918 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
 40 Worth Street, Suite 806
 New York, NY 10013
 TEL: 212 757 5559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
 39 West 57th Street, 12A
 New York, NY 10019
 TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	CD PROGRESS ISSUE 5	10 AUG 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	CD BULLETIN ISSUE - 3	25 MAY 16
13	CD BULLETIN ISSUE - 5	12 AUG 16
14	D.O.B. AMENDMENT 3	03 OCT 16

0 4'-0" 8'-0" 16'-0"

D.O.B. SUBMISSION

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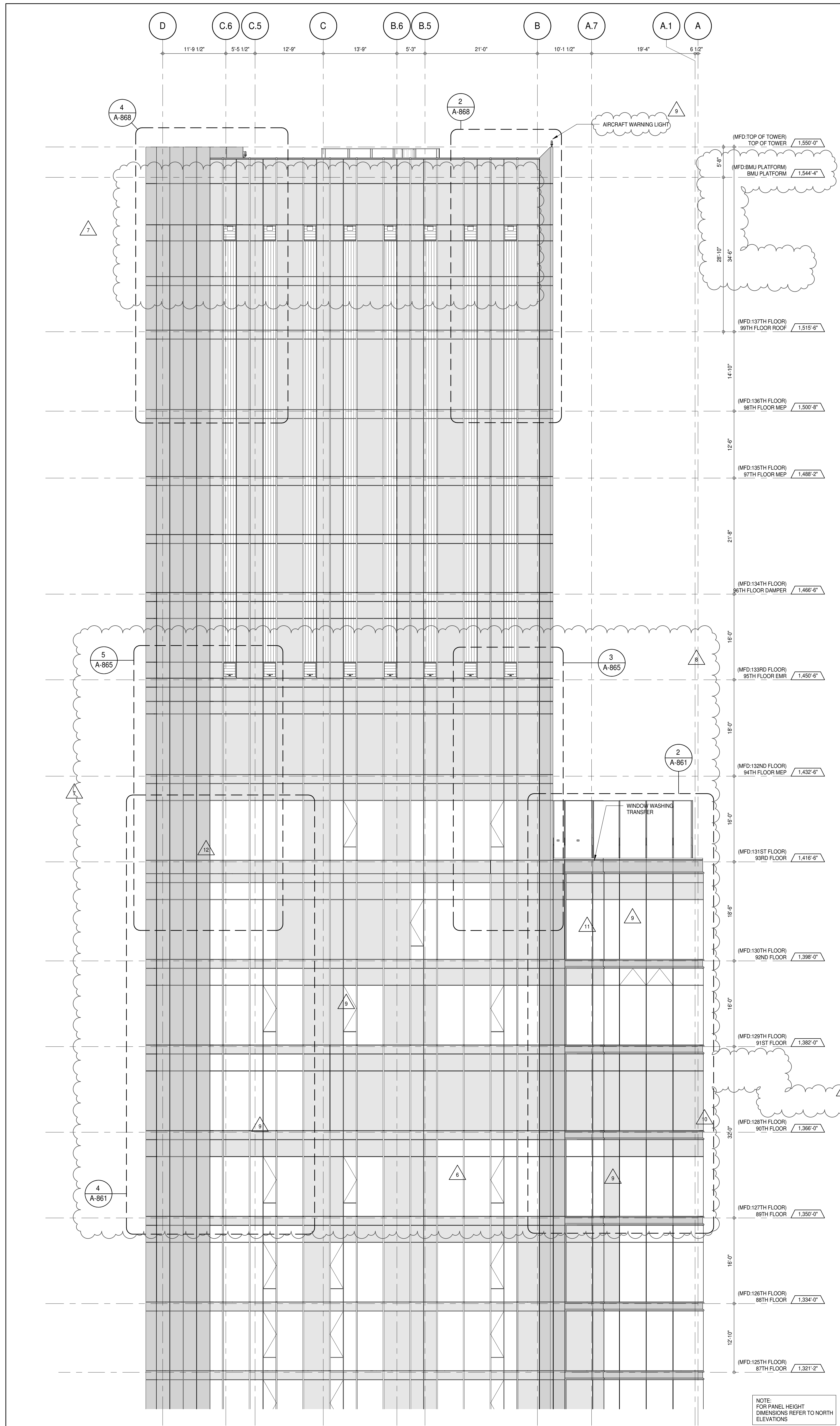
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CONSULTANT:
AAI
 ARCHITECTS, P.C.

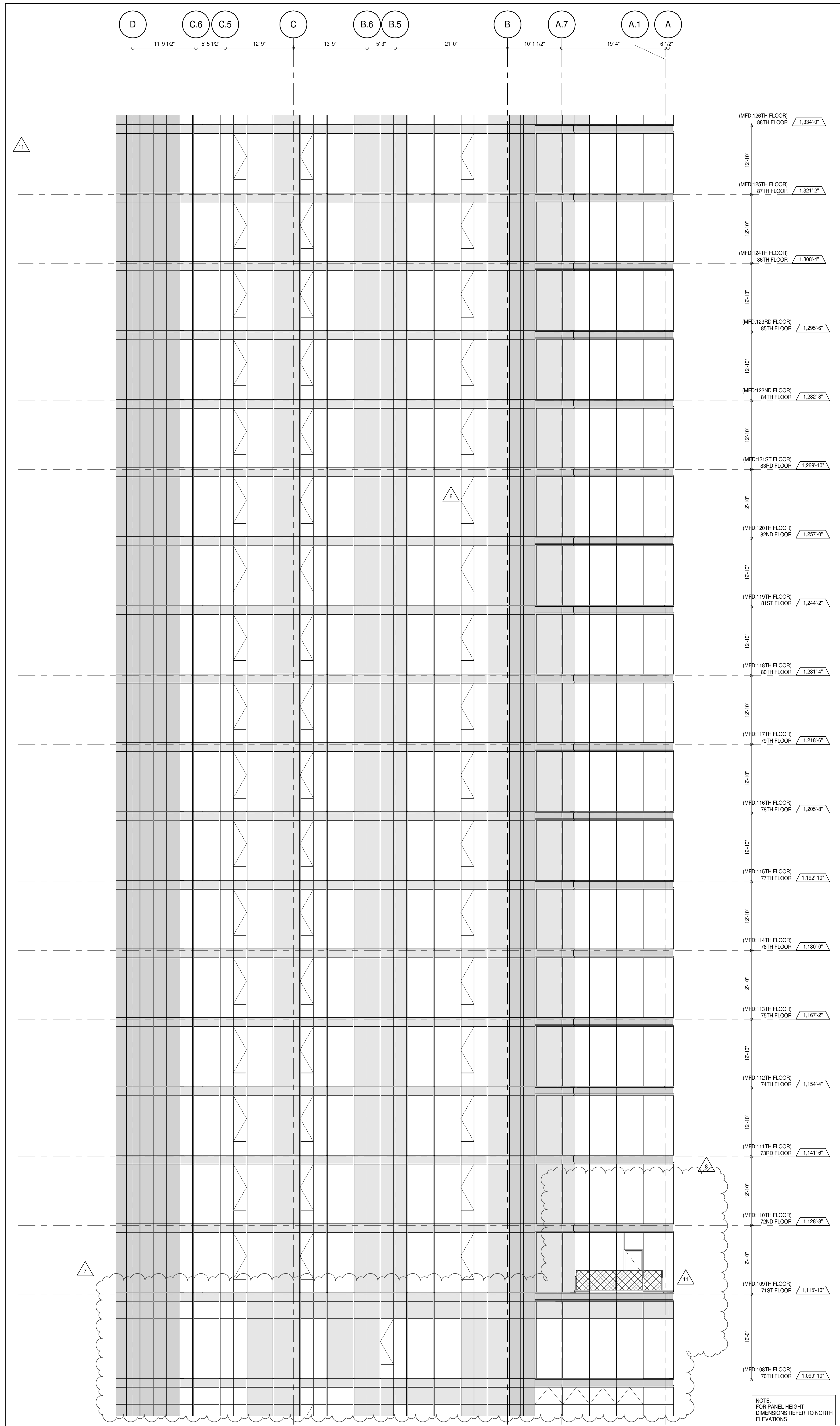
PROJECT:
217 WEST 57TH STREET
 NEW YORK, NY

DRAWING TITLE:
PARTIAL ELEVATIONS - SOUTH

SEAL & SIGNATURE: DATE: 15 OCT 14
 PROJECT No: 1216-00
 DRAWN: Author
 CHECKED: Checker
 SCALE: 1/8" = 1'-0"
 DWG No: **A-218.02**
 DOB PAGE No: 193 of 454
 DOB 5-SCAN:



PARTIAL ELEVATION - SOUTH
A-202
1/8" = 1'-0"



PARTIAL ELEVATION - SOUTH
A-202
1/8" = 1'-0"

DEPT OF BLDGS & FIRE
EST. 4226850
JOB NUMBER

KEY PLAN
PROJECT #65
WEST 9TH ST
7TH AVE
WEST 57TH ST

PROJECT NORTH
TRUE NORTH

DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT:
Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER:
Residential
Rottet Architecture and Design Studio, PLLC
288 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
401 West 57th St, 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
VSP CANTOR SEINUK
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 887 8888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5655 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 350 West 57th Street, 8th Floor
New York, NY 10001-2722
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1912 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 806
New York, NY 10013
TEL: 212 757 5550 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 57th Street, 12A
New York, NY 10019
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
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3	D.O.B. SUBMISSION	18 FEB 15
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7	CD PROGRESS ISSUE 5	10 AUG 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	CD BULLETIN ISSUE - 3	25 MAY 16
13	CD BULLETIN ISSUE - 5	12 AUG 16
14	CD BULLETIN ISSUE - 7	14 SEP 16
15	D.O.B. AMENDMENT 3	03 OCT 16

0 4'-0" 8'-0" 16'-0"

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

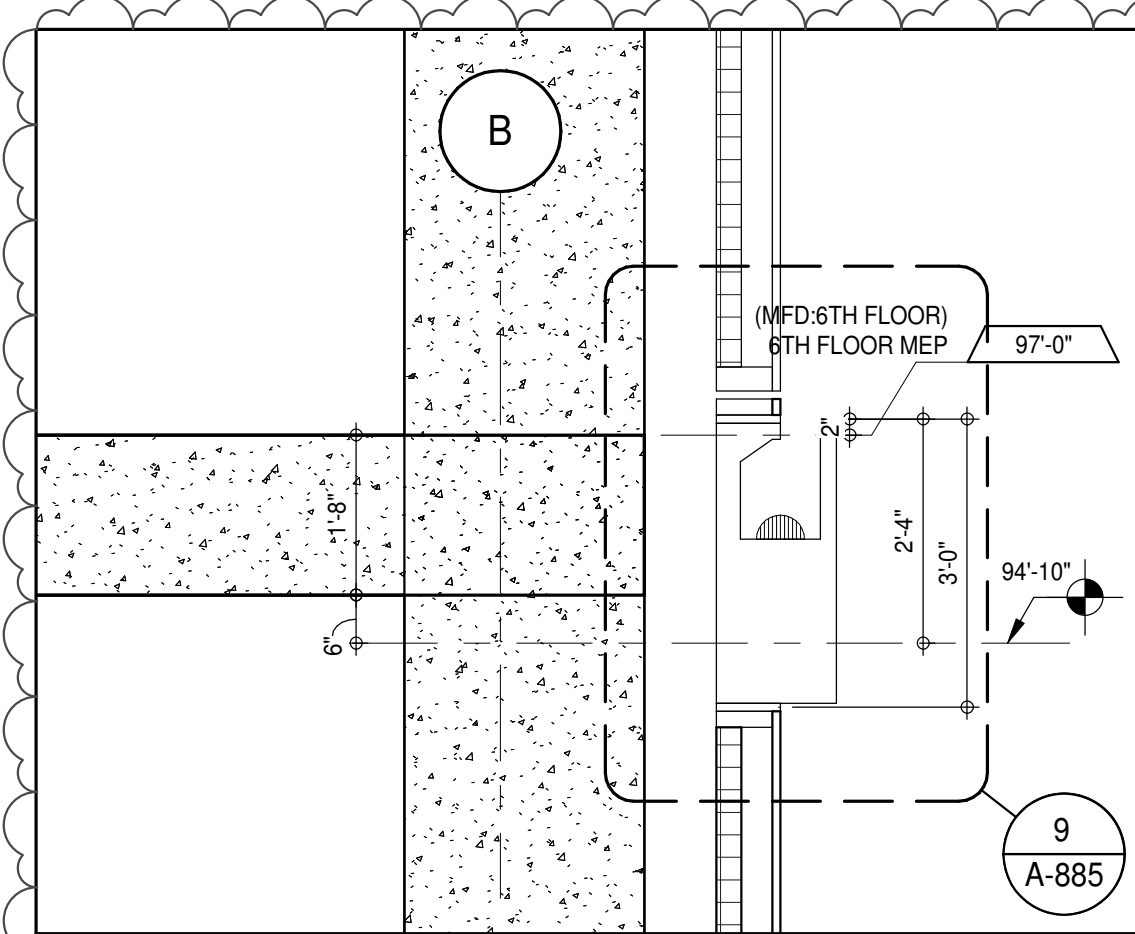
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CONSULTANT:
AAI
ARCHITECTS, P.C.

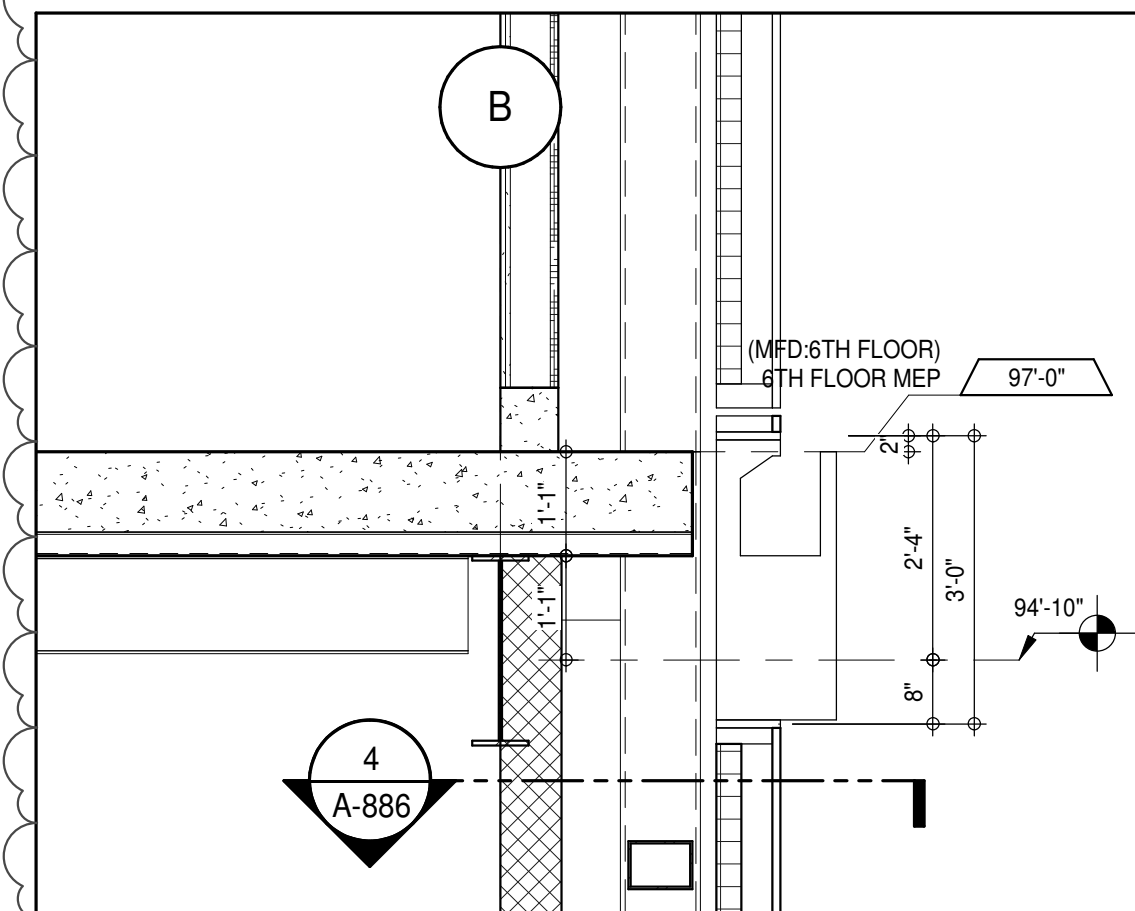
PROJECT:
**217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE:
PARTIAL ELEVATIONS - SOUTH

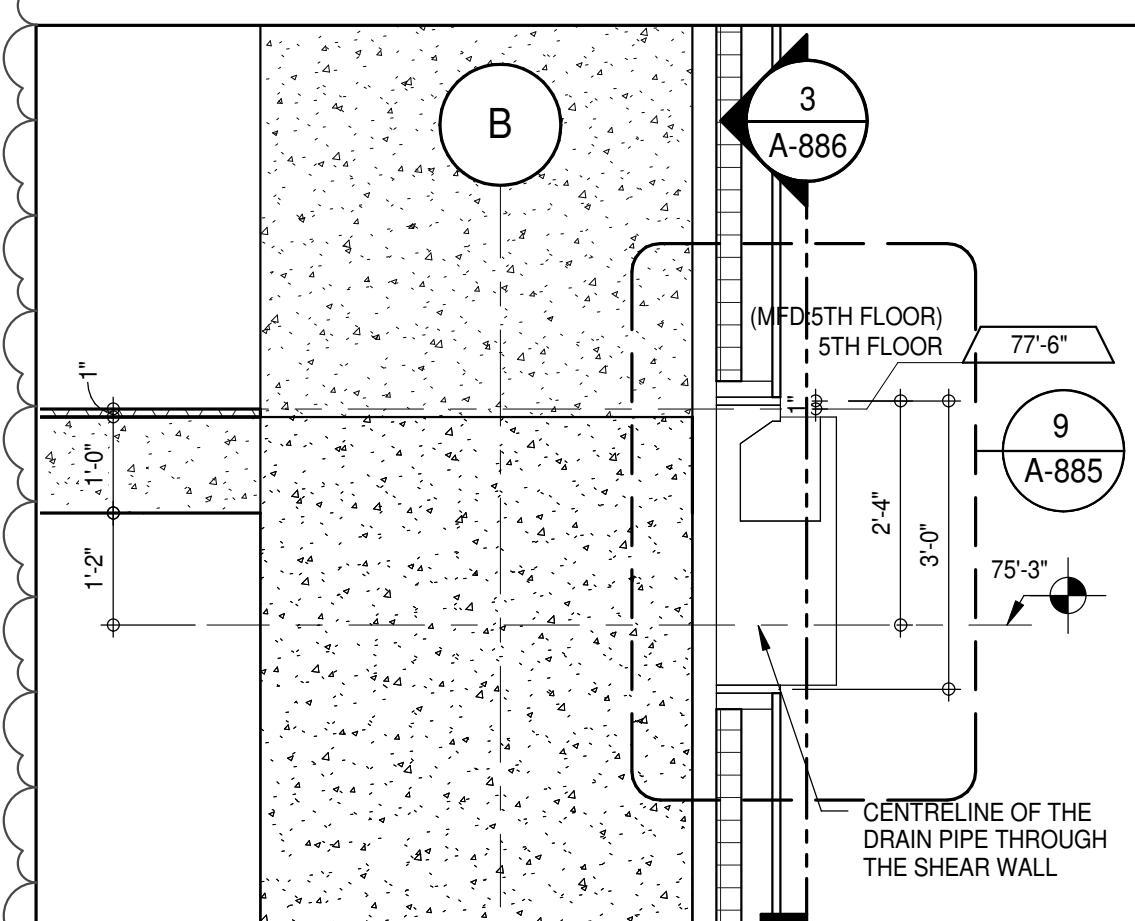
SEAL & SIGNATURE:
REGISTERED ARCHITECT
DAVID L. LAMBER
NEW YORK STATE
DATE: 15 OCT 14
PROJECT No: 1216-00
DRAWN: Author
CHECKED: Checker
SCALE: 1/8" = 1'-0"
DWG No: **A-219.02**
DOB PAGE No: 154 of 454
DOB EMPLOYEE STAMP: DOB 5-SCAN:



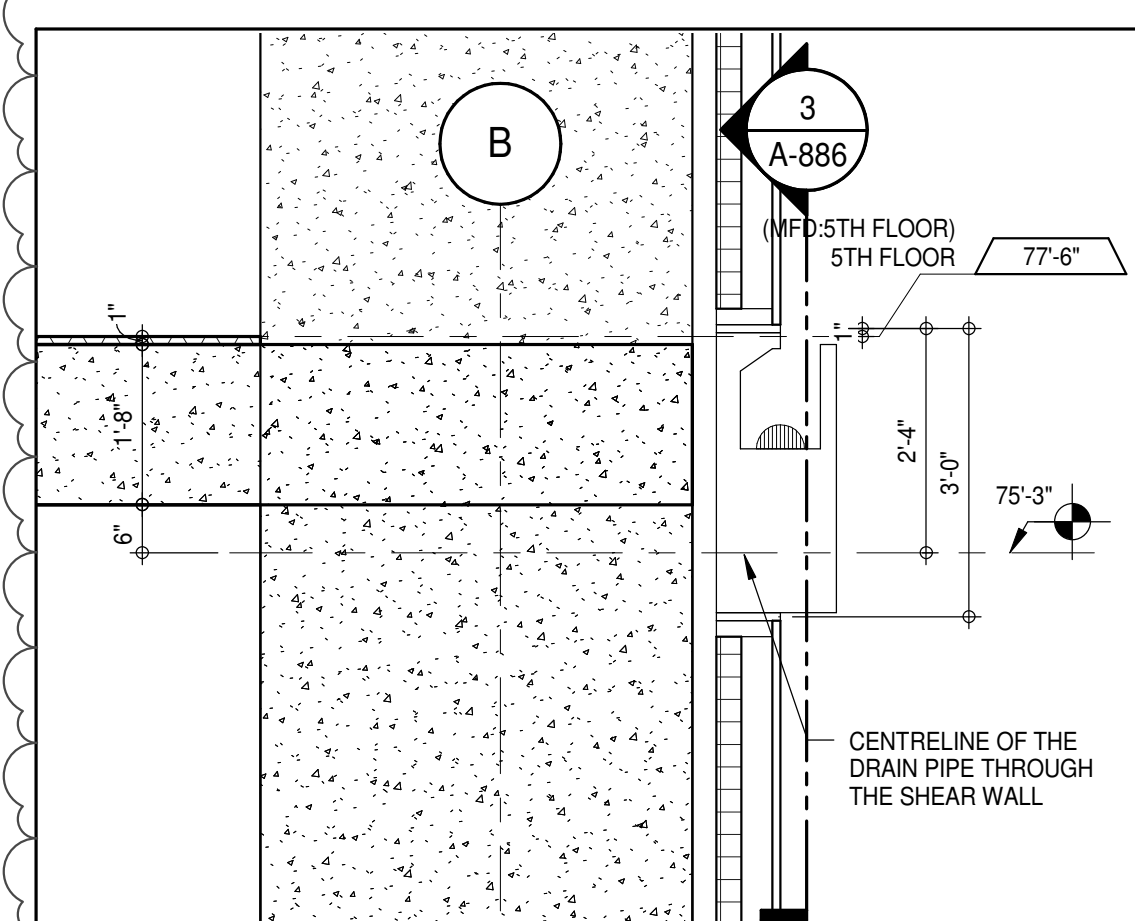
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A-220
1/2" = 1'-0"



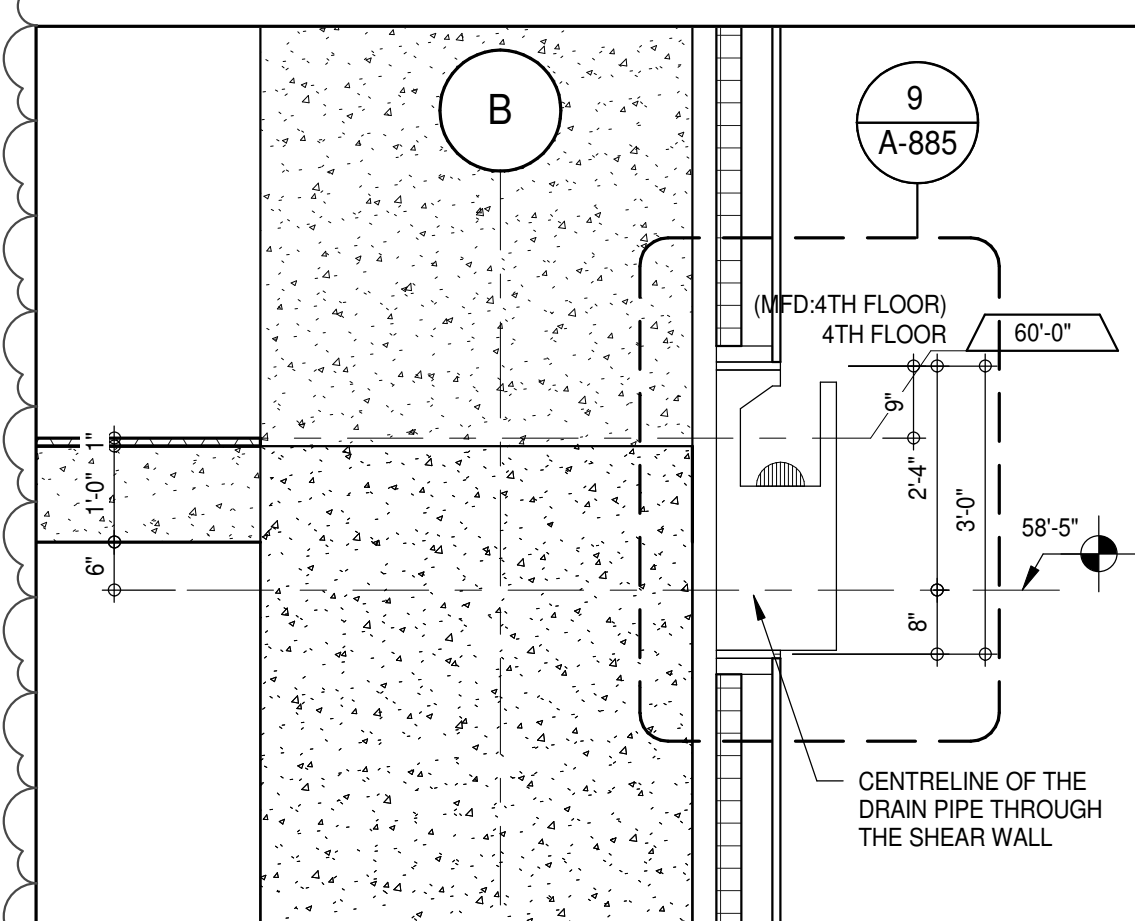
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A-220
1/2" = 1'-0"



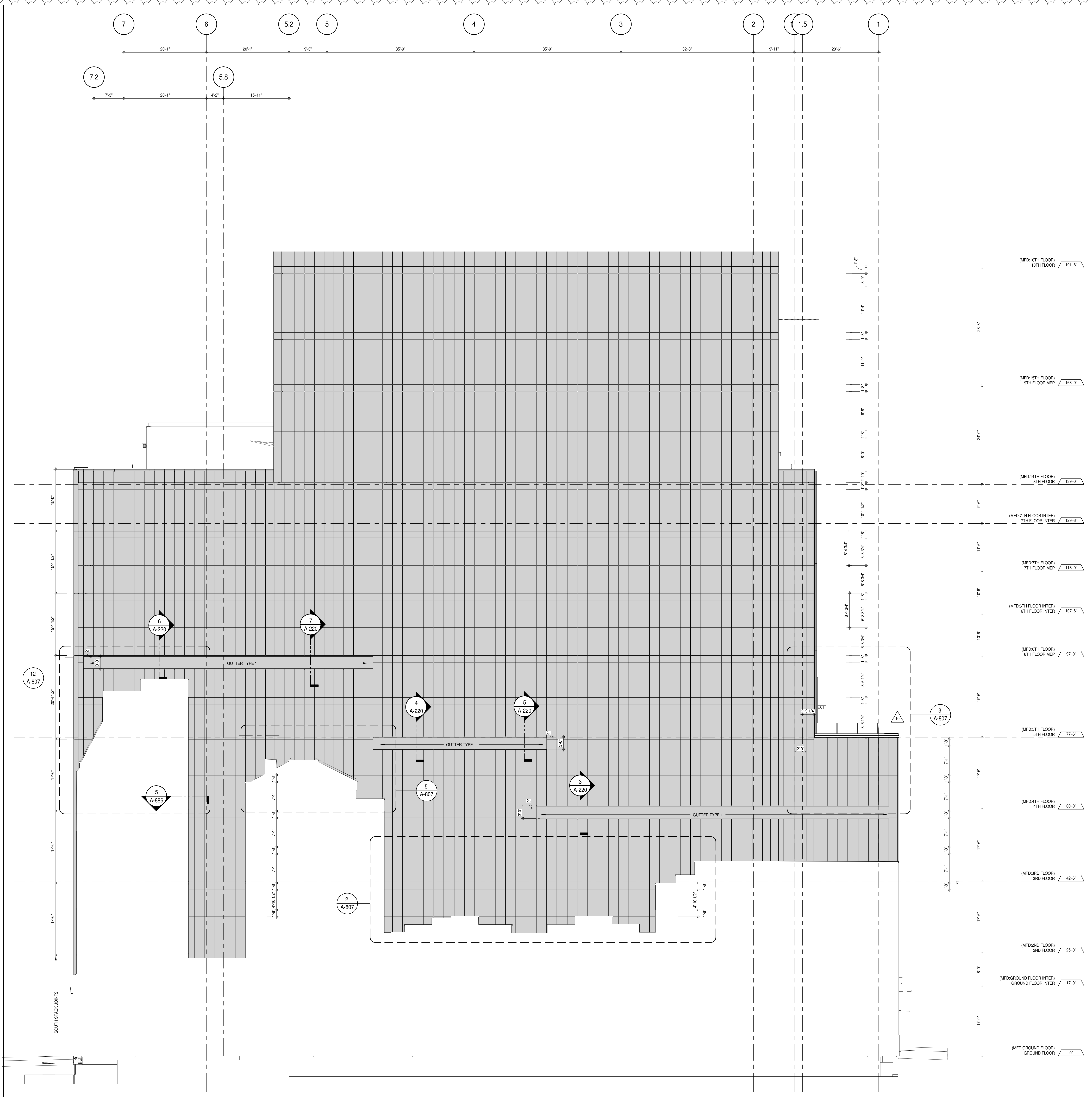
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A-220
1/2" = 1'-0"



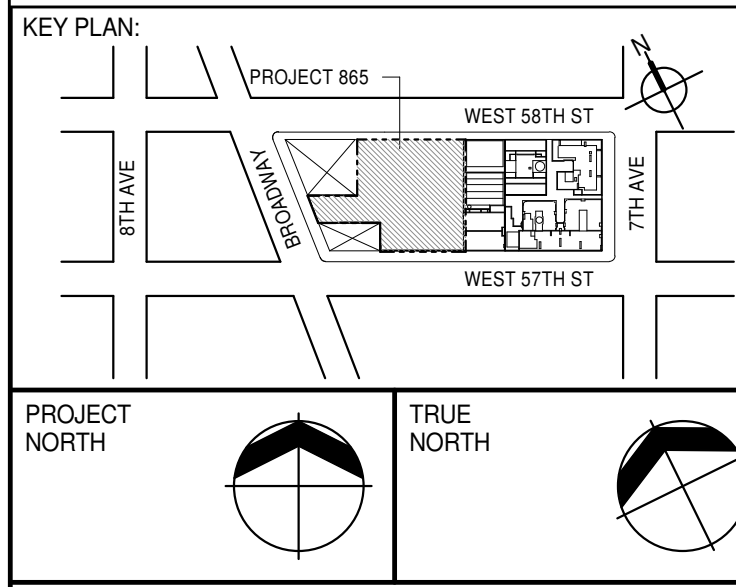
SECTION AT EAST GUTTER LEVEL 5
A-220
1/2" = 1'-0"



SECTION AT EAST GUTTER LEVEL 4
A-220
1/2" = 1'-0"



PARTIAL ELEVATION - EAST
A-220
1/8" = 1'-0"



DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: **Base Building Shell & Core**
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: **Residential**
Rottet Architecture and Design Studio, PLLC
288 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: **Base Building Shell, Core, & Residential**
AAI ARCHITECTS, P.C.
401 West 57th St, 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEER: **VSP CANTOR SEINUK**
228 East 45th Street
New York, NY 10017 USA
TEL: 212 887 9885 FAX: 646 487 5501

MEP ENGINEERS: **AKF GROUP**
165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5655 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS: **Langan Engineering & Environmental Services**
21 Penn Plaza - 300 West 57th Street, 8th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS: **Construction Consulting Associates**
100 Church Street
New York, NY 10007
TEL: 212 385 1912 FAX: 212 385 1911

CURTAINWALL CONSULTANT: **AJLP Consulting**
40 Worth Street, Suite 806
New York, NY 10013
TEL: 212 757 6550 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT: **Jan Hird Pokorny Associates, Inc.**
39 West 57th Street, 12A
New York, NY 10019
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
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8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	CD BULLETIN ISSUE - 5	12 AUG 16
13	D.O.B. AMENDMENT 3	03 OCT 16

0 4' - 0" 8' - 0" 16' - 0"

D.O.B. SUBMISSION

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CONSULTANT: **AAI ARCHITECTS, P.C.**

PROJECT: **217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE: **PARTIAL ELEVATION - EAST**

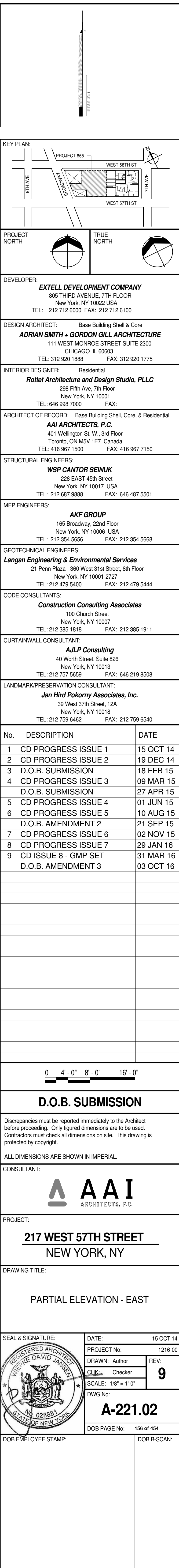
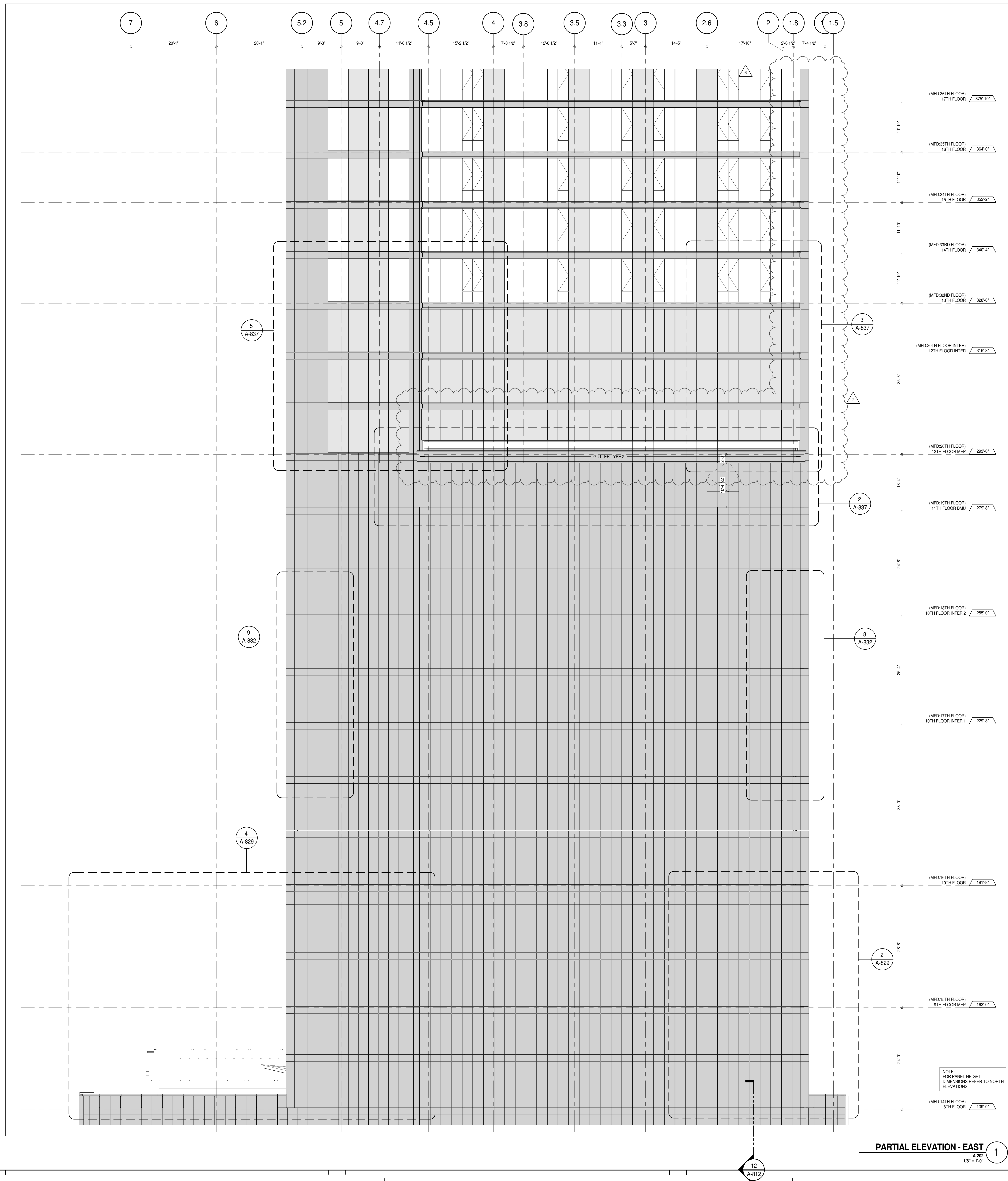
SEAL & SIGNATURE	DATE: 15 OCT 14
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	DRAWN: Author
	CHECKED: Checker
	SCALE: As indicated
DWG No: A-220.02	DOB PAGE No: 155 of 454
DOB EMPLOYEE STAMP:	DOB S-SCAN:

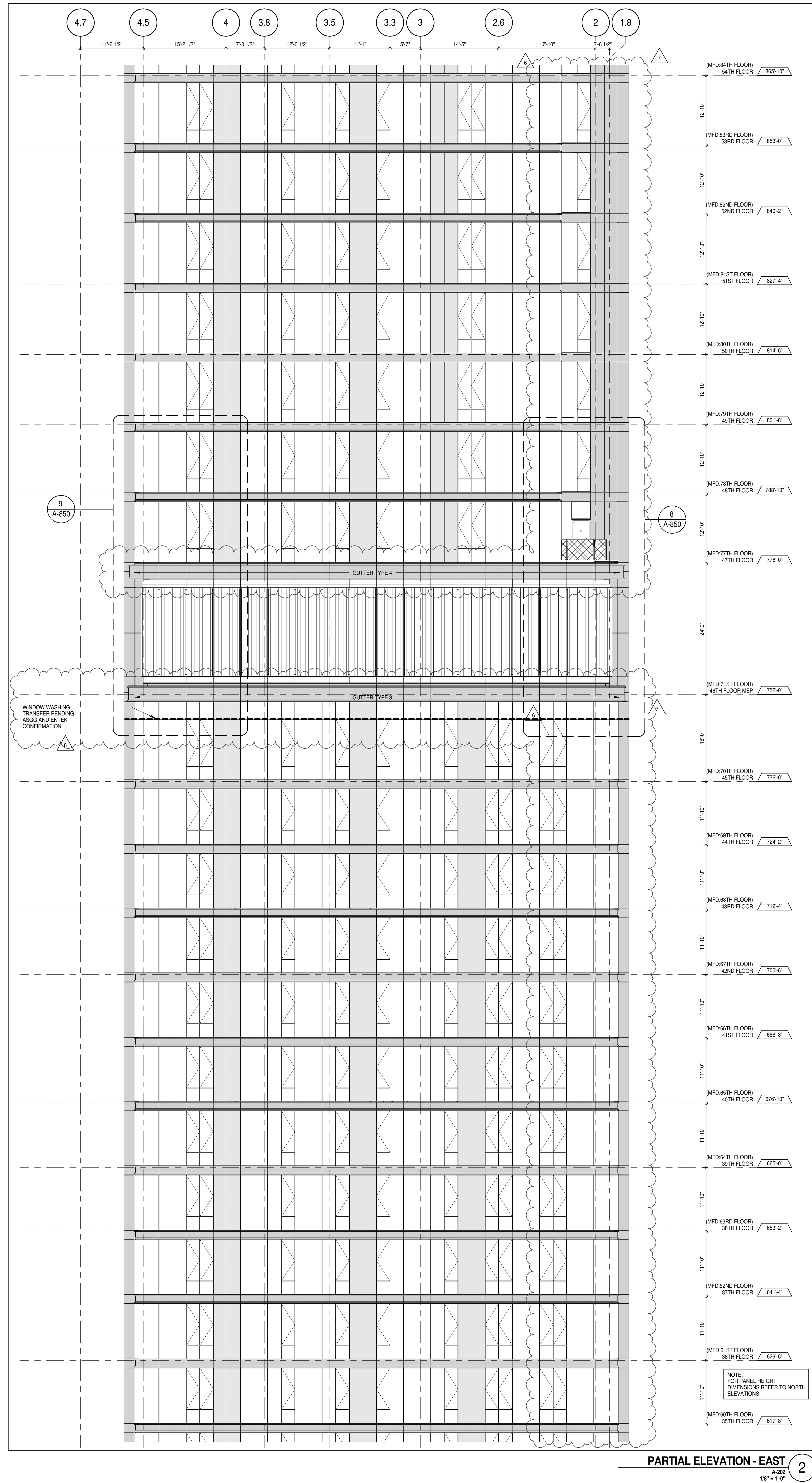
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A-220.02

DOB PAGE No: 155 of 454

DOB S-SCAN:

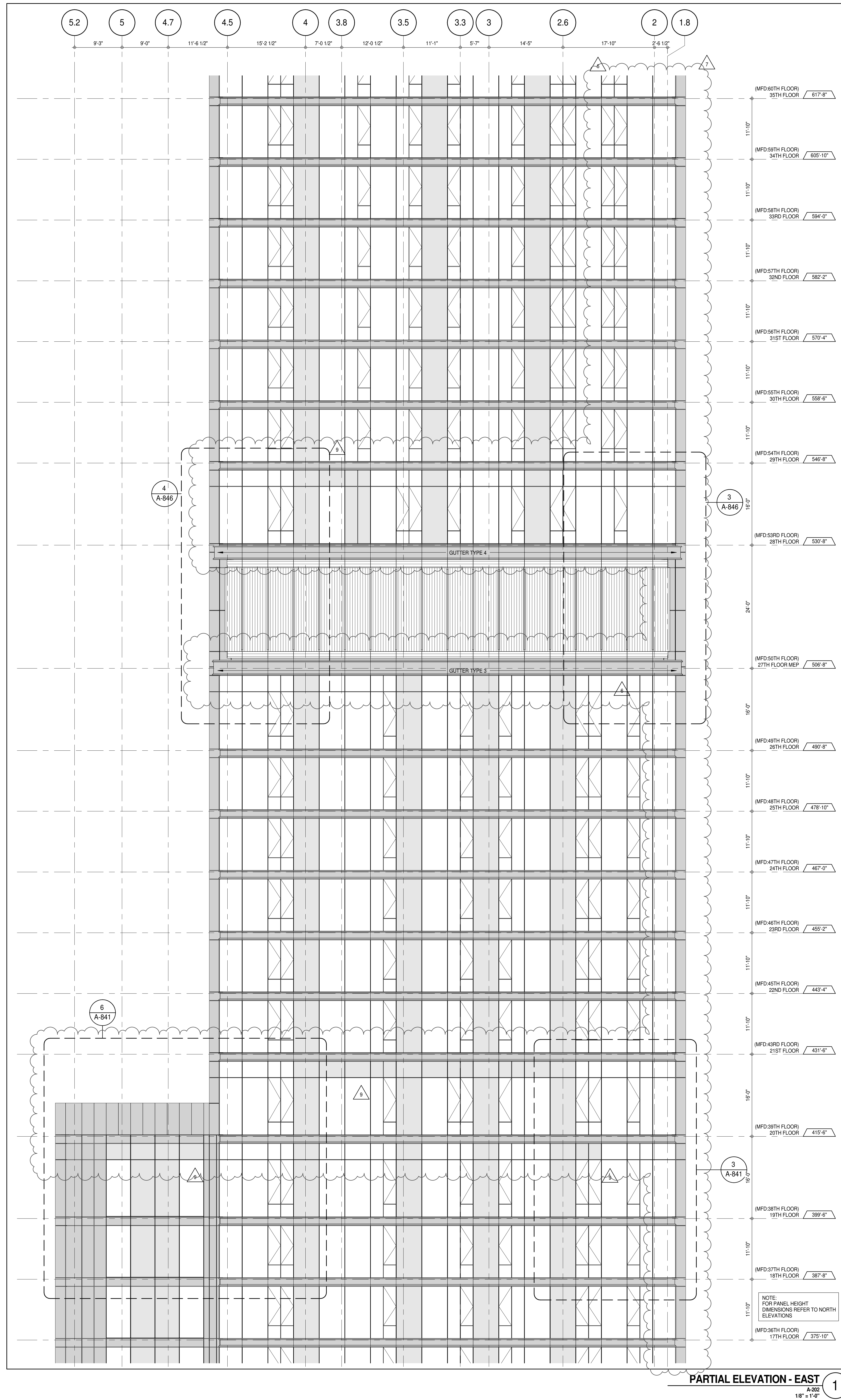




PARTIAL ELEVATION - EAST

A-202
1/8" = 1'-0"

2



PARTIAL ELEVATION - EAST

[illegible]



No.	DESCRIPTION	DATE
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2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
	D.O.B. SUBMISSION	27 APR 15
5	CD PROGRESS ISSUE 4	01 JUN 15
6	CD PROGRESS ISSUE 5	10 AUG 15
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7	CD PROGRESS ISSUE 6	02 NOV 15
8	CD PROGRESS ISSUE 7	29 JAN 16
9	CD ISSUE 8 - GMP SET	31 MAR 16
10	CD BULLETIN ISSUE - 5	12 AUG 16
	D.O.B. AMENDMENT 3	03 OCT 16



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CONSULTANT

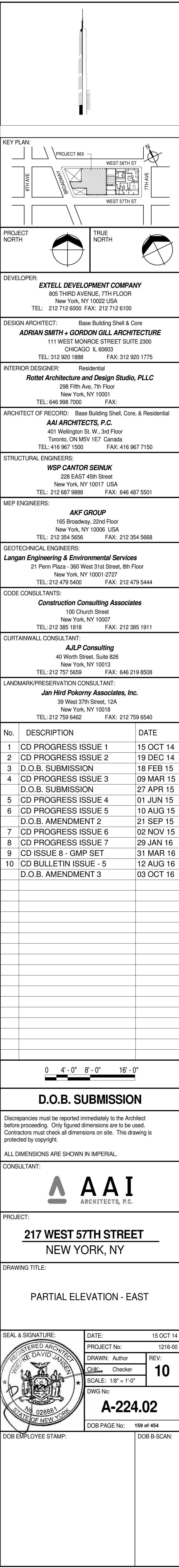


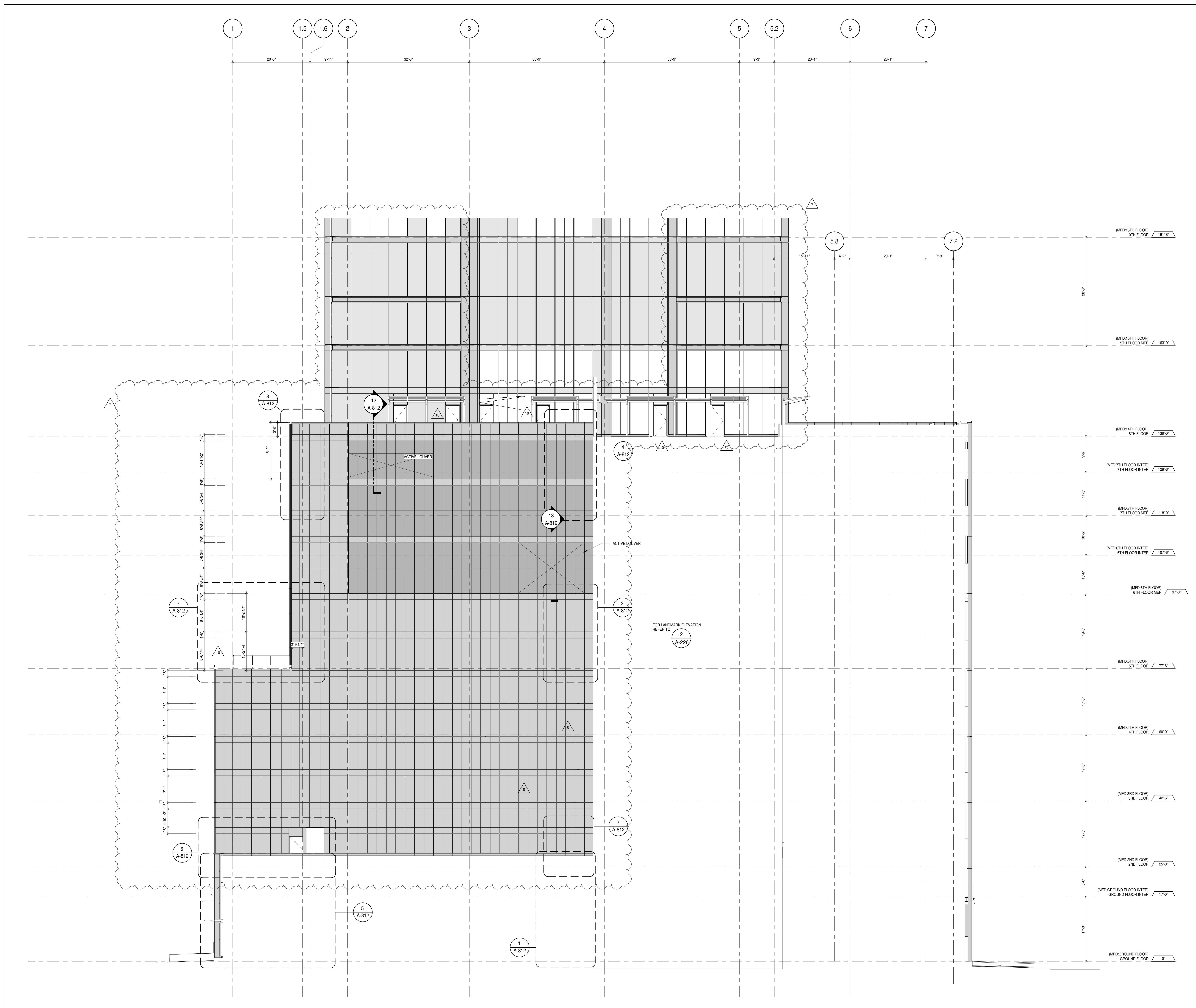
PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

	DRAWING TITLE
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PARTIAL ELEVATION - EAST

DOB EMPLOYEE STAMP:		DOB B-SCAN:
---------------------	--	-------------





PARTIAL ELEVATION - WEST
 1
 A-202
 1/8" = 1'-0"

KEY PLAN

TRUE NORTH

PROJECT NORTH

DEVELOPER:
EXTELL DEVELOPMENT COMPANY
 805 THIRD AVENUE, 7TH FLOOR
 NEW YORK, NY 10022 USA
 TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT:
AAI ARCHITECTS, P.C.
 111 WEST MONROE STREET SUITE 2300
 CHICAGO, IL 60603
 TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER:
Rottel Architecture and Design Studio, PLLC
 288 Fifth Ave., 7th Floor
 New York, NY 10001
 TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD:
AAI ARCHITECTS, P.C.
 401 Wellington St. W., 3rd Floor
 Toronto, ON M5V 1E7 Canada
 TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
WSP CANTOR SEINUK
 228 EAST 45th Street
 New York, NY 10017 USA
 TEL: 212 887 9888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
 165 Broadway, 22nd Floor
 New York, NY 10006 USA
 TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
 21 Penn Plaza - 300 West 51st Street, 9th Floor
 New York, NY 10001-2727
 TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
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 100 Church Street
 New York, NY 10007
 TEL: 212 385 1918 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
 40 Worth Street, Suite 826
 New York, NY 10013
 TEL: 212 757 5550 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
 39 West 37th Street, 12A
 New York, NY 10018
 TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
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12	CD BULLETIN ISSUE - 5	12 AUG 16
13	D.O.B. AMENDMENT 3	03 OCT 16

0 4' - 0" 8' - 0" 16' - 0"

D.O.B. SUBMISSION

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CONSULTANT:

AAI
 ARCHITECTS, P.C.

PROJECT:
217 WEST 57TH STREET
 NEW YORK, NY

DRAWING TITLE:
PARTIAL ELEVATION - WEST

SEAL & SIGNATURE

DATE: 15 OCT 14

PROJECT No: 1216-00

DRAWN: Author

CHECKED: Checker

SCALE: 1/8" = 1'-0"

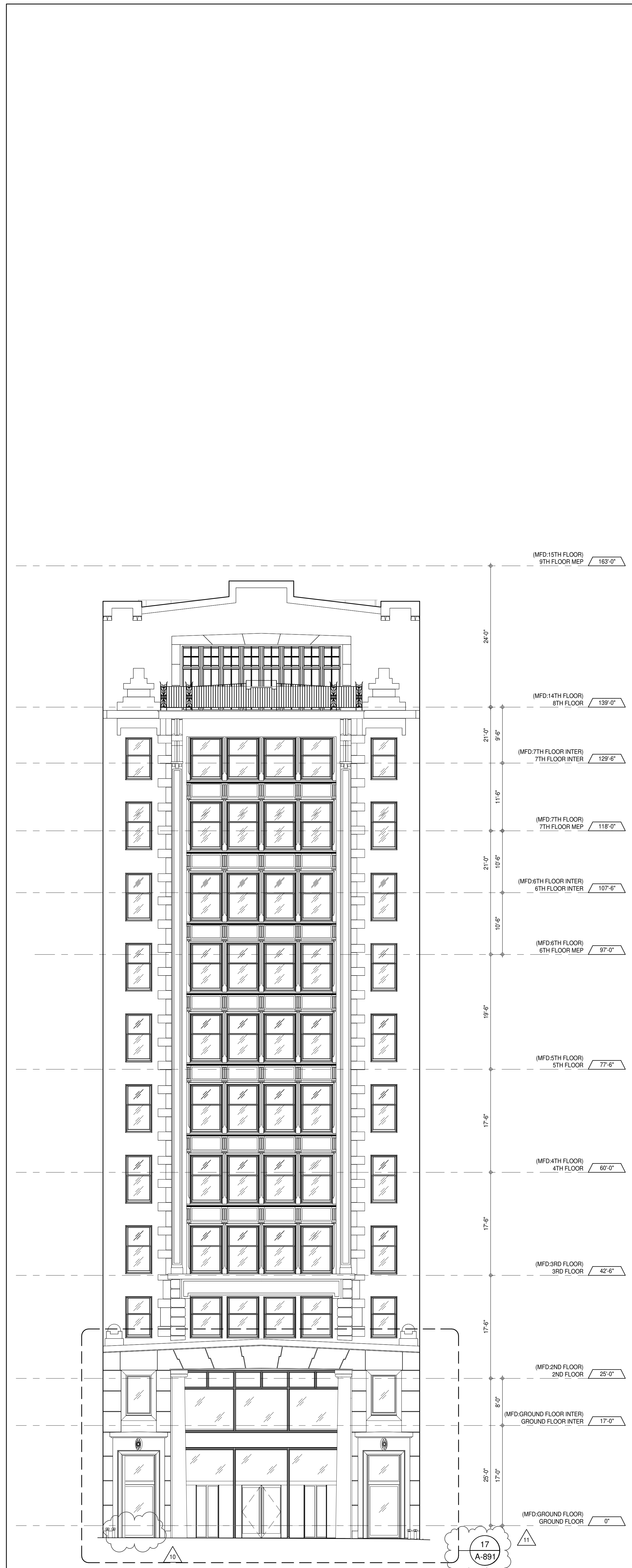
DWG No:

A-225.02

DOB PAGE No: 169 of 454

DOB EMPLOYEE STAMP:

DOB S-SCAN:



WEST ELEVATION - LANDMARK FACADE
 A-226.02
 1/8" = 1'-0"



PARTIAL ELEVATION - WEST
 A-226.02
 1/8" = 1'-0"

DEPT OF BLDGS & 1216-00
 JOB NUMBER: 101720161 09-20-16
 PROJECT: 217 WEST 57TH STREET
 NEW YORK, NY

KEY PLAN: PROJECT #101
 TRUE NORTH

DEVELOPER: EXTRELL DEVELOPMENT COMPANY
 805 THIRD AVENUE, 7TH FLOOR
 NEW YORK, NY 10022 USA
 TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
 ADRIAN SMITH + GORDON GILL ARCHITECTURE
 111 WEST MONROE STREET SUITE 2300
 CHICAGO, IL 60603
 TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
 Rottet Architecture and Design Studio, PLLC
 228 Fifth Ave, 7th Floor
 New York, NY 10001
 TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
 AAI ARCHITECTS, P.C.
 401 Wellington St. W., 3rd Floor
 Toronto, ON M5V 1E7 Canada
 TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS: VSP CANTOR SEINUK
 228 EAST 45th Street
 New York, NY 10017 USA
 TEL: 212 887 8888 FAX: 646 487 5501

MEP ENGINEERS: AKF GROUP
 105 Broadway, 22nd Floor
 New York, NY 10006 USA
 TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS: Langan Engineering & Environmental Services
 21 Penn Plaza - 300 West 57th Street, 9th Floor
 New York, NY 10001-2727
 TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS: Construction Consulting Associates
 100 Church Street
 New York, NY 10007
 TEL: 212 385 1912 FAX: 212 385 1911

CURTAINWALL CONSULTANT: A.J.P. Consulting
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 New York, NY 10013
 TEL: 212 757 5559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT: Jan Hird Pokorny Associates, Inc.
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 New York, NY 10019
 TEL: 212 759 6452 FAX: 212 759 6540

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7	D.O.B. AMENDMENT 2	21 SEP 15
8	CD PROGRESS ISSUE 5	10 AUG 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	D.O.B. BULLETIN ISSUE - 1	22 APR 16
13	CD BULLETIN ISSUE - 5	12 AUG 16
14	D.O.B. AMENDMENT 3	03 OCT 16

0 4'-0" 8'-0" 16'-0"

D.O.B. SUBMISSION

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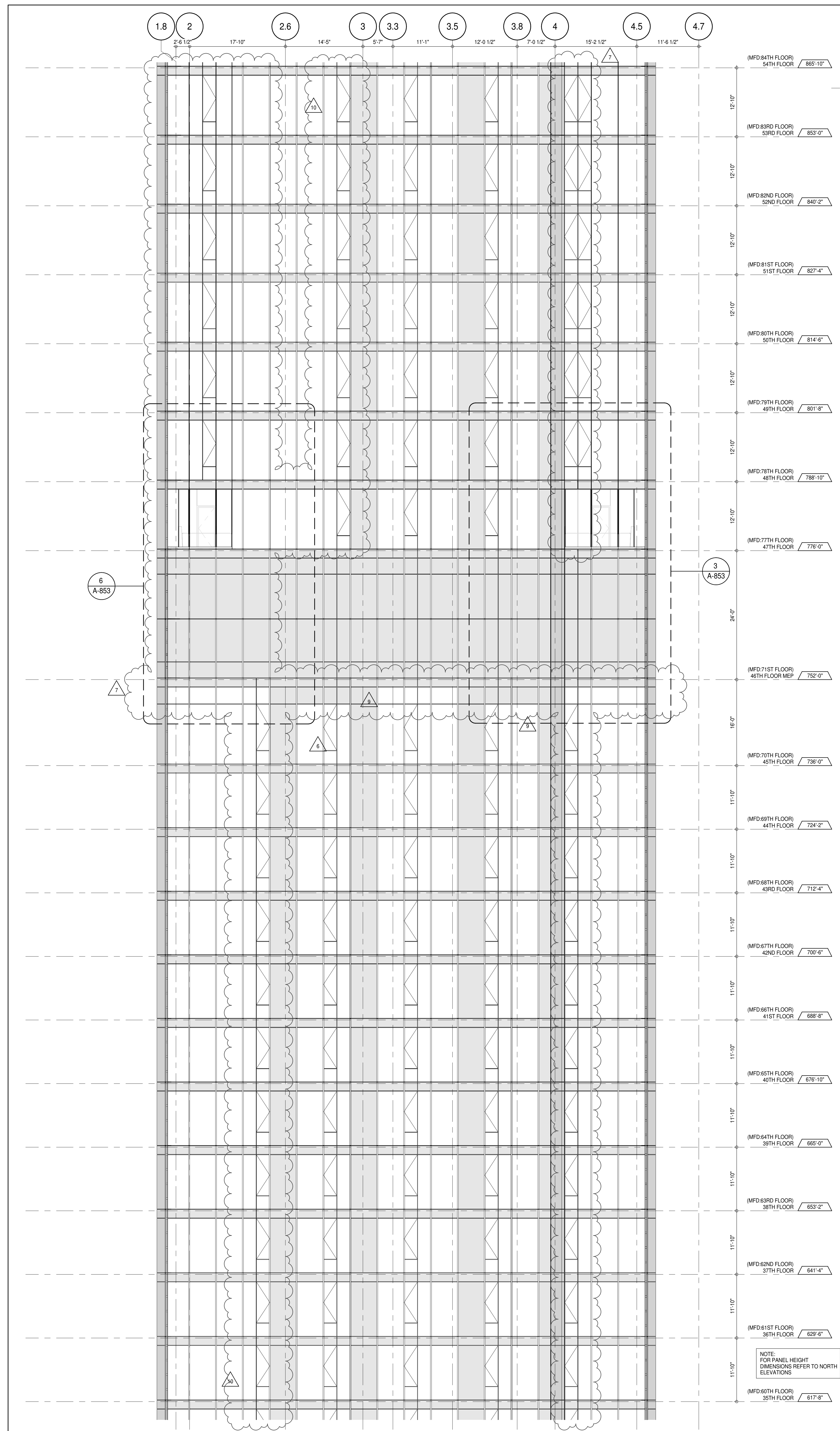
ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT: AAI ARCHITECTS, P.C.

PROJECT: 217 WEST 57TH STREET
 NEW YORK, NY

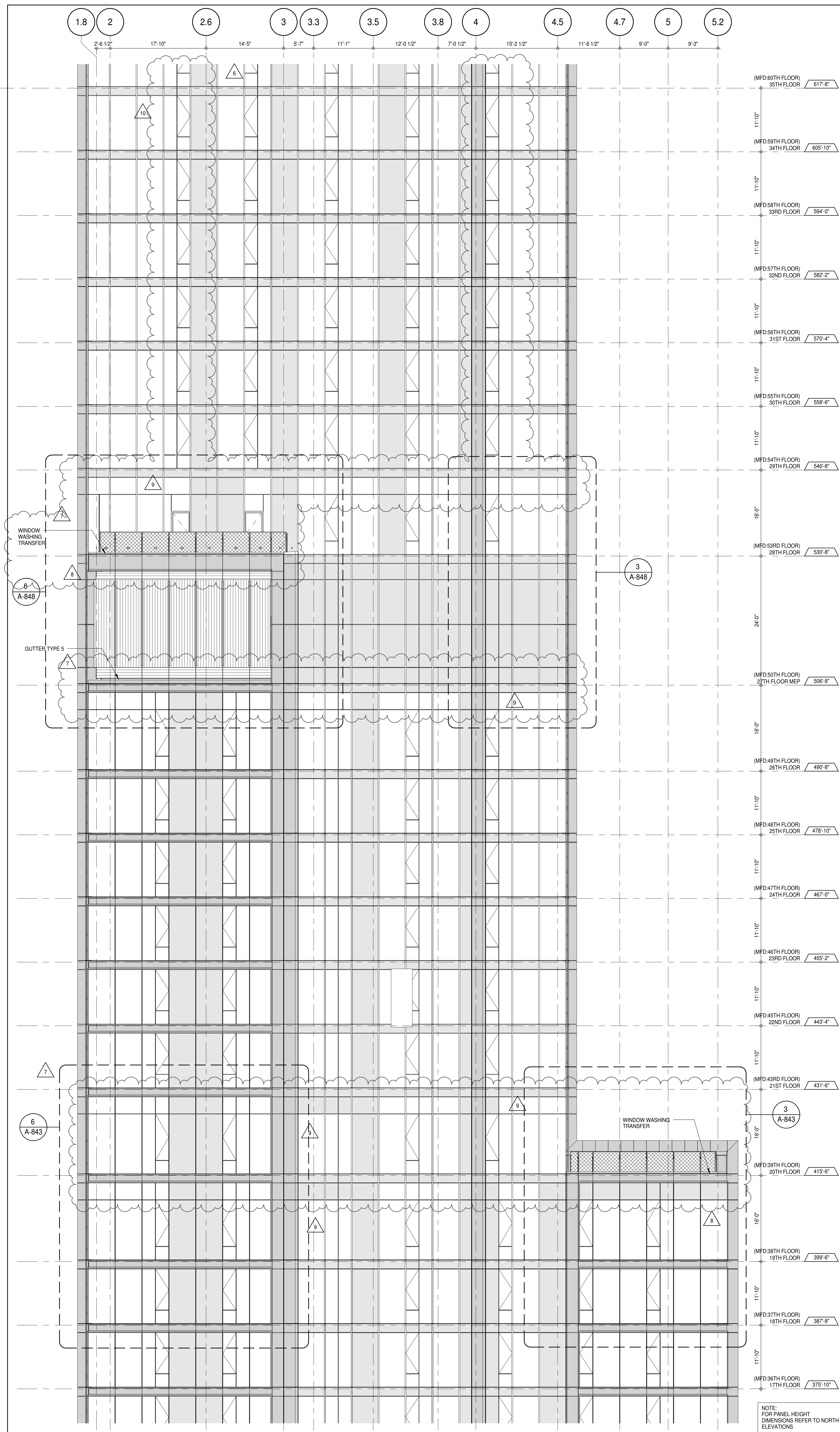
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SEAL & SIGNATURE: DATE: 15 OCT 14
 PROJECT No: 1216-00
 DRAWN: Author
 CHECKED: Checker
 SCALE: 1/8" = 1'-0"
 DWG No: A-226.02
 DOB PAGE No: 191 of 454
 DOB 5-SCAN:



PARTIAL ELEVATION - WEST
A-222
1/8" = 1'-0"

2



PARTIAL ELEVATION - WEST
A-222
1/8" = 1'-0"

1

KEY PLAN: PROJECT #65 WEST 50TH ST WEST 51ST ST WEST 52ND ST WEST 53RD ST WEST 54TH ST WEST 55TH ST WEST 56TH ST WEST 57TH ST WEST 58TH ST WEST 59TH ST WEST 60TH ST WEST 61ST ST WEST 62ND ST WEST 63RD ST WEST 64TH ST WEST 65TH ST WEST 66TH ST WEST 67TH ST WEST 68TH ST WEST 69TH ST WEST 70TH ST WEST 71ST ST WEST 72ND ST WEST 73RD ST WEST 74TH ST WEST 75TH ST WEST 76TH ST WEST 77TH ST WEST 78TH ST WEST 79TH ST WEST 80TH ST WEST 81ST ST WEST 82ND ST WEST 83RD ST WEST 84TH ST WEST 85TH ST WEST 86TH ST WEST 87TH ST WEST 88TH ST WEST 89TH ST WEST 90TH ST WEST 91ST ST WEST 92ND ST WEST 93RD ST WEST 94TH ST WEST 95TH ST WEST 96TH ST WEST 97TH ST WEST 98TH ST WEST 99TH ST WEST 100TH ST

PROJECT NORTH: TRUE NORTH

DEVELOPER: EXTRELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
AAI ARCHITECTS, P.C.
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rotter Architecture and Design Studio, PLLC
288 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
VSP CANTOR SENUK
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 887 8888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 300 West 51st Street, 9th Floor
New York, NY 10019-2722
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 806
New York, NY 10013
TEL: 212 757 5550 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 57th Street, 12A
New York, NY 10019
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	D.O.B. AMENDMENT 2	21 SEP 15
8	CD PROGRESS ISSUE 5	02 NOV 15
9	CD PROGRESS ISSUE 6	29 JAN 16
10	CD ISSUE 8 - GMP SET	31 MAR 16
11	D.O.B. AMENDMENT 3	12 AUG 16
12	D.O.B. AMENDMENT 3	03 OCT 16

0 4'-0" 8'-0" 16'-0"

D.O.B. SUBMISSION

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CONSULTANT: **AAI ARCHITECTS, P.C.**

PROJECT: 217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE: PARTIAL ELEVATION - WEST

SEAL & SIGNATURE: DATE: 15 OCT 14
PROJECT No: 1216-00
DRAWN: Author
CHECKED: Checker
SCALE: 1/8" = 1'-0"
DWG No: **A-227.02**
DOB PAGE No: 163 of 454
DOB 5-SCAN:



No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
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6	CD PROGRESS ISSUE 5	10 AUG 15
	D.O.B. AMENDMENT 2	21 SEP 15
7	CD PROGRESS ISSUE 6	02 NOV 15
8	CD PROGRESS ISSUE 7	29 JAN 16
9	CD ISSUE 8 - GMP SET	31 MAR 16
10	CD BULLETIN ISSUE - 5	12 AUG 16
	D.O.B. AMENDMENT 3	03 OCT 16



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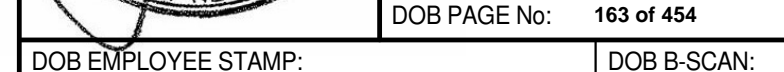
CONSULTANT: 

AAI

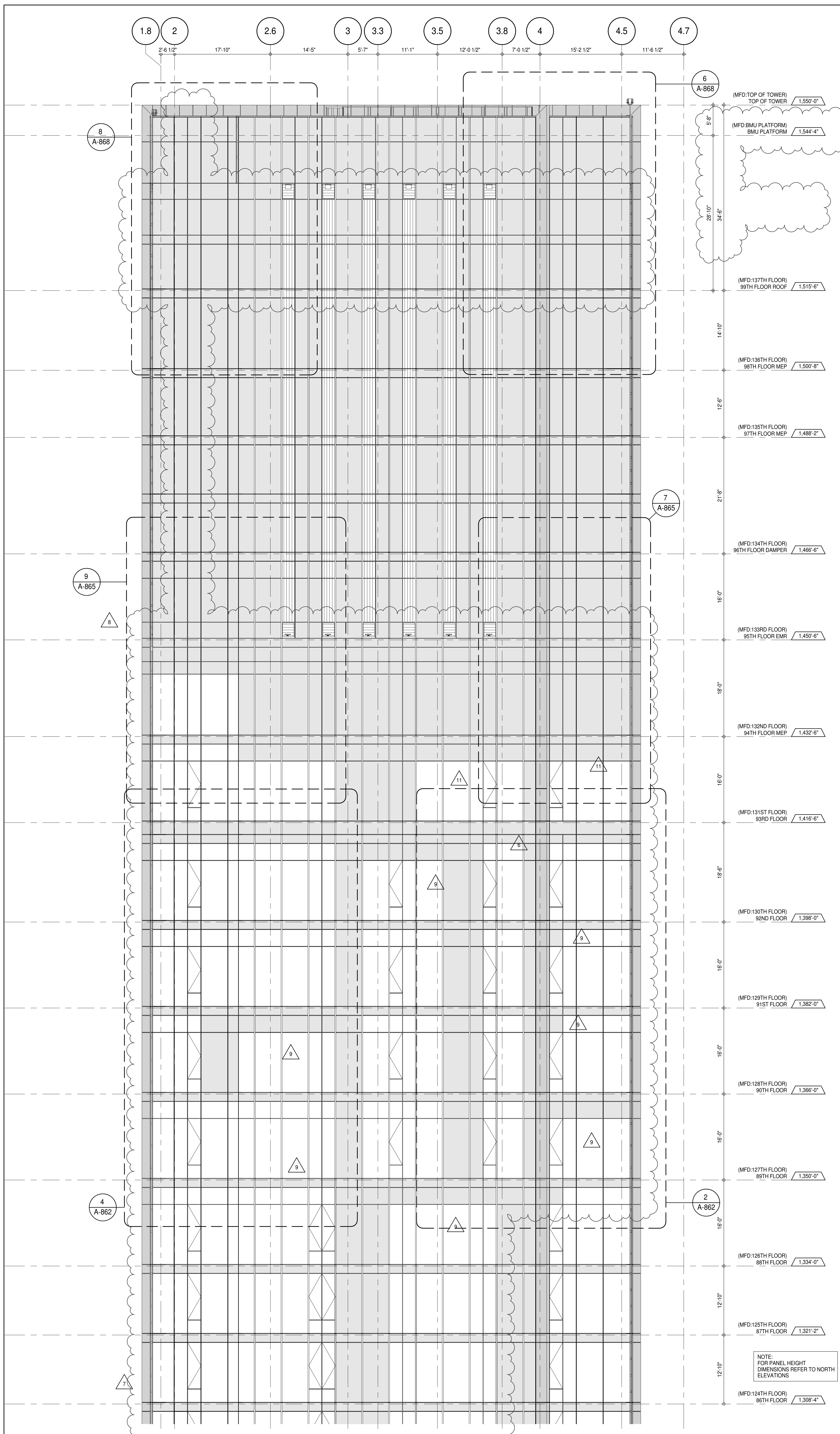


DRAWING TITLE:

PARTIAL ELEVATION - WEST



DOB PAGE No:	163 of 454
	DOB B-SCAN:



PARTIAL ELEVATION - WEST
 1
 1/8" = 1'-0"

KEY PLAN

PROJECT NORTH

DEVELOPER:
EXTELL DEVELOPMENT COMPANY
 805 THIRD AVENUE, 7TH FLOOR
 NEW YORK, NY 10022 USA
 TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT:
 Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
 111 WEST MONROE STREET SUITE 2300
 CHICAGO, IL 60603
 TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER:
 Residential
Rottet Architecture and Design Studio, PLLC
 298 Fifth Ave., 7th Floor
 New York, NY 10001
 TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD:
 Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
 401 Wellington St. W., 3rd Floor
 Toronto, ON M5V 1E7 Canada
 TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
WSP CANTOR SEINUK
 228 EAST 45th Street
 New York, NY 10017 USA
 TEL: 212 987 9885 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
 165 Broadway, 22nd Floor
 New York, NY 10038 USA
 TEL: 212 354 5655 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
 21 Penn Plaza - 300 West 51st Street, 9th Floor
 New York, NY 10001-2727
 TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
 100 Church Street
 New York, NY 10007
 TEL: 212 385 1918 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
 40 Worth Street, Suite 826
 New York, NY 10013
 TEL: 212 757 5559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hind Pokorny Associates, Inc.
 39 West 57th Street, 12A
 New York, NY 10019
 TEL: 212 759 6452 FAX: 212 759 6540

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5	CD PROGRESS ISSUE 4	01 JUN 15
6	CD PROGRESS ISSUE 5	10 AUG 15
	D.O.B. AMENDMENT 2	21 SEP 15
7	CD PROGRESS ISSUE 6	02 NOV 15
8	CD PROGRESS ISSUE 7	29 JAN 16
9	CD ISSUE 8 - GMP SET	31 MAR 16
10	CD BULLETIN ISSUE - 5	12 AUG 16
11	CD BULLETIN ISSUE - 7	14 SEP 16
	D.O.B. AMENDMENT 3	03 OCT 16

0 4'-0" 8'-0" 16'-0"

D.O.B. SUBMISSION

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CONSULTANT:

AAI
 ARCHITECTS, P.C.

PROJECT:
217 WEST 57TH STREET
 NEW YORK, NY

DRAWING TITLE:
PARTIAL ELEVATION - WEST

SEAL & SIGNATURE:

DATE: 15 OCT 14

PROJECT No: 1216-00

DRAWN: Author

CHECKED: Checker

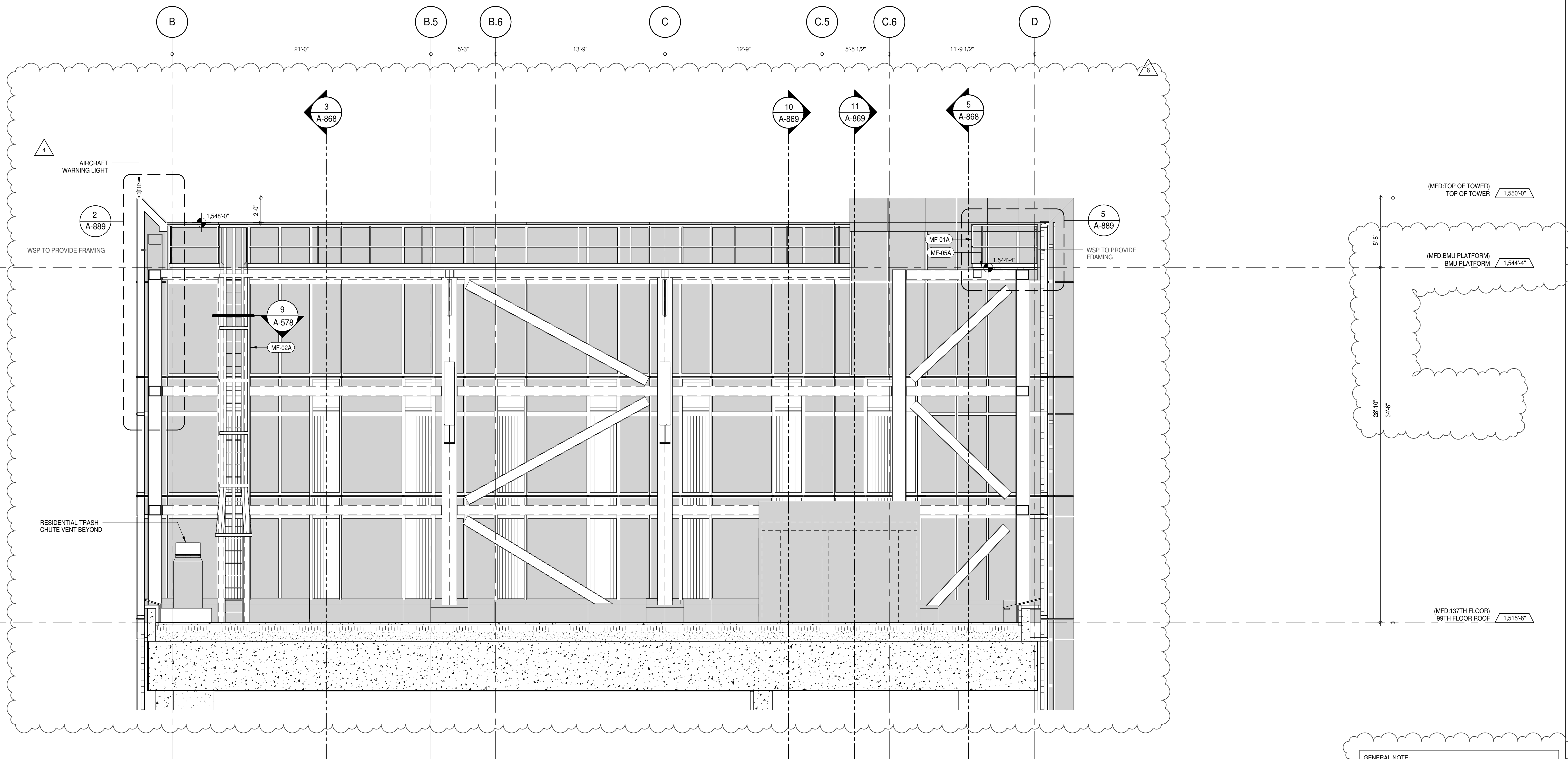
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DWG No: **A-229.02**

DOB PAGE No: 164 of 454

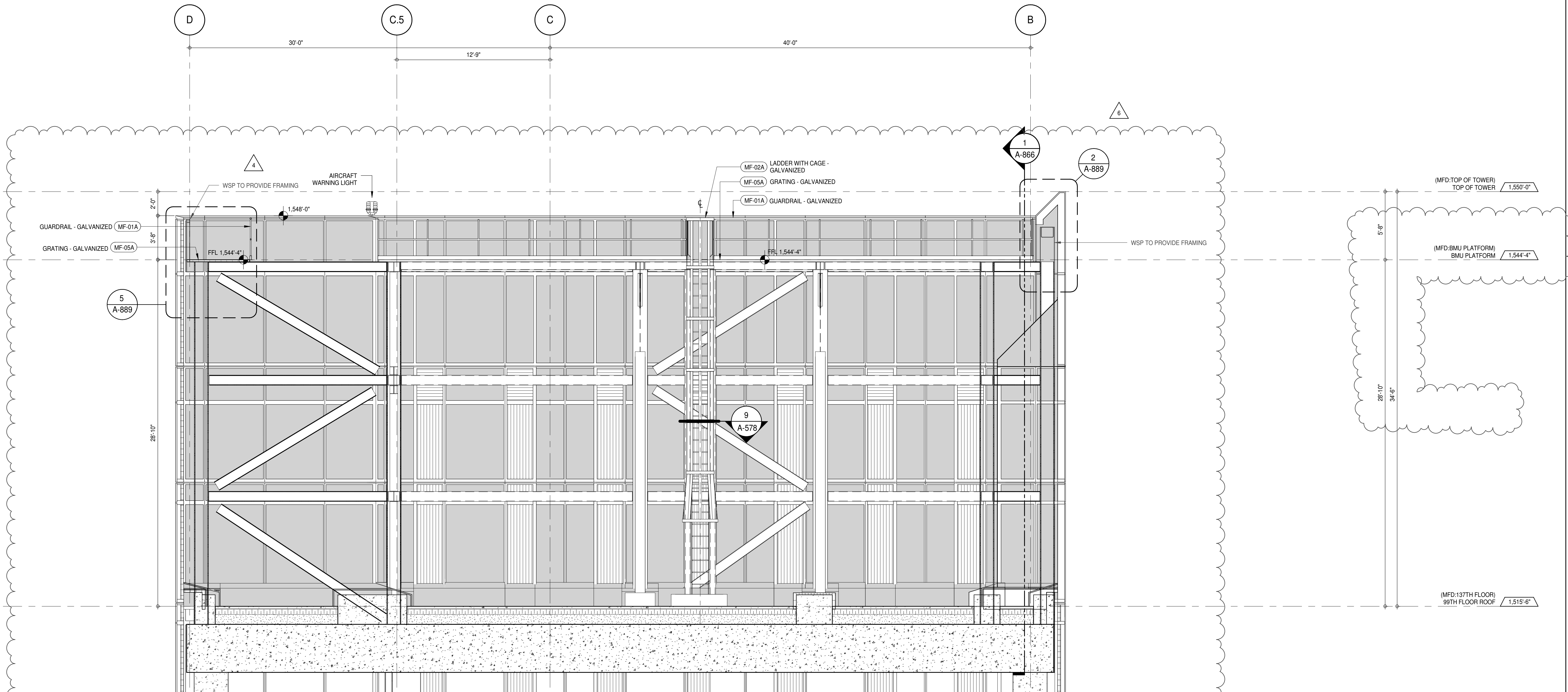
DOB EMPLOYEE STAMP:

DOB 5-SCAN:



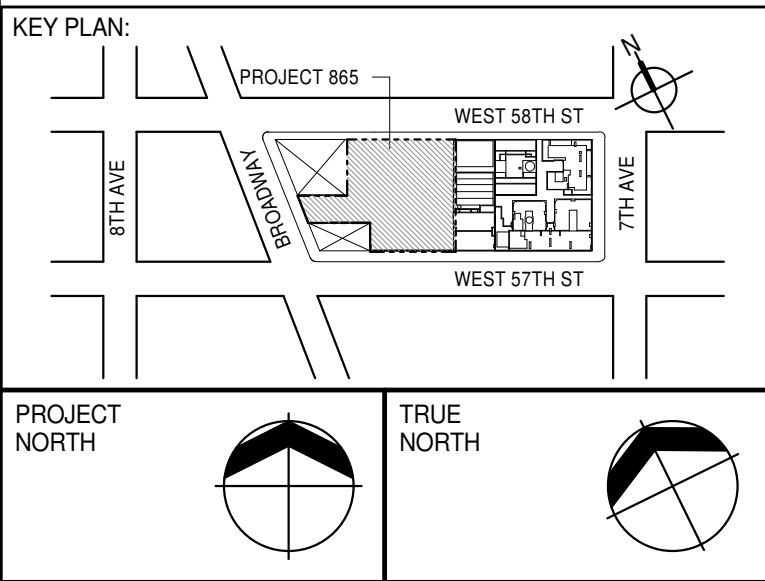
INNER PARAPET ELEVATION - SOUTH FACADE

1/4" = 1'-0"



INNER PARAPET ELEVATION - NORTH FACADE

1/4" = 1'-0"



DEVELOPER:	EXTELL DEVELOPMENT COMPANY 805 THIRD AVENUE, 7TH FLOOR NEW YORK, NY 10022 USA TEL: 212 712 6000 FAX: 212 712 6100
DESIGN ARCHITECT:	Base Building Shell & Core ADRIAN SMITH + GORDON GILL ARCHITECTURE 111 WEST MONROE STREET SUITE 2300 CHICAGO, IL 60603 TEL: 312 920 1888 FAX: 312 920 1775
INTERIOR DESIGNER:	Residential Rottel Architecture and Design Studio, PLLC 288 Fifth Ave., 7th Floor New York, NY 10001 TEL: 646 989 7000 FAX:
ARCHITECT OF RECORD:	Base Building Shell, Core, & Residential AAI ARCHITECTS, P.C. 401 Wellington St. W., 3rd Floor Toronto, ON M5V 1E7 Canada TEL: 416 967 1500 FAX: 416 967 7150
STRUCTURAL ENGINEERS:	WSP CANTOR SEINUK 228 EAST 45th Street New York, NY 10017 USA TEL: 212 887 8888 FAX: 646 487 5501
MEP ENGINEERS:	AKF GROUP 165 Broadway, 22nd Floor New York, NY 10008 USA TEL: 212 354 5655 FAX: 212 354 5668
GEOTECHNICAL ENGINEERS:	Langan Engineering & Environmental Services 21 Penn Plaza - 350 West 51st Street, 8th Floor New York, NY 10001-2727 TEL: 212 479 5400 FAX: 212 479 5444
CODE CONSULTANTS:	Construction Consulting Associates 100 Church Street New York, NY 10007 TEL: 212 385 1818 FAX: 212 385 1911
CURTAINWALL CONSULTANT:	AJLP Consulting 40 North Street, Suite 808 New York, NY 10013 TEL: 212 757 5559 FAX: 646 219 8508
LANDMARK/PRESERVATION CONSULTANT:	Jan Hird Pokorny Associates, Inc. 39 West 57th Street, 12A New York, NY 10019 TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	D.O.B. SUBMISSION	18 FEB 15
2	CD PROGRESS ISSUE 3	09 MAR 15
3	D.O.B. SUBMISSION	27 APR 15
4	CD PROGRESS ISSUE 4	01 JUN 15
5	CD ISSUE 8 - GMP SET	31 MAR 16
6	CD BULLETIN ISSUE - 2	11 MAY 16
6	CD BULLETIN ISSUE - 5	12 AUG 16
6	D.O.B. AMENDMENT 3	03 OCT 16

D.O.B. SUBMISSION


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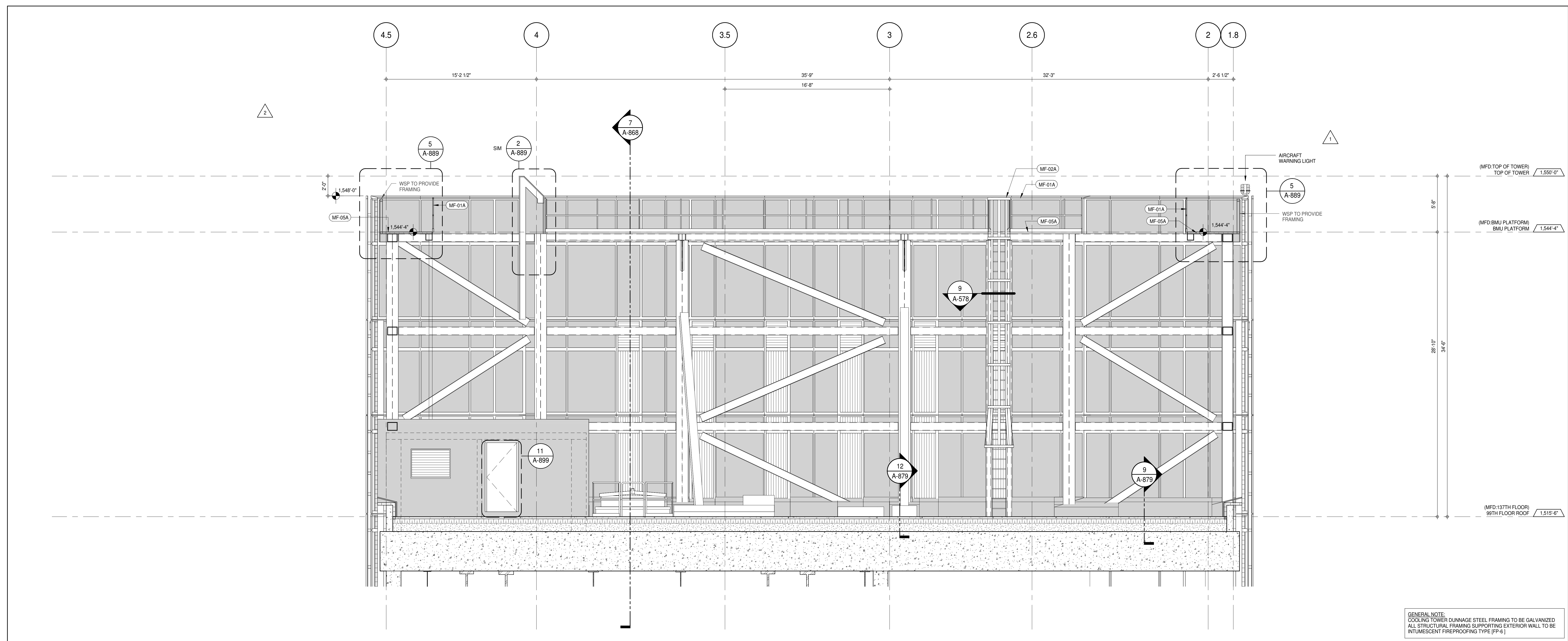


PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
TOP OF HOUSE INNER PARAPET ELEVATIONS

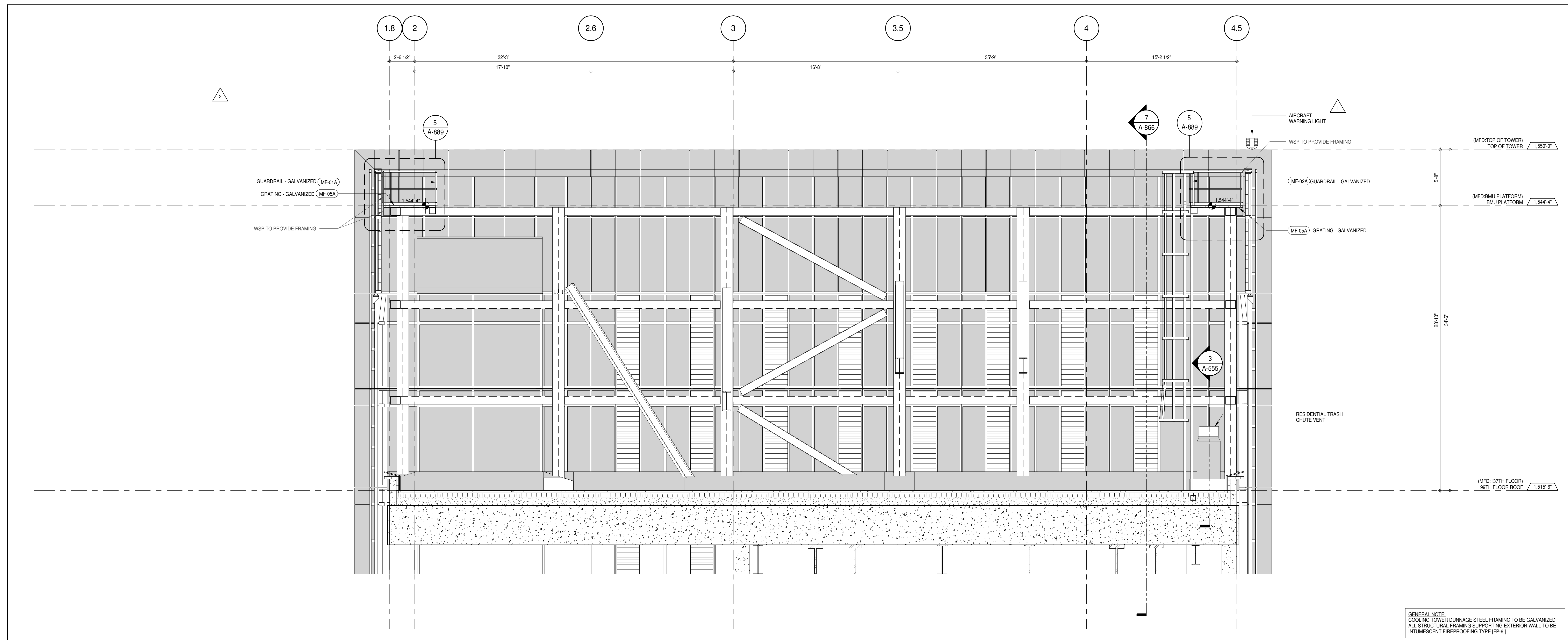
SEAL & SIGNATURE:	DATE:		
	PROJECT No:		1216-00
	DRAWN: Author		REV:
	CHK.: Checker		6
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	DWG No:		A-230.01
DOB PAGE No: 165 of 454			

DOB EMPLOYEE STAMP: DOB 5-SCAN:



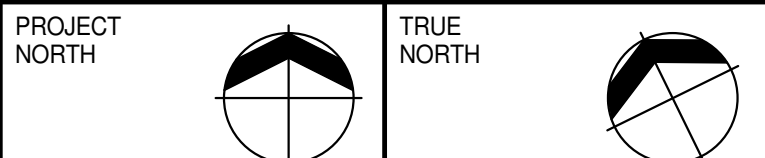
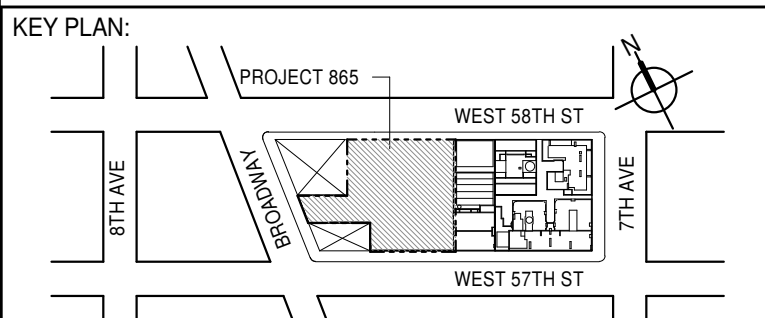
INNER PARAPET ELEVATION - WEST FACADE

1/4" = 1'-0"



INNER PARAPET ELEVATION - EAST FACADE

1/4" = 1'-0"



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
228 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
WSP CANTOR SEINUK
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 887 8888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 300 West 57th Street, 9th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1912 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 806
New York, NY 10013
TEL: 212 757 6550 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 57th Street, 12A
New York, NY 10019
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD ISSUE 8 - GMP SET	31 MAR 16
2	CD BULLETIN ISSUE - 5	12 AUG 16
	D.O.B. AMENDMENT 3	03 OCT 16

D.O.B. SUBMISSION

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CONSULTANT:



PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
TOP OF HOUSE INNER PARAPET ELEVATIONS

SEAL & SIGNATURE: PROJECT No: 1216-00 DATE: 02/17/16

DRAWN: Author CHECKED: Checker REV: 2

SCALE: 1/4" = 1'-0" DWG No:

A-231.00

DOB PAGE No: 166 of 454

DOB EMPLOYEE STAMP: DOB 5-SCAN:

